

NEW CONSTRUCTION SUNNY EXPRESS CARWASH

31401 RIVERSIDE DRIVE, LAKE ELSINORE, CA 92530

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CIVIL ENGINEER
LAND DEVELOPMENT DESIGN COMPANY, LLC (LDDC)
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LANDSCAPE
SITE WORK STUDIO
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EMAIL: YORELAND1@GMAIL.COM

PROJECT DATA

FRONT SETBACK REQUIRED: 20'-0"
FRONT SETBACK PROPOSED: 44'-9"
SIDE AND REAR SETBACKS: NONE
BUILDING HEIGHT MAX: 45'-0"
BUILDING HEIGHT PROPOSED: 28'-6"
LANDSCAPE IMPROVEMENT: 8,451 SQ.FT.
LANDSCAPE COVERAGE: 15.6% (AFTER REVISED PARCEL MAP)
FRONT LANDSCAPE TO STREET: 20 FEET

PROJECT DESCRIPTION

1. REMOVE 2 OF EXISTING ABANDONED COMMERCIAL BUILDINGS.
2. CONSTRUCTION OF NEW MODERN AUTOMATED CAR WASH BUILDING, INCLUDING A 348 SF OFFICE & A 4,619 SF CAR WASH TUNNEL AND A 469 SF MECHANICAL ROOM. LOCATED ON A 106,920 SF LOT.

PROPOSED PARKING ANALYSIS:

PROPOSED PARKING CALCULATIONS:
364 SF - OFFICE & SERVICE BOOTH 1/250 SF = 1.5 SPACES
3,809 SF - BUSINESS: 1/250 SF = 15.2 SPACES
(CAR WASH, VENDING, & MAT CLEANER)
TOTAL REQUIRED: 16.7 SPACES ~ 17 SPACES

PROPOSED PARKING PROVIDED:
VACUUM STANDARD STALLS (12'-6" X 18'-0"): 25
VACUUM ACCESSIBLE STALL (12'-6" X 18'-0"): 1
ACCESSIBLE STALL (9'-0" X 18'-0"): 1
STANDARD STALLS (9'-0" X 18'-0"): 3
TOTAL COUNT: 30 SPACES

DRAWING INDEX

SHEET NUMBER	SHEET TITLE	DESCRIPTION	DATE
			ISSUE FOR CUP
	ARCHITECTURAL		
A-CUP-0.0	PROJECT INFO, VICINITY MAP, ANALYSIS		●
A-CUP-1.1	EXISTING SITE PLAN, IMAGES, LEGAL DESCRIPTION		●
A-CUP-1.2	PROJECT INFO, VICINITY MAP, ANALYSIS, SITE PLAN		●
A-CUP-2.1	FLOOR PLAN, ROOF PLAN		●
A-CUP-7.1	ELEVATIONS		●
A-CUP-7.2	SECTION, ELEVATIONS		●
A-CUP-7.3	RENDERINGS		●
A-CUP-7.4	RENDERINGS		●
A-CUP-7.5	MATERIALS BOARD		●
	LANDSCAPE		
L-1	LANDSCAPE PLAN		●
	CIVIL		
SHEET 1 OF 2	PRELIMINARY GRADING PLAN		●
SHEET 2 OF 2	PRELIMINARY GRADING PLAN		●

BUILDING CODE SUMMARY

1. ZONING: C2 (GENERAL COMMERCIAL)
2. CONSTRUCTION TYPE: III-B - NON SPRINKLERED
3. BUILDING HEIGHT: 1 STORY
4. OCCUPANCY: B - BUSINESS
5. APN: 379-160-002
6. FIRE SPRINKLER: NO (THE CAR WASH BUILDING FOOTPRINT (4,967 SQ.FT.) IS LESS THAN 5,000 SQ.FT.)

PROPOSED BUILDING ANALYSIS:

EXPRESS CARWASH AREA:
OFFICE: 286 SF
RESTROOM: 125 SF
CAR WASH TUNNEL: 3,666 SF
MECHANICAL ROOM: 736 SF
VENDING MACHINE: 64 SF
ELECTRICAL ROOM: 81 SF
STORAGE: 13 SF
TOTAL GROSS AREA: 4,971 SF

ACCESSORY BUILDING AREA:
MAT WASHER: 79 SF
MECHANICAL ROOM: 357 SF
CUSTOMER SERVICE BOOTH: 78 SF
TRASH ENCLOSURE: 101 SF
TOTAL GROSS AREA: 615 SF
TOTAL BUILDING GROSS AREA: 5,586 SF

FLOOR AREA RATIO:
CURRENT LOT SIZE: 106,920 SF
(AFTER REVISED: 54,326.25 SF)
BUILDING FOOTPRINT: 5,586 SF
FLOOR AREA RATIO: 10.3 %

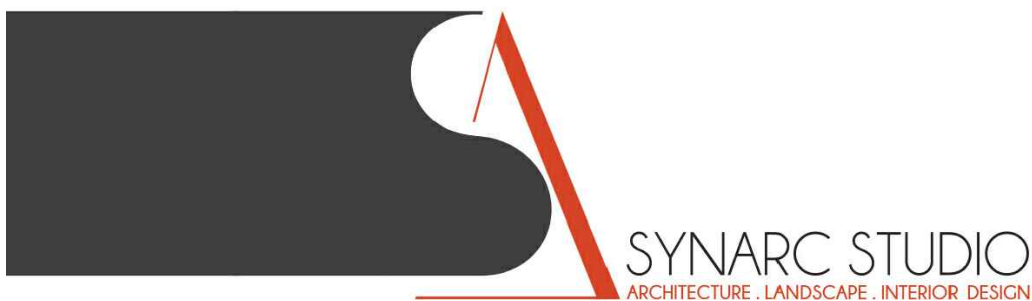
VICINITY MAP

SCALE: 1" = 800'



Sunny Express Carwash | 31401 Riverside Dr., Lake Elsinore, CA 92530

17200 Red Hill Ave, Irvine, CA 92614
w: 949-596-4298 | m: 949-233-1126
jchoi@SynArcStudio.com | PN: 20_104




Cover Sheet/ Vicinity Map

Scale:

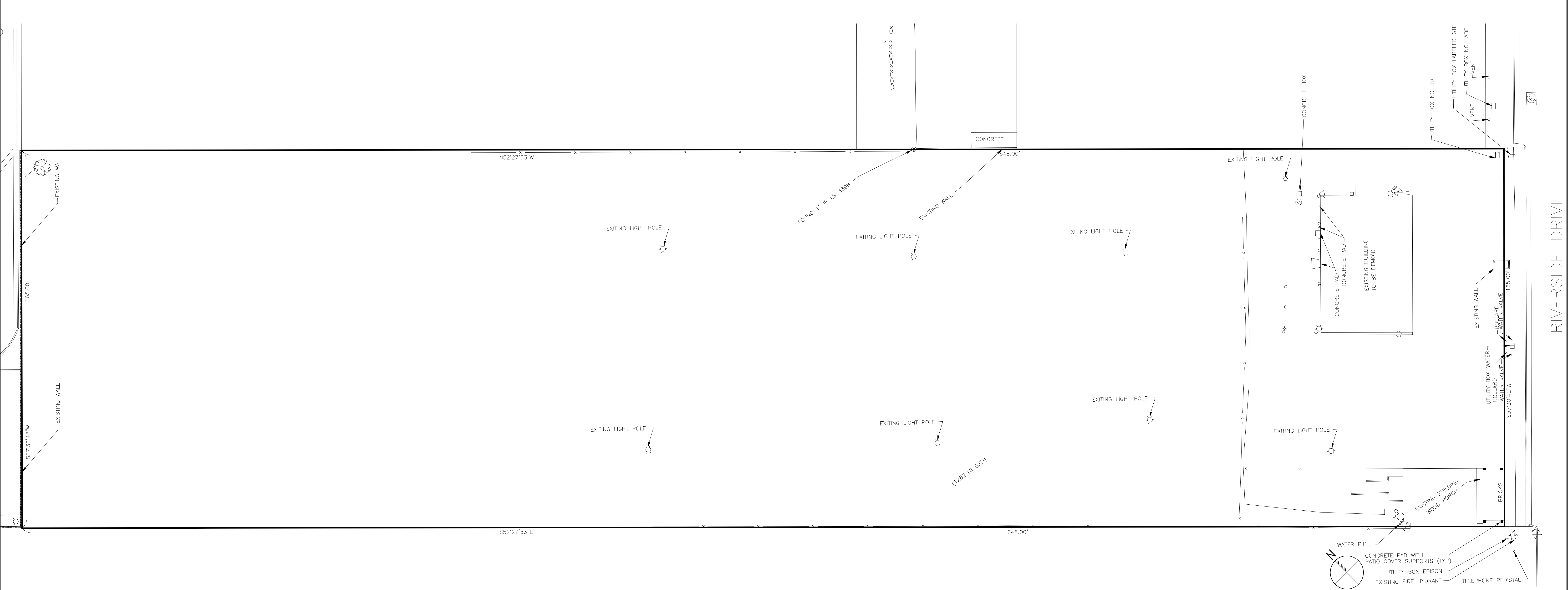
CUP Resubmittal
10/23/2020

A-CUP0.0

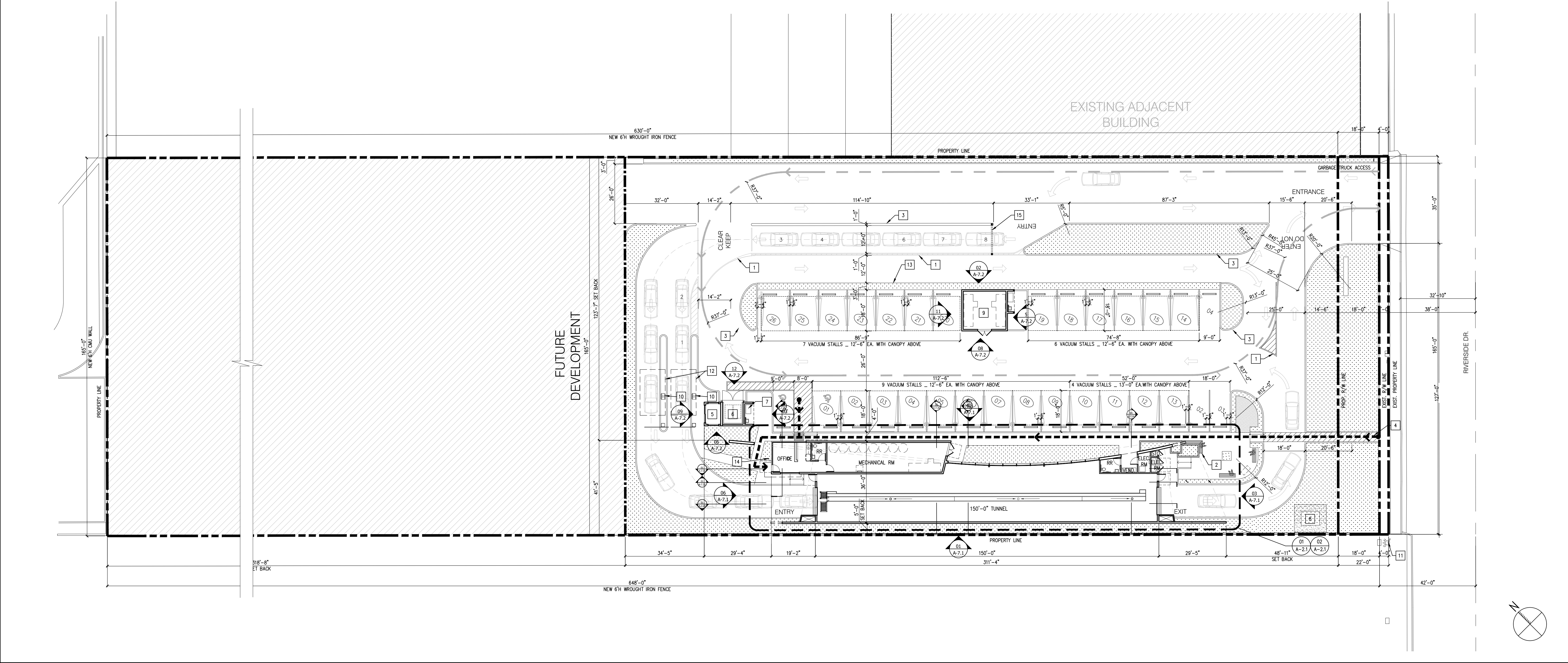
LEGAL DESCRIPTION		
Real Property in the City of Lake Elsinore, County of Riverside, State of California, described as follows:		
PARCEL 1:		
THAT PORTION OF LOT 16, BLOCK "B" RANCHO LA LAGUNA IN THE CITY OF LAKE ELSINORE, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 8 PAGE 377 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, CALIFORNIA, DESCRIBED AS FOLLOWS:		
BEGINNING AT THE MOST SOUTHERLY CORNER OF THE NORTHEASTERLY HALF OF THE NORTHEASTERLY HALF OF SAID LOT, BEING ON THE NORTHWESTERLY LINE OF RIVERSIDE DRIVE, 60 FEET WIDE; THENCE NORTH 53° 04' 30" WEST, 660 FEET ON THE SOUTHWESTERLY LINE OF SAID NORTHEASTERLY HALF OF THE NORTHEASTERLY HALF OF SAID LOT; THENCE NORTH 36° 55' 30" EAST, 165 FEET; THENCE SOUTH 53° 04' 30" EAST, 660 FEET, PARALLEL TO SAID SOUTHWESTERLY LINE TO A POINT ON THE NORTHWESTERLY LINE OF RIVERSIDE DRIVE, 60 FEET WIDE; THENCE SOUTH 36° 55' 30" WEST, 165 FEET ON SAID NORTHWESTERLY LINE TO THE POINT OF BEGINNING.		
EXCEPT THE EASTERLY 12 FEET THEREFROM AS DESCRIBED IN DEED RECORDED JANUARY 3, 1972 DOCUMENT NO. 384.		
PARCEL 2:		
AN EASEMENT, 50 FEET IN WIDTH, FOR INGRESS AND EGRESS, THE CENTERLINE OF WHICH IS DESCRIBED AS FOLLOWS:		
BEGINNING AT A POINT ON THE SOUTHWESTERLY LINE OF WALNUT DRIVE, 30 FEET WIDE, AS SHOWN ON THE MAP OF HOWELLS ELSINORE TRACT NO. 1, AS PER MAP RECORDED IN BOOK 14 PAGE 71 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, WHICH IS NORTH 53° 26' 00" WEST, 270 FEET FROM THE NORTHWESTERLY LINE OF SAID RIVERSIDE DRIVE; THENCE SOUTH 36° 34' 45" WEST, 165 FEET TO THE NORTHEASTERLY LINE OF PARCEL 1 HEREINABOVE DESCRIBED.		
EXCEPT FROM PARCELS 1 AND 2 25% ROYALTY INTEREST IN AN GAS, OIL OR MINERALS PRODUCED FROM SAID LAND, AS RESERVED IN DEED FROM JACKSON L. TAYLOR AND MYRTLE H. TAYLOR, HUSBAND AND WIFE, TO HUBERT COLEMAN AND ELIZABETH COLEMAN, HUSBAND AND WIFE, RECORDED NOVEMBER 26, 1952 IN BOOK 1419 PAGE 437 OF OFFICIAL RECORDS.		
ALSO EXCEPT AN UNDIVIDED 1/4TH INTEREST IN ALL OIL, GAS, GOLD SILVER, GRANITE, AND OTHER MINERALS AND METALS AS CONVEYED TO MYRON RUTH COLEMAN AND TRUMAN H. COLEMAN BY DEED RECORDED SEPTEMBER 23, 1953 IN BOOK 1510 PAGE 535 OF OFFICIAL RECORDS.		
APN: 379-160-002		
LEGAL DESCRIPTION	SCALE NTS	03

		
EXISTING SITE IMAGES	SCALE NTS	02

GENERAL NOTES	
1. ALL (E) BUILDINGS & LANDSCAPE TO BE DEMOLISHED.	
EXISTING SITE PLAN	SCALE 1"=20'

	
EXISTING SITE PLAN	SCALE 1"=20'

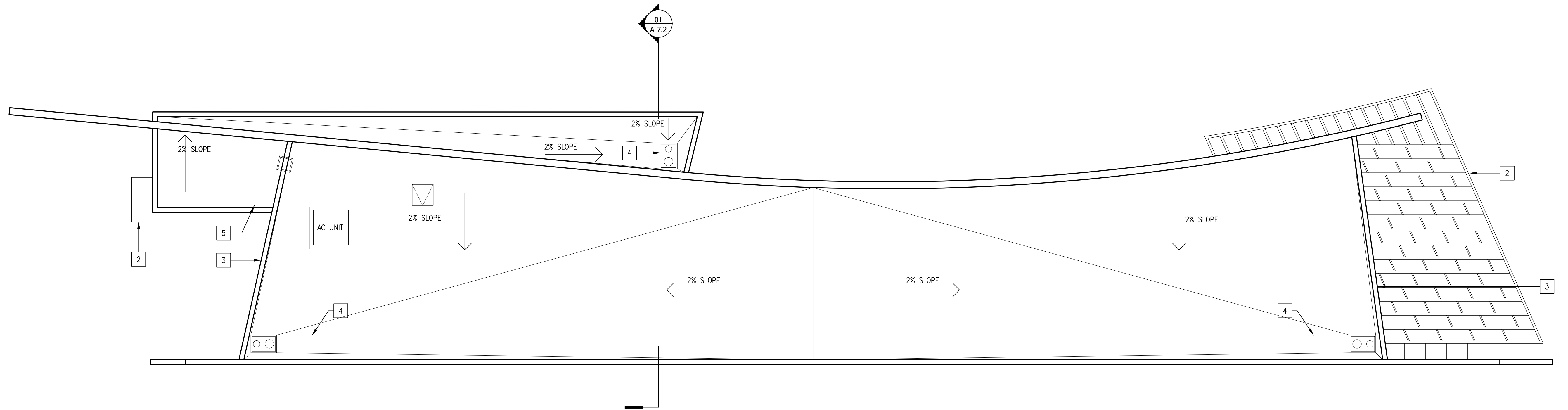
GENERAL CONDITIONS				LANDSCAPE AREA RATIO		KEYNOTES		LEGEND			
<p>B-1. <u>FINAL BUILDING AND SAFETY CONDITIONS</u>. FINAL BUILDING AND SAFETY CONDITIONS WILL BE ADDRESSED WHEN BUILDING CONSTRUCTION PLANS ARE SUBMITTED TO BUILDING AND SAFETY FOR REVIEW. THESE CONDITIONS WILL BE BASED ON OCCUPANCY, USE, THE CALIFORNIA BUILDING CODE (CBC), AND RELATED CODES, WHICH ARE ENFORCED AT THE TIME OF BUILDING, PLAN SUBMITTAL.</p>		<p>e. PATH OF TRAVEL FROM PUBLIC RIGHT-OF-WAY TO ALL PUBLIC AREAS ON SITE, SUCH AS CLUB HOUSE, TRACH ENCLOSURE TOT LOTS AND PICNIC AREAS.</p>		<p>AND PERMITS. SEPTIC SYSTEMS WILL NEED TO BE APPROVED FROM RIVERSIDE COUNTY ENVIRONMENTAL HEALTH DEPARTMENT BEFORE PERMIT ISSUANCE.</p>		<p>a. TRUSS CALCULATIONS THAT HAVE BEEN STAMPED BY THE ENGINEER OF RECORD OF THE BUILDING AND THE TRUSS MANUFACTURER ENGINEER.</p>		<p>LOT SIZE (SUBTRACT BUILDING AREA): 101,484 SQ.FT. AFTER REVISED PARCEL MAP, LOT SIZE: 52,357 SQ.FT.</p>			
<p>B-2. <u>COMPLIANCE WITH CODE</u>. ALL DESIGN COMPONENTS SHALL COMPLY WITH APPLICABLE PROVISIONS OF THE 2019 EDITION OF THE CALIFORNIA BUILDING, PLUMBING AND MECHANICAL CODES; 2019 CALIFORNIA ELECTRICAL CODE; CALIFORNIA ADMINISTRATIVE CODE, 2019 CALIFORNIA ENERGY CODES, 2019 CALIFORNIA GREEN BUILDING STANDARDS, CALIFORNIA TITLE 24 DISABLED ACCESS REGULATIONS, AND LAKE ELSINORE MUNICIPAL CODE.</p>		<p>B-5. <u>STREET ADDRESSING</u>. APPLICANT MUST OBTAIN STREET ADDRESSING FOR ALL PROPOSED BUILDINGS BY REQUESTING STREET ADDRESSING AND SUBMITTING A SITE PLAN FOR COMMERCIAL OR MULTI-FAMILY RESIDENTIAL PROJECTS OR A RECORDED FINAL MAP FOR SINGLE-FAMILY RESIDENTIAL PROJECTS. IT TAKES 10 DAYS TO ISSUE ADDRESS AND NOTIFY OTHER AGENCIES. PLEASE CONTACT SONIA SALAZAR AT SSALAZAR@LAKE-ELSINORE.ORG OR 951-674-3124 X 286</p>		<p>B-10. <u>HOUSE ELECTRICAL METER</u>. APPLICANT SHALL PROVIDE A HOUSE ELECTRICAL METER TO PROVIDE POWER FOR THE OPERATION OF EXTERIOR LIGHTING, IRRIGATION PEDESTALS AND FIRE ALARM SYSTEMS FOR EACH BUILDING ON THE SITE. DEVELOPMENTS WITH SINGLE USER BUILDINGS SHALL CLEARLY SHOW ON THE PLANS HOW THE OPERATION OF EXTERIOR LIGHTING AND FIRE ALARM SYSTEMS WHEN A HOUSE METER IS NOT SPECIFICALLY PROPOSED.</p>		<p>PRIOR TO ISSUANCE OF GRADING PERMIT(S)</p> <p>B-12. <u>ONSITE WATER AND SEWER PLANS</u>. SUBMITTED SEPARATELY FROM THE BUILDING PLANS, SHALL BE SUBMITTED TO BUILDING AND SAFETY FOR REVIEW AND APPROVAL.</p> <p>B-13. <u>DEMOLITION PERMITS</u>. A DEMOLITION PERMIT SHALL BE OBTAINED IF THERE IS AN EXISTING STRUCTURE TO BE REMOVED AS PART OF THE PROJECT. ASBESTOS REPORT AND LEAD BASE PAINT REPORTS ARE REQUIRED BEFORE DEMO PERMIT WILL BE ISSUED.</p>		<p>LANDSCAPE IMPROVEMENT: 8,451 SQ.FT.</p> <p>LANDSCAPE COVERAGE: 16.14%</p> <p>*AFTER REVISED PARCEL MAP IN PROGRESS</p>		<div><div>1</div><div>PAIN</div><div>STRIPES</div></div> <div><div>2</div><div>BENCH/</div><div>PLANTER BOX</div></div> <div><div>3</div><div>6" HIGH</div><div>CURB</div></div> <div><div>4</div><div>PUBLIC</div><div>ACCESS</div></div> <div><div>5</div><div>CUSTOMER SERVICE</div><div>BOOTH.</div><div>SEE 03, 06, 09, 12/A-CUP-7.2 FOR ELEVATIONS</div></div> <div><div>6</div><div>TRASH ENCLOSURE/</div><div>RECYCLE.</div><div>SEE 03, 06, 09, 12/A-CUP-7.2 FOR ELEVATIONS</div></div> <div><div>7</div><div>FLOOR MAT</div><div>WASHER</div></div> <div><div>8</div><div>(N) TRANSFORMER</div><div>PAD</div></div> <div><div>9</div><div>MECHANICAL</div><div>ROOM.</div><div>SEE 02, 05, 05, 11/A-CUP-7.2 FOR ELEVATIONS</div></div> <div><div>10</div><div>PAY</div><div>STATION</div></div> <div><div>11</div><div>EXISTING</div><div>FIRE HYDRANT</div></div> <div><div>12</div><div>PAY</div><div>STATION CANOPY</div></div> <div><div>13</div><div>ZERO</div><div>CURB</div></div> <div><div>14</div><div>KNOX</div><div>BOX</div></div> <div><div>15</div><div>ARCH SHAPE</div><div>WELCOME SIGN</div></div>	
<p>B-3. <u>GREEN MEASURES</u>. THE APPLICATION SHALL PROVIDE 10% VOLUNTARY GREEN MEASURES ON THE PROJECT, AS STIPULATED BY THE 2019 CALIFORNIA GREEN BUILDING STANDARDS.</p>		<p>B-6. <u>CLEARANCE FROM LEUSD</u>. A RECEIPT OR CLEARANCE LETTER FROM THE LAKE ELSINORE SCHOOL DISTRICT SHALL BE SUBMITTED TO THE BUILDING AND SAFETY DEPARTMENT TO ENSURE THE PAYMENT OR EXEMPTION FROM SCHOOL MITIGATION FEES.</p>		<p>B-11. MUST SUBMIT GRADING PLANS TO ENGINEERING PRIOR TO BUILDING. BUILDING WILL NOT ACCEPT PLANS IF THEY HAVE NOT BEEN SUBMITTED TO ENGINEERING FIRST.</p> <p><u>SUBMITTING PLANS AND CALCULATIONS</u>. APPLICANT MUST SUBMIT TO BUILDING AND SAFETY FOUR (4) COMPLETE SETS OF PLANS AND TWO (2) SETS OF SUPPORTING CALCULATIONS FOR REVIEW AND APPROVAL INCLUDING:</p> <p>a. AN ELECTRICAL PLAN INCLUDING LOAD CALCULATIONS AND PANEL SCHEDULE, PLUMBING SCHEMATIC, AND MECHANICAL PLAN APPLICABLE TO SCOPE OF WORK.</p> <p>b. A SOUND TRANSMISSION CONTROL STUDY IN ACCORDANCE WITH THE PROVISIONS OF THE SECTION 5.507, OF THE 2019 EDITION OF THE CALIFORNIA GREEN CODE.</p> <p>c. A PRECISE GRADING PLAN TO VERIFY ACCESSIBILITY FOR THE PERSONS WITH DISABILITIES.</p>		<p>PRIOR TO ISSUANCE OF BUILDING PERMIT(S)</p> <p>B-14. <u>PLANS REQUIRE STAMP OF REGISTERED PROFESSIONAL</u>. APPLICANT SHALL PROVIDE APPROPRIATE STAMP OF A REGISTERED PROFESSIONAL WITH ORIGINAL SIGNATURE ON THE PLANS. PROVIDE C.D. OF APPROVED PLANS TO THE BUILDING DIVISION.</p> <p>PRIOR TO BEGINNING OF CONSTRUCTION</p> <p>B-15. <u>PRE-CONSTRUCTION MEETING</u>. A PRE-CONSTRUCTION MEETING IS REQUIRED WITH THE BUILDING INSPECTOR PRIOR TO THE START OF THE BUILDING CONSTRUCTION.</p>				<div><div><div></div></div><div>LANDSCAPE</div></div> <div><div><div></div></div><div>PROPERTY LINE</div></div> <div><div><div></div></div><div>PROJECT LIMITS</div></div> <div><div><div></div></div><div>AREA TO BE ENLARGED</div></div>	
<p>B-4. <u>DISABLED ACCESS</u>. APPLICANT SHALL PROVIDE DETAILS OF ALL APPLICABLE DISABLED ACCESS PROVISIONS AND BUILDING SETBACKS ON PLANS TO INCLUDE:</p> <p>a. ALL GROUND FLOOR UNITS TO BE ADAPTABLE.</p> <p>b. DISABLED ACCESS FROM THE PUBLIC WAY TO THE ENTRANCE OF THE BUILDING.</p> <p>c. VAN ACCESSIBLE PARKING LOCATED AS CLOSE AS POSSIBLE TO THE MAIN ENTRY.</p> <p>d. PATH OF ACCESSIBILITY FROM PARKING TO FURTHEST POINT OF IMPROVEMENT.</p>		<p>B-7. <u>OBTAIN APPROVALS PRIOR TO CONSTRUCTION</u>. APPLICANT MUST OBTAIN ALL BUILDING PLANS AND PERMIT APPROVALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION WORK.</p> <p>B-8. <u>OBTAINING SEPARATE APPROVALS AND PERMITS</u>. TRASH ENCLOSURES, PATIO COVERS, LIGHT STANDARDS, AND ANY BLOCK WALLS WILL REQUIRE SEPARATE APPROVALS AND PERMITS.</p> <p>B-9. <u>SEWER AND WATER PLAN APPROVALS</u>. ON-SITE SEWER AND WATER PLANS WILL REQUIRE SEPARATE APPROVALS</p>		<p>AT PLAN REVIEW SUBMITTAL</p>							



GENERAL NOTES

KEYNOTES

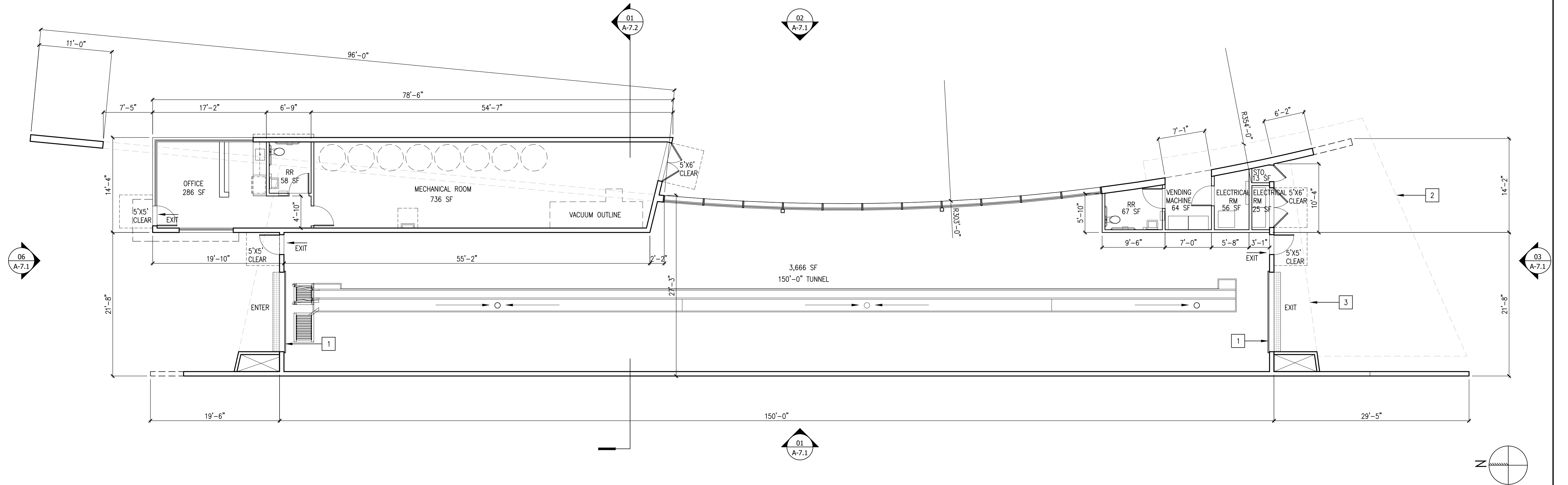
- 1 ROLL UP DOOR
- 2 METAL CANOPY ABOVE
- 3 SOFFIT ABOVE
- 4 ROOF DRAIN
- 5 ROOF HATCH



ROOF PLAN

SCALE
1/8"=1'-0"

02



FLOOR PLAN

SCALE
1/8"=1'-0"

01

KEYNOTES

- 1

CONCRETE PLASTER
- 2

DARK BROWN WOOD SLAT
- 3

CHARCOAL GRAY METAL PANEL
- 4

DARK ORANGE ACCENT PAINT
- 5

GLAZING - BUTT JOINT
- 6

CHARCOAL GRAY PAINTED POSTS
- 7

GLAZING - MULLION
- 8

CHARCOAL GRAY PAINTED METAL CANOPY
- 9

1/2" VERTICAL REVEAL, TYPICAL
2" HORIZONTAL REVEAL, TYPICAL
- 10

CHARCOAL GRAY PAINTED METAL ADDRESS
NUMBER ATTACHED TO WALL
- 11

GRAY SMOOTH STUCCO
- 12

12" HIGH ROLL UP DOOR
- 13

SUNNY CARWASH SIGN ABOVE CANOPY
- 14

CAN LIGHT
- 15

LED STRIP LIGHT
- 16

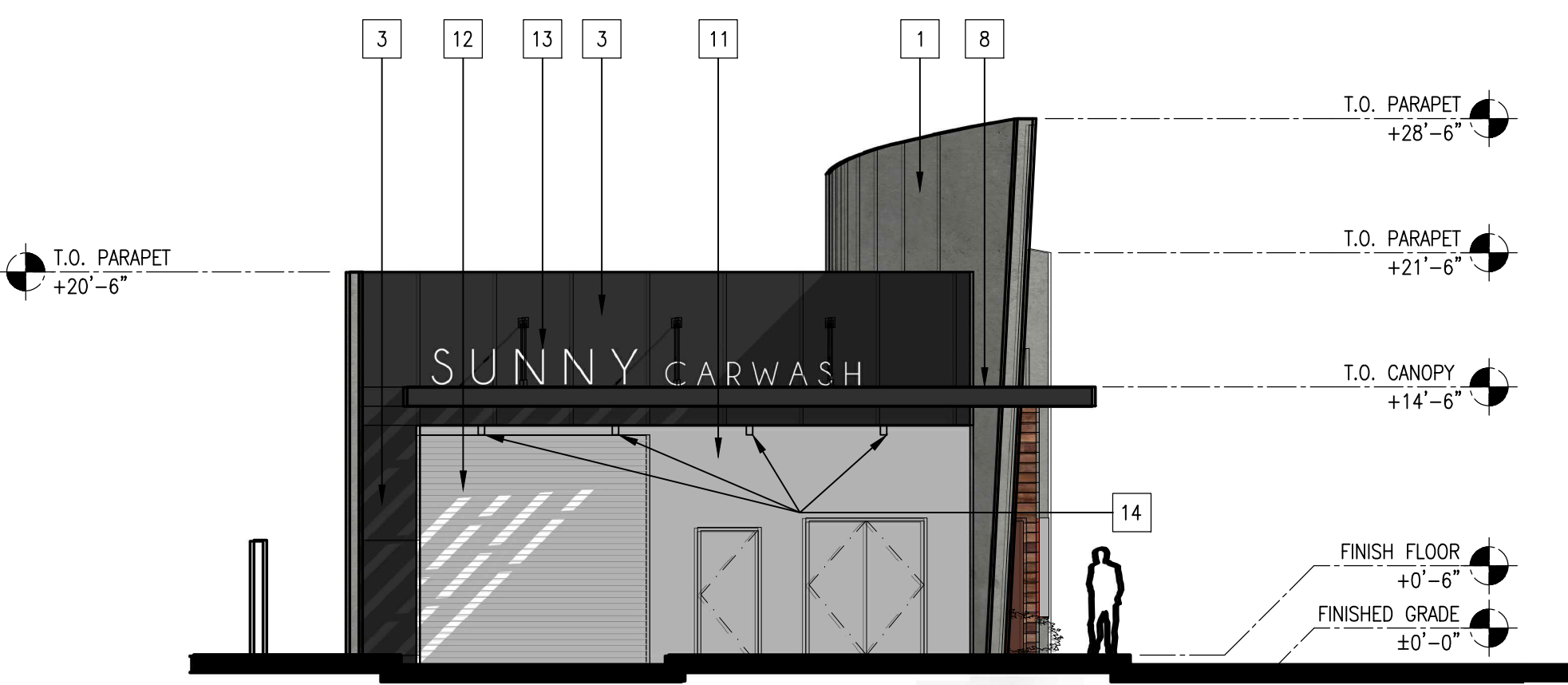
UP LIGHT
- 17

UP DOWN WALL SCONCE
- 18

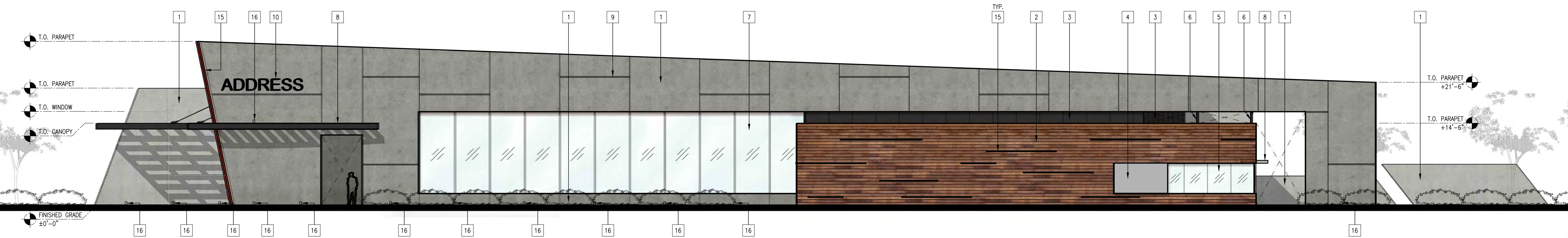
GREEN SCREEN TRELLIS



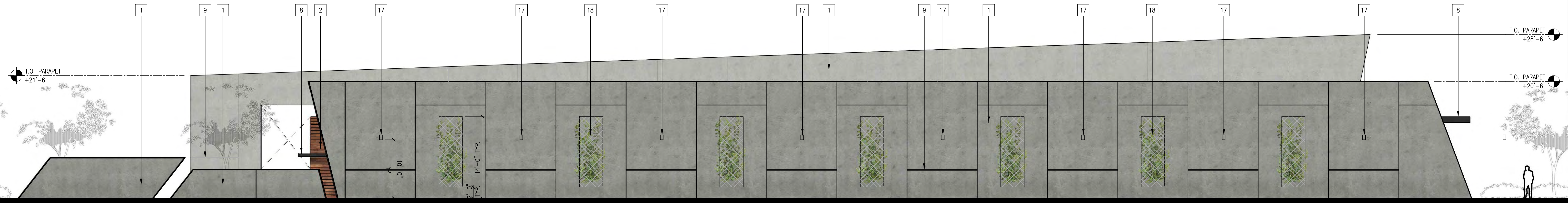
ELEVATION 06
SCALE 1/8"=1'-0"



ELEVATION 03
SCALE 1/8"=1'-0"



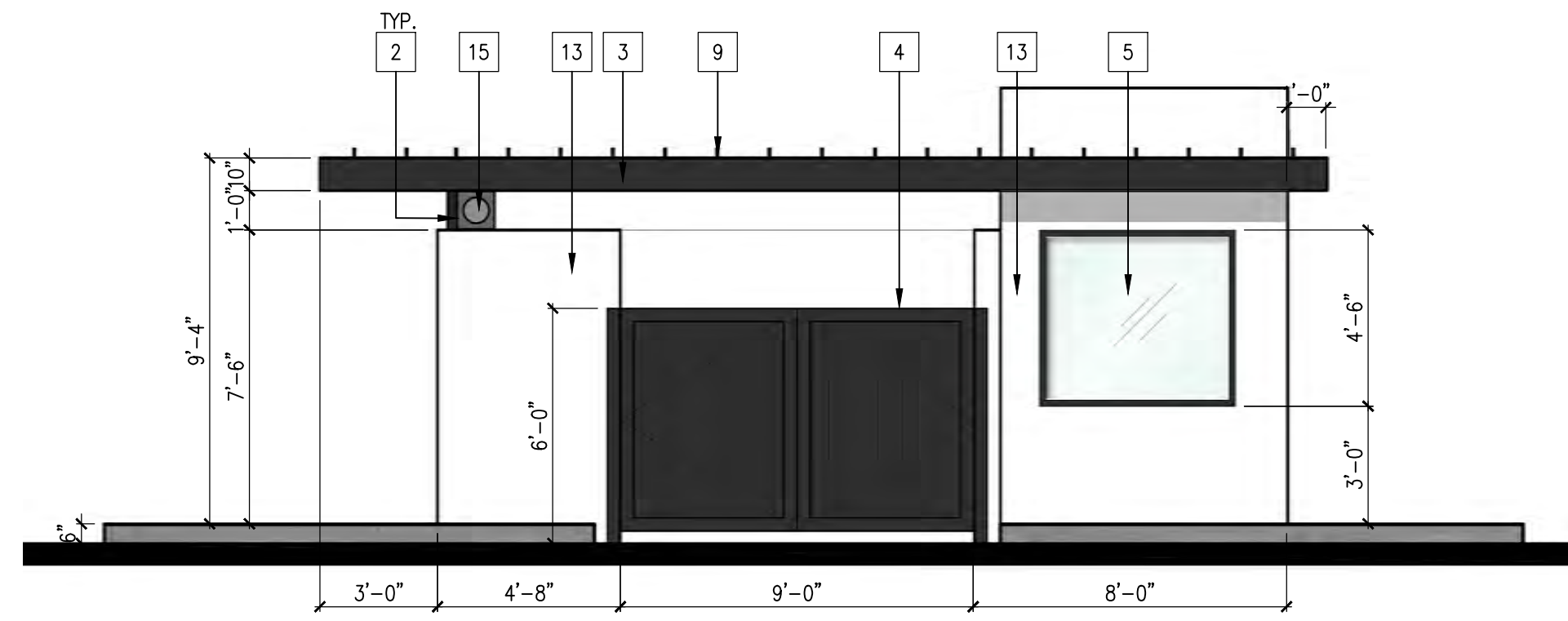
ELEVATION 02
SCALE 1/8"=1'-0"



ELEVATION 01
SCALE 1/8"=1'-0"

KEYNOTES

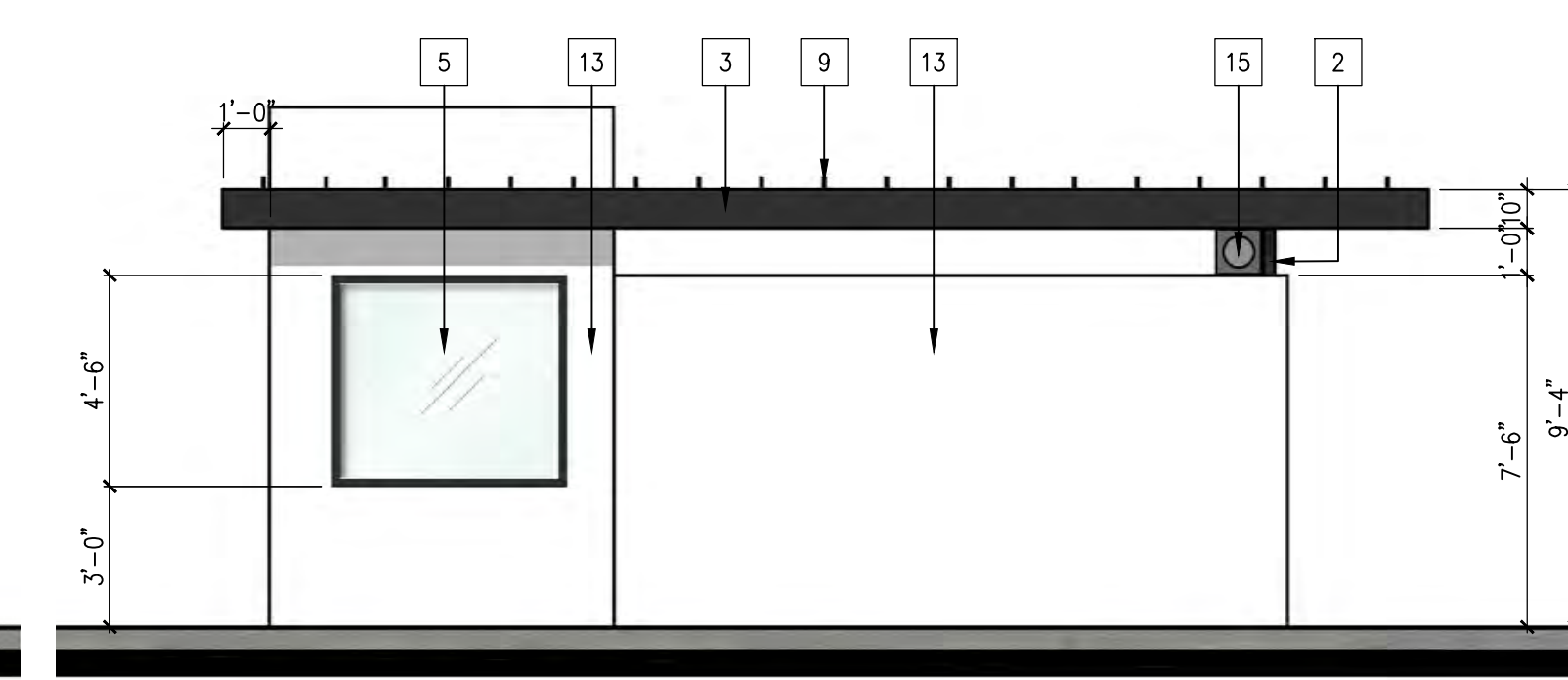
- 1 CONCRETE PLASTER
- 2 CHARCOAL GRAY PAINTED POSTS
- 3 CHARCOAL GRAY PAINTED METAL CANOPY
- 4 STEEL GRAY PAINTED GATE
- 5 FIXED WINDOW
- 6 SLIDING DOOR
- 7 HAND SINK
- 8 FLOOR MAT WASHER
- 9 ORANGE STANDING SEAM METAL ROOFING WITH DARK GRAY TRIM
- 10 3/8" REVEAL
- 11 PAINTED DOUBLE DOOR TO MATCH ADJACENT WITH LOUVER
- 12 CHARCOAL GRAY STEEL VACUUM CANOPY
- 13 SMOOTH WHITE PLASTER OVER C.M.U. WALL
- 14 GRILL ROLL-UP DOOR
- 15 GRILL ROLL-UP DOOR HOUSING



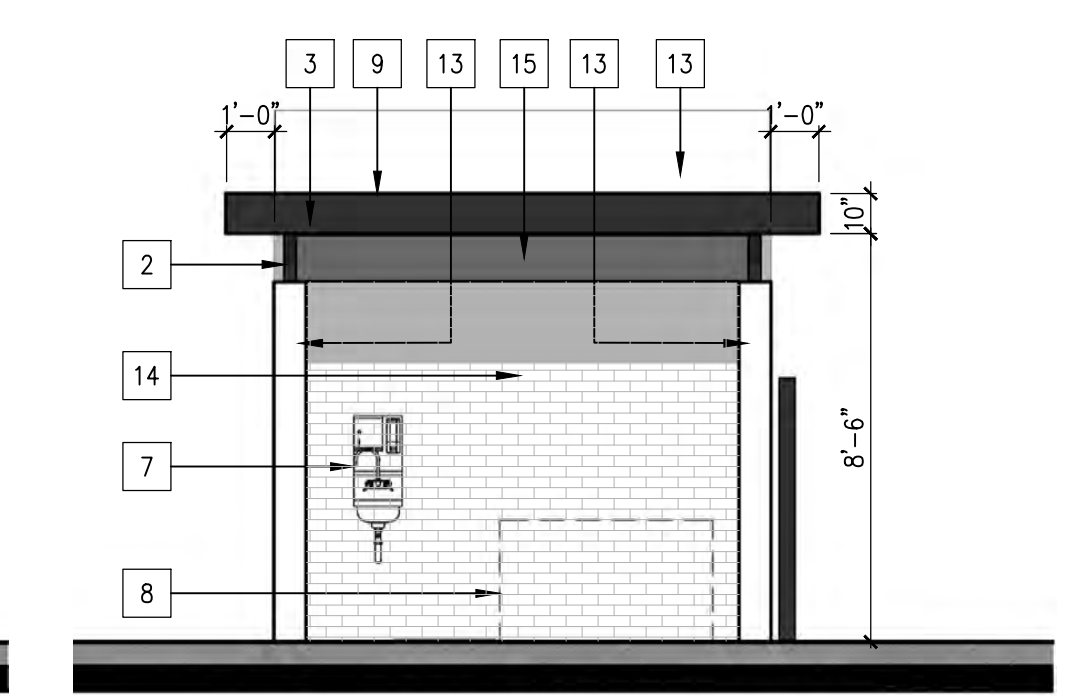
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SCALE 1/4"=1'-0"



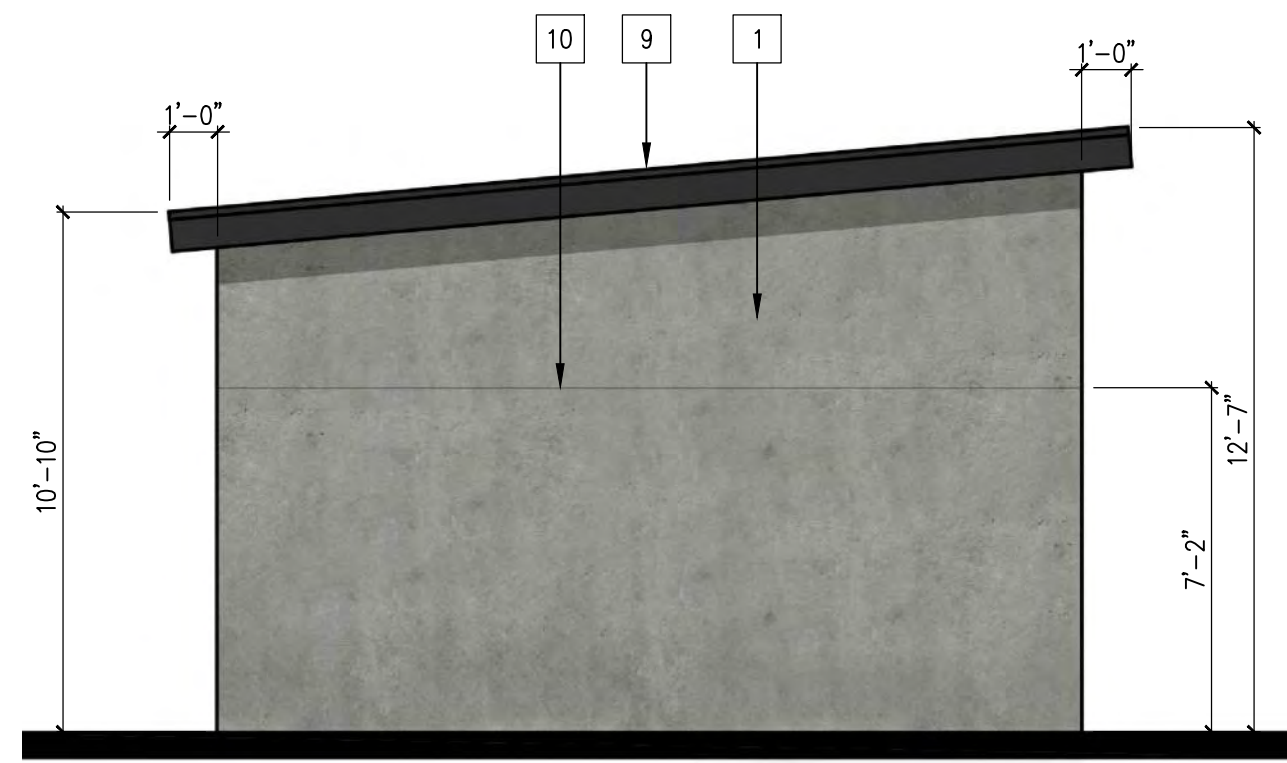
ELEVATION 09
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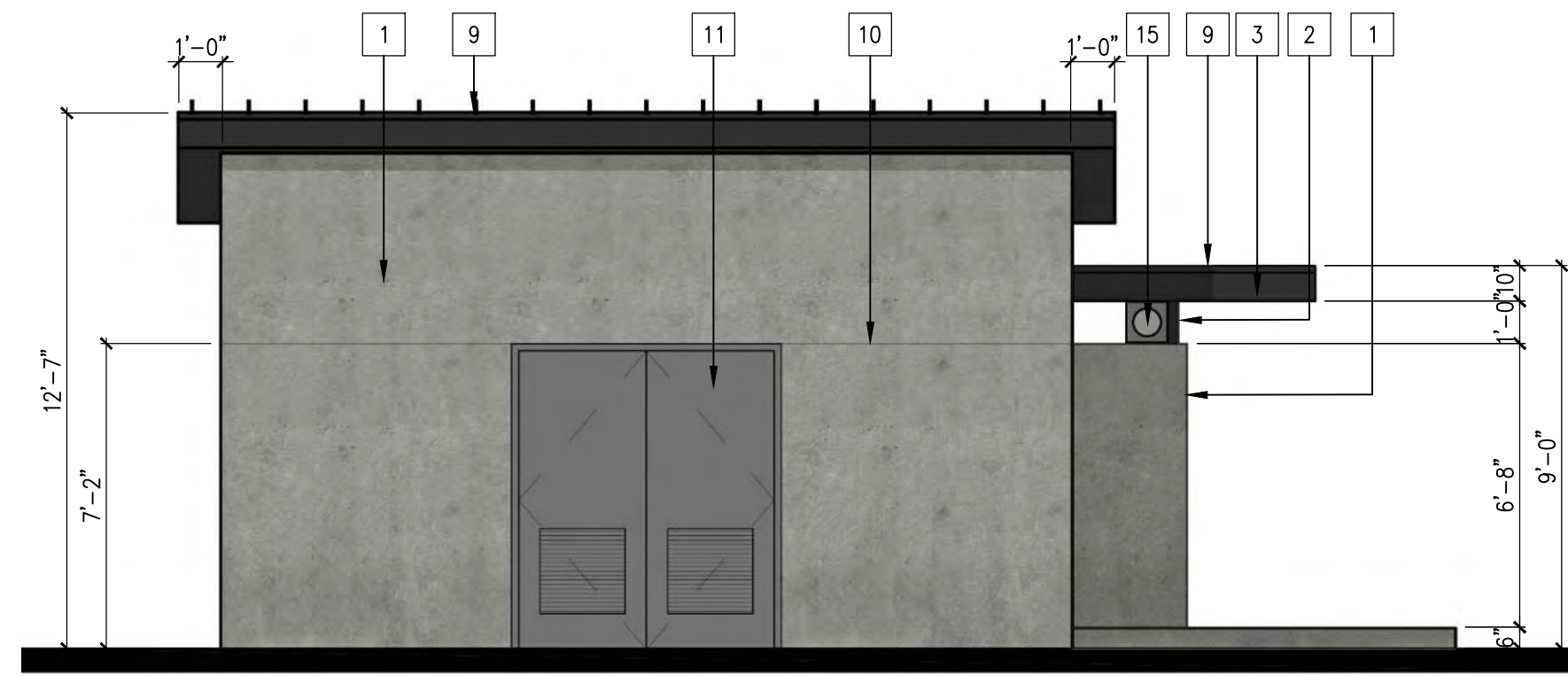
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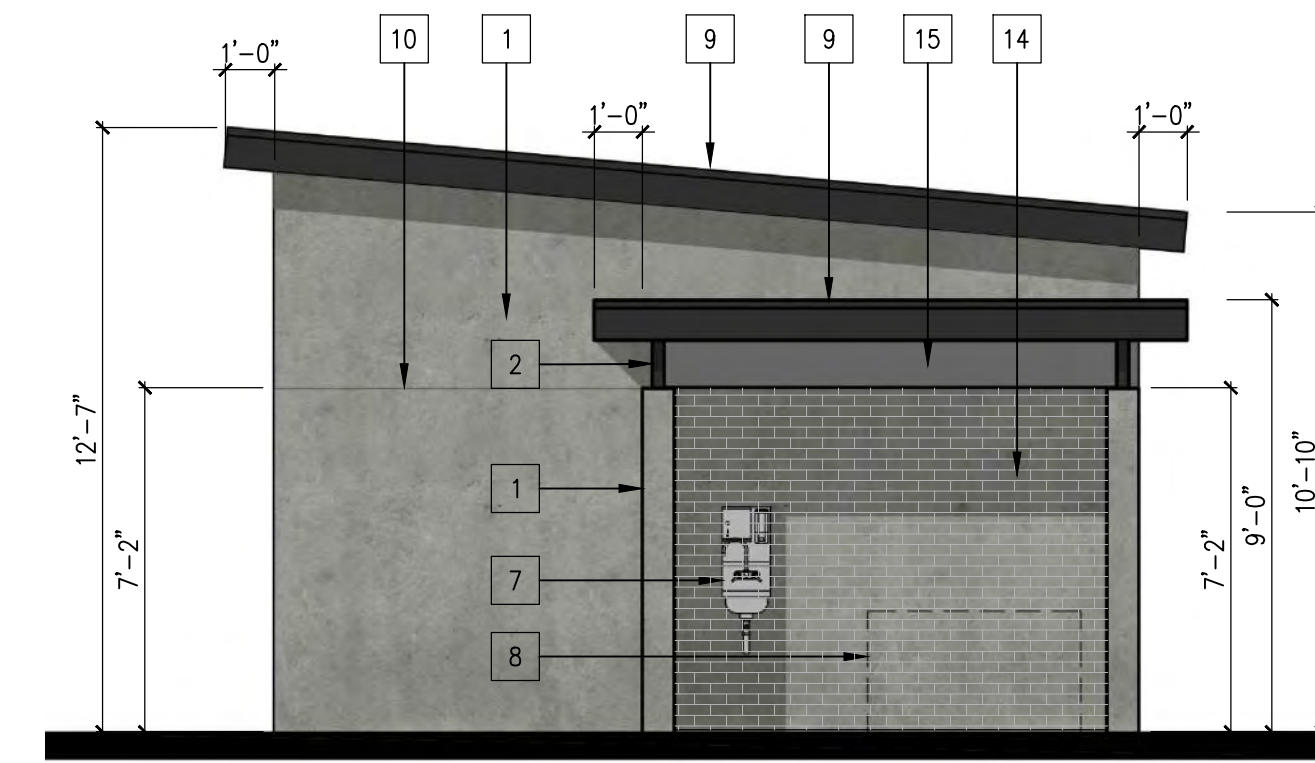
ELEVATION 03
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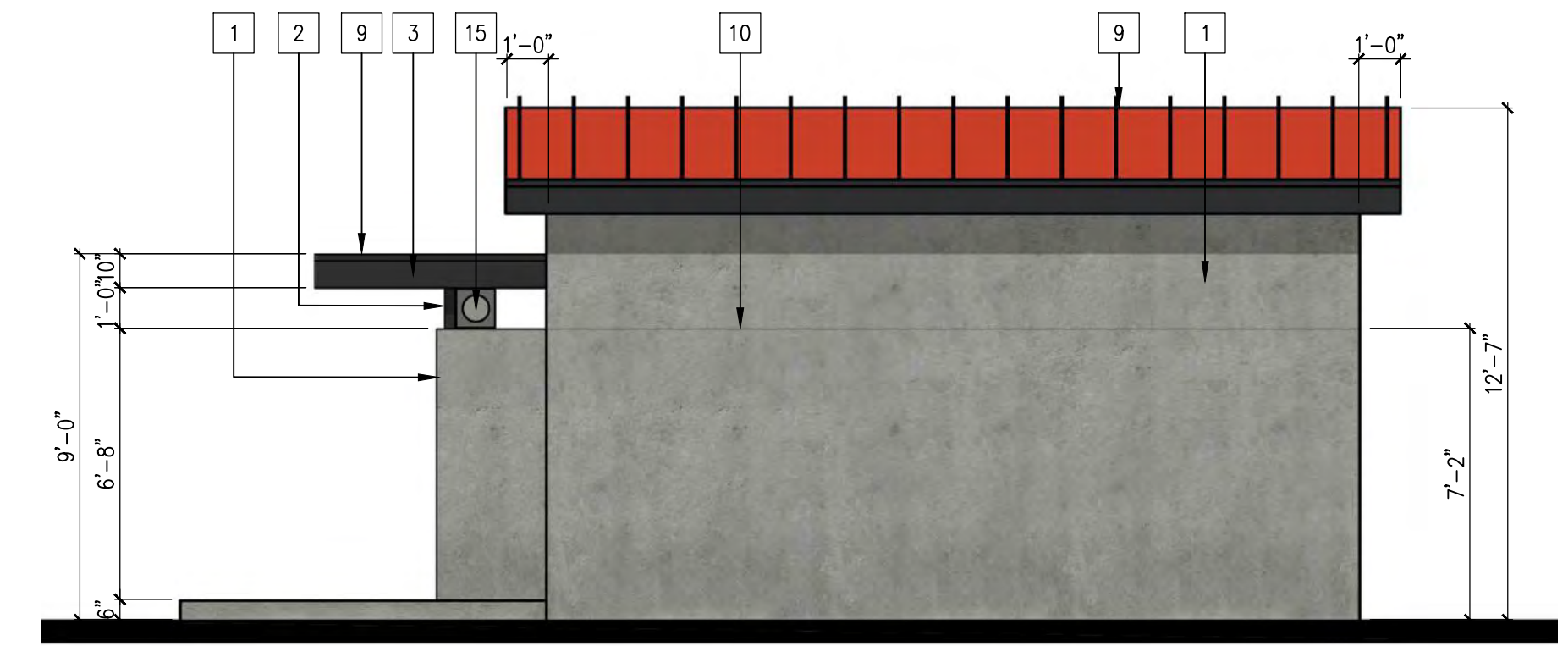
ELEVATION 11
SCALE 1/4"=1'-0"



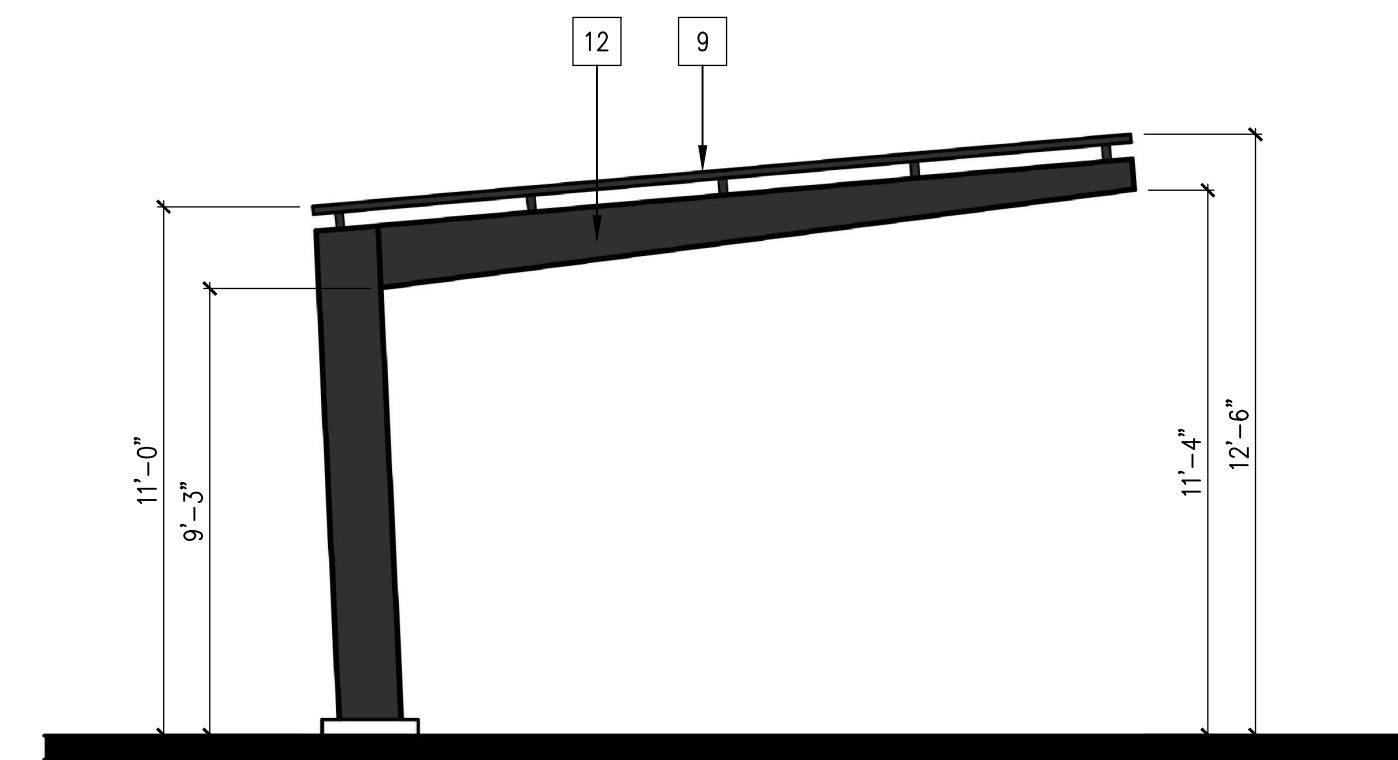
ELEVATION 08
SCALE 1/4"=1'-0"



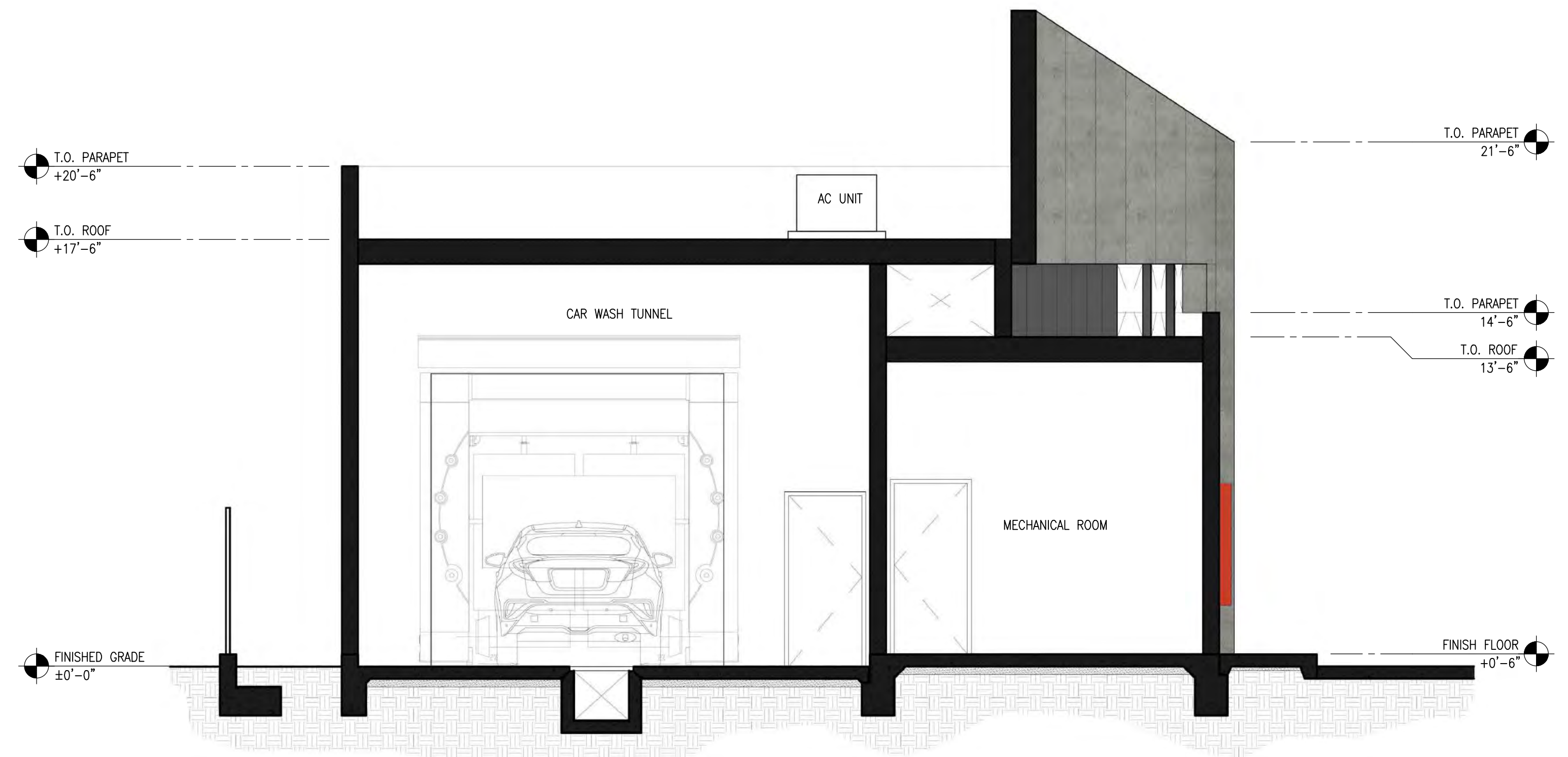
ELEVATION 05
SCALE 1/4"=1'-0"



ELEVATION 02
SCALE 1/4"=1'-0"



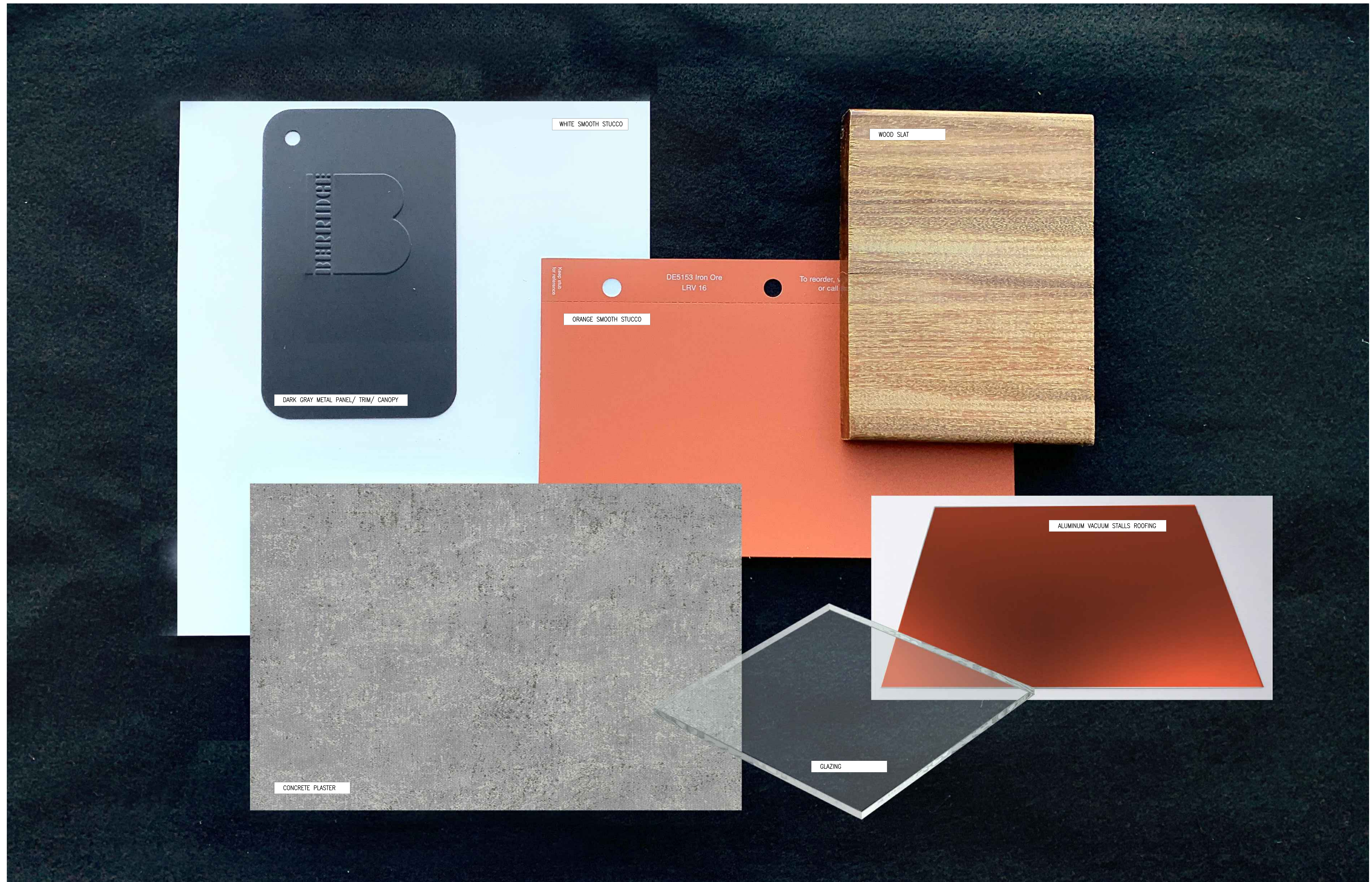
VACUUM CANOPY ELEVATION 10
SCALE 1/4"=1'-0"

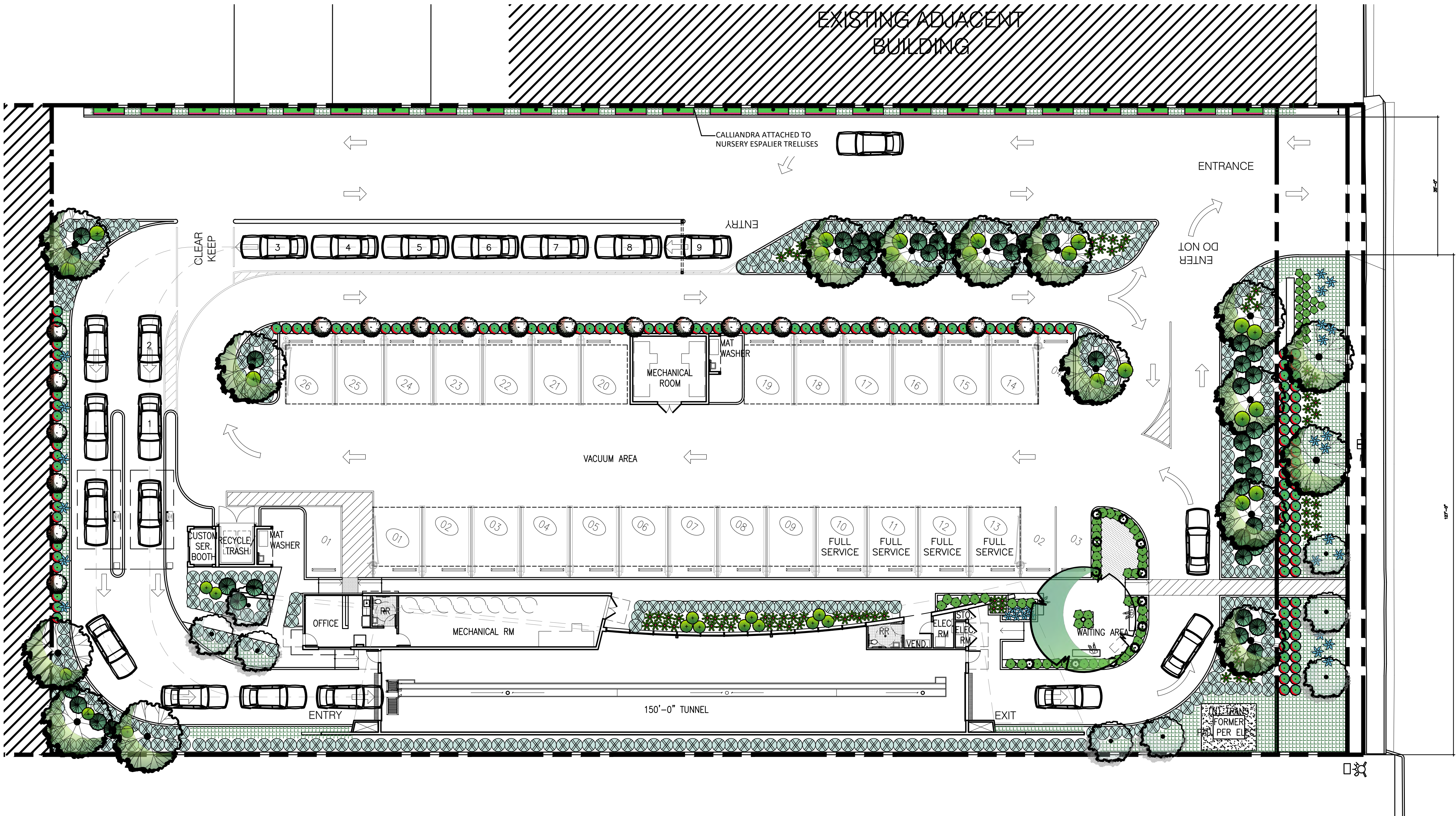


SECTION 01
SCALE 1/4"=1'-0"



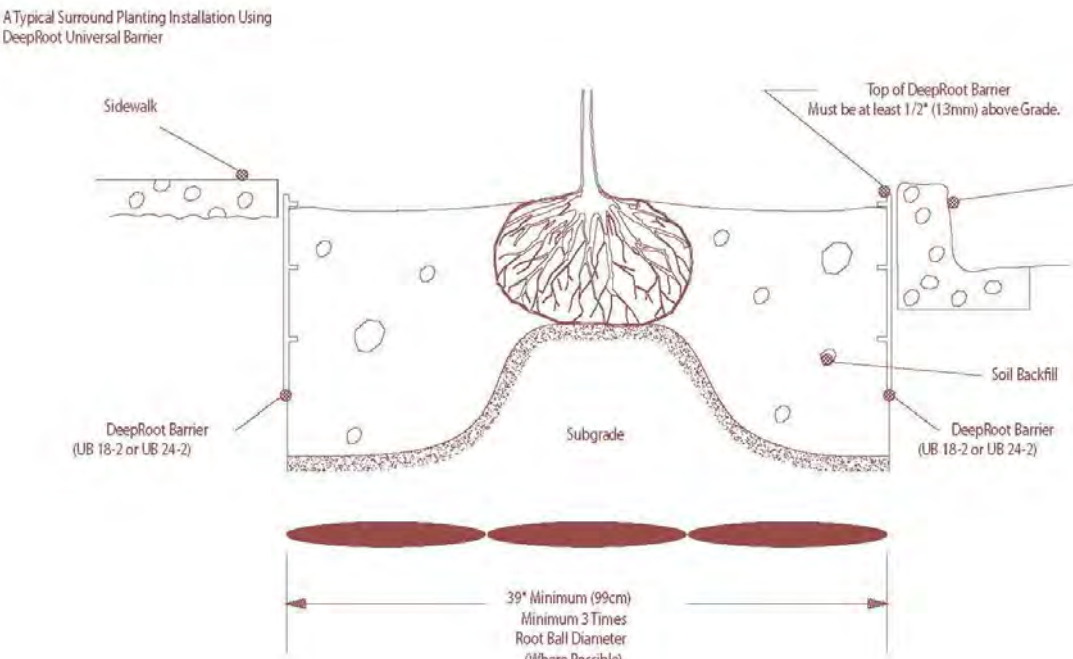






Surround Style Planting with Deeproot Universal Barriers

- When selecting the Surround style planting application you will have the greatest success by following these simple steps as illustrated below:
- A. Prepare the initial planting hole as illustrated below. This is based upon the combination of desired barrier diameter and depth. Consider if drainage devices or amendments are needed to correct any adverse soil or planting conditions in the backfill area.
- B. Assemble the appropriate number of Deeproot Universal Barrier panels. The vertical root-deflecting ribs on the panel must face inward, toward the root ball. (This is very important, otherwise the roots will become girdled by traveling around the smooth walled surface).
- C. Next place the barrier in the center of the planting hole, keeping in mind that the double top edge of the barrier should be positioned approximately 1/2" (1.3mm) above grade. This helps retard potential root overgrowth. Failing to position the top edge above grade can allow root overgrowth which can lead to uprooted landscapes.
- D. Backfill and compact with soil inside the barrier to the level where the bottom of the root ball will be when positioned correctly with the crown of the root ball approximately 1" (25mm) above grade.
- E. Remove the tree from its container, or cut away the top portion of burlap and position in the center of the barrier. Complete the backfill of the soil. Distribute evenly to maintain the shape of the barrier and compact the backfill every 4"-6" (10cm-15cm). Roots will die quickly if left exposed to the elements so keep exposure of the roots to a minimum.
- F. If staking or guying is required we recommend using the soft, safe and economical alternative to traditional wire and howe Arborlife (see www.deeproot.com for details).
- G. If the tree(s) will be subject to maintenance work such as lawn mowing or weed trimming we strongly recommend the installation of ArborGuard-Tree Trunk Protectors which are placed around the base of young trees to protect them from damage by weed trimmers, lawn mowers and small rodents. (See www.deeproot.com).
- H. Water and follow proper tree maintenance practices.
- Trees do require care and nurturing after planting. Consult with your local supplier for proper care procedures for the species you are planting. The planting instructions given here are by no means a comprehensive guide. Rather they are general guidelines to planting with Deeproot Barriers and a survey of current planting methods. Conditions will vary however and it is recommended that an Arborist be consulted before planting.
- For additional information please visit our website at www.deeproot.com.
- For information regarding distributors please call: 1.800.1LV ROOT (458.7668). For help with drainage or other difficult installation questions please call Deeproot Technical Support at: 1.800.ROOT.TEK (766.8833).



GENERAL NOTES:

FULLY AUTOMATED IRRIGATION SYSTEM WILL BE PROVIDED

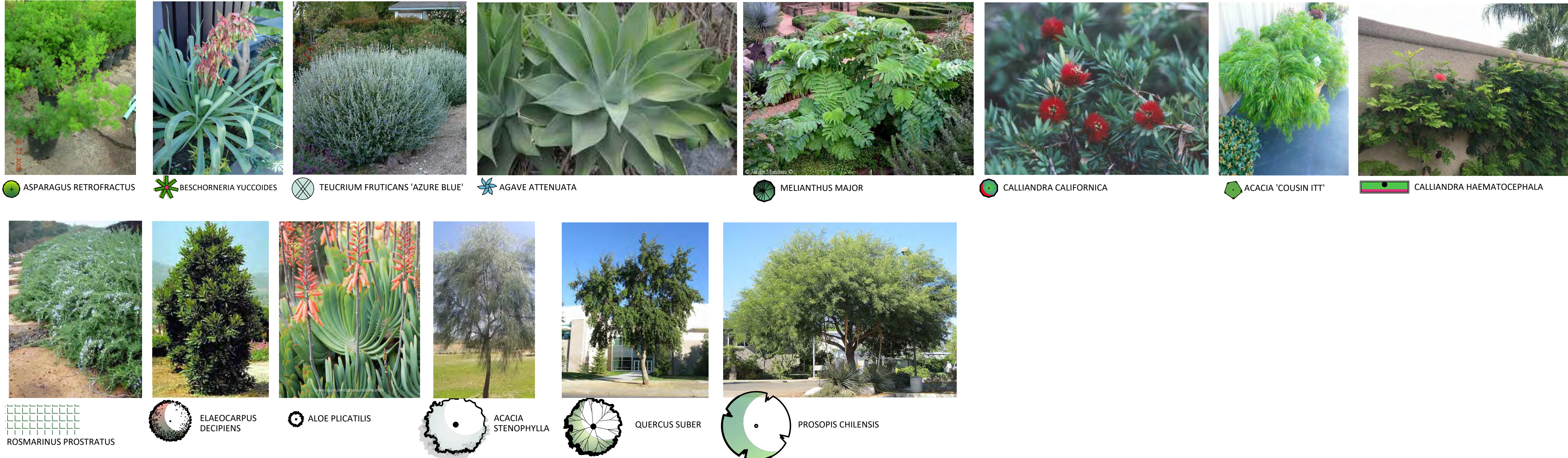
LANDSCAPE
SCALE: 1/16"=1'-0"



PLANTING NOTES:

1. THE PLANTING PLAN IS DIAGRAMMATIC. ALL PLANT LOCATIONS ARE APPROXIMATE. PLANT SYMBOLS TAKE PRECEDENCE OVER PLANT QUANTITIES SPECIFIED.
2. QUANTITIES SHOWN ON THE PLANTING PLAN ARE APPROXIMATE AND ARE FOR THE CONVENIENCE OF THE CONTRACTOR.
3. THE CONTRACTOR SHALL NOTIFY LANDSCAPE DESIGNER OF DISCREPANCIES BETWEEN QUANTITIES & SYMBOLS SHOWN.
4. PLANT FITS SHALL BE TWICE THE SIZE OF THE DESIGNATED NURSERY CONTAINERS.
5. PLANT MATERIAL SHALL NOT BE ROOT BOUND. FIVE GALLON PLANTS AND LARGER SHALL HAVE BEEN GROWN IN CONTAINERS FOR A MINIMUM OF 6 MONTHS AND A MAXIMUM OF 2 YEARS. PLANTS SHALL EXHIBIT HEALTHY GROWTH FREE OF DISEASES AND PESTS.
6. REMOVE NURSERY STAKES ON ALL VINES AND ATTACH TO ADJACENT WALLS OR FENCES WITH NON-METALLIC TIES. REMOVE NURSERY STAKES AND TIES FROM ALL TREES OR NURSERY STOCK. MAINTAIN SIDE GROWTH ON ALL TREES.
7. PROVIDE COMMERCIAL GRADE POLYESTER WEED CONTROL FABRIC UNDERLAYMENT BELOW ALL DECOMPOSED GRANITE PAVING AREAS. CUT HOLES IN FABRIC THE SIZE OF THE PLANT ROOTBALLS AT LOCATIONS OF INDIVIDUAL OR CLUSTER ACCENT PLANTINGS.

PLANT PHOTOS



PLANTING SCHEDULE (ON-SITE)

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY	WUCOLS
	ASPARAGUS RETROFRACTUS	FERN PINE	5 GAL	32	L
	BESCHORNERIA YUCCOIDES	MEXICAN LILY	1 GAL	76	L
	TEUCRIUM FRUTICANS 'AZURE BLUE'	BUSH GERMANDER	1 GAL	343	L
	AGAVE ATTENUATA	FOXTAIL AGAVE	5 GAL	29	L
	MELIANTHUS MAJOR	HONEYBUSH	5 GAL	47	L
	CALLISTEMON 'LITTLE JOHN'	LITTLE JOHN BOTTLEBRUSH	1 GAL	131	L
	ACACIA 'COUSIN ITT'	DWARF WATTLE	1 GAL	70	L
	CALLIANDRA HAEMATOCEPHALA	PINK POWDER PUFF	15 GAL	26	L
	ROSMARINUS PROSTRATUS	CARPET ROSEMARY	4" FLAT	40	L
	ELAEOCARPUS DECIPENS (COLUMN)	JAPANESE BLUEBERRY	24" BOX	25	L
	ALOE PULCATILIS	FAN ALOE	15 GAL	12	L
	ACACIA STENOPHYLLA (STANDARD)	SHOESTRING ACACIA	24" BOX	8	L
	QUERCUS SUBER (STANDARD)	CORK OAK	36" BOX	16	L
	PROSOPIS CHILENSIS (STANDARD)	CHILEAN MESQUITE	36" BOX	1	L



SYNARC STUDIO

2400 main st. suite 203 - n. rive. ca. 92011
o: 949-987-7501

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LANDSCAPE

THIS PLAN(S) DOES NOT COMMUNICATE CONSTRUCTION MEANS OR METHODS AND THEREFORE SHALL NOT BE USED FOR CONSTRUCTION OR MISCONSTRUED AS A CONSTRUCTION PLAN OR TECHNICAL DOCUMENT.

DESIGNER/CONTRACTOR IS NOT RESPONSIBLE FOR BEING MISCONSTRUED, OMISSIONS, OR MISUNDERSTANDINGS BY ANY PARTY THAT MAY ARISE FROM THIS CONCEPT. CONTRACTED SCOPE OF WORK SHALL DESCRIBE ACTUAL INCLUSIONS OR EXCLUSIONS. NO REPRESENTATION OF WHAT IS INCLUDED FOR A SPECIFIED CONSTRUCTION BUDGET IS OFFERED BY THIS CONCEPT.

PROJECT TITLE

SUNNY CAR WASH
31401 RIVERSIDE DR.
LAKE ELSDORE, CA
92530

DESCRIPTION

DATE

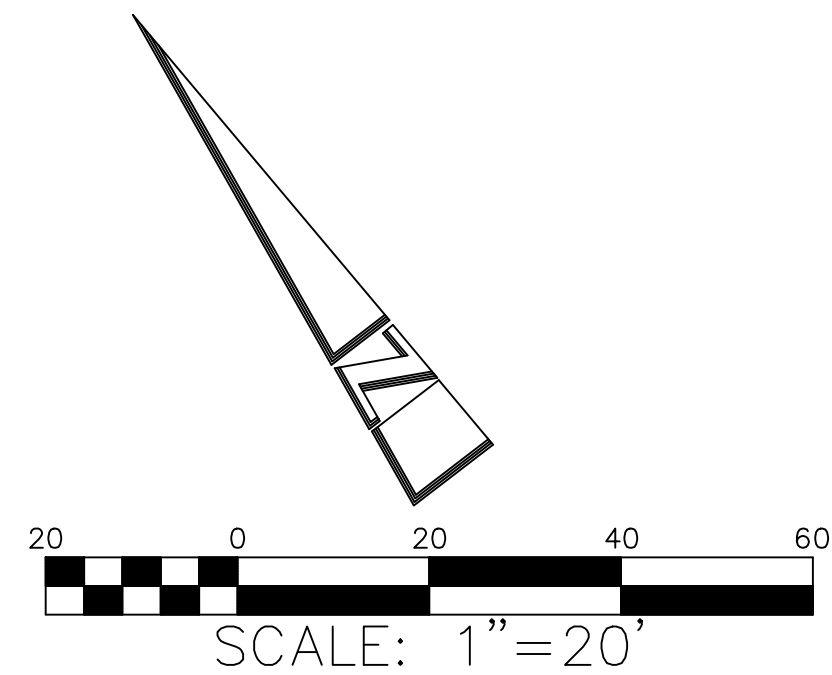
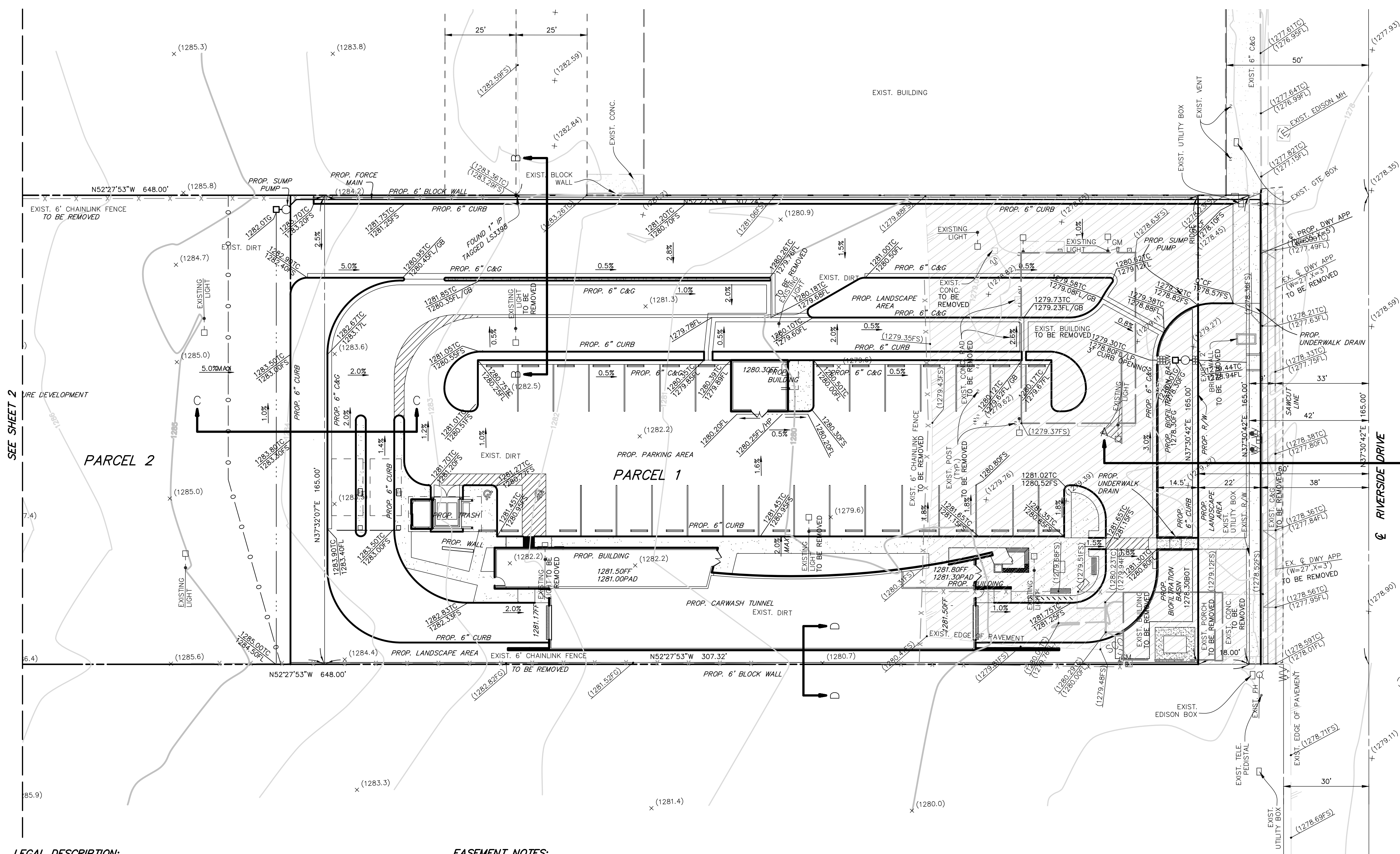
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SHEET TITLE

LANDSCAPE
CONCEPT
L-1

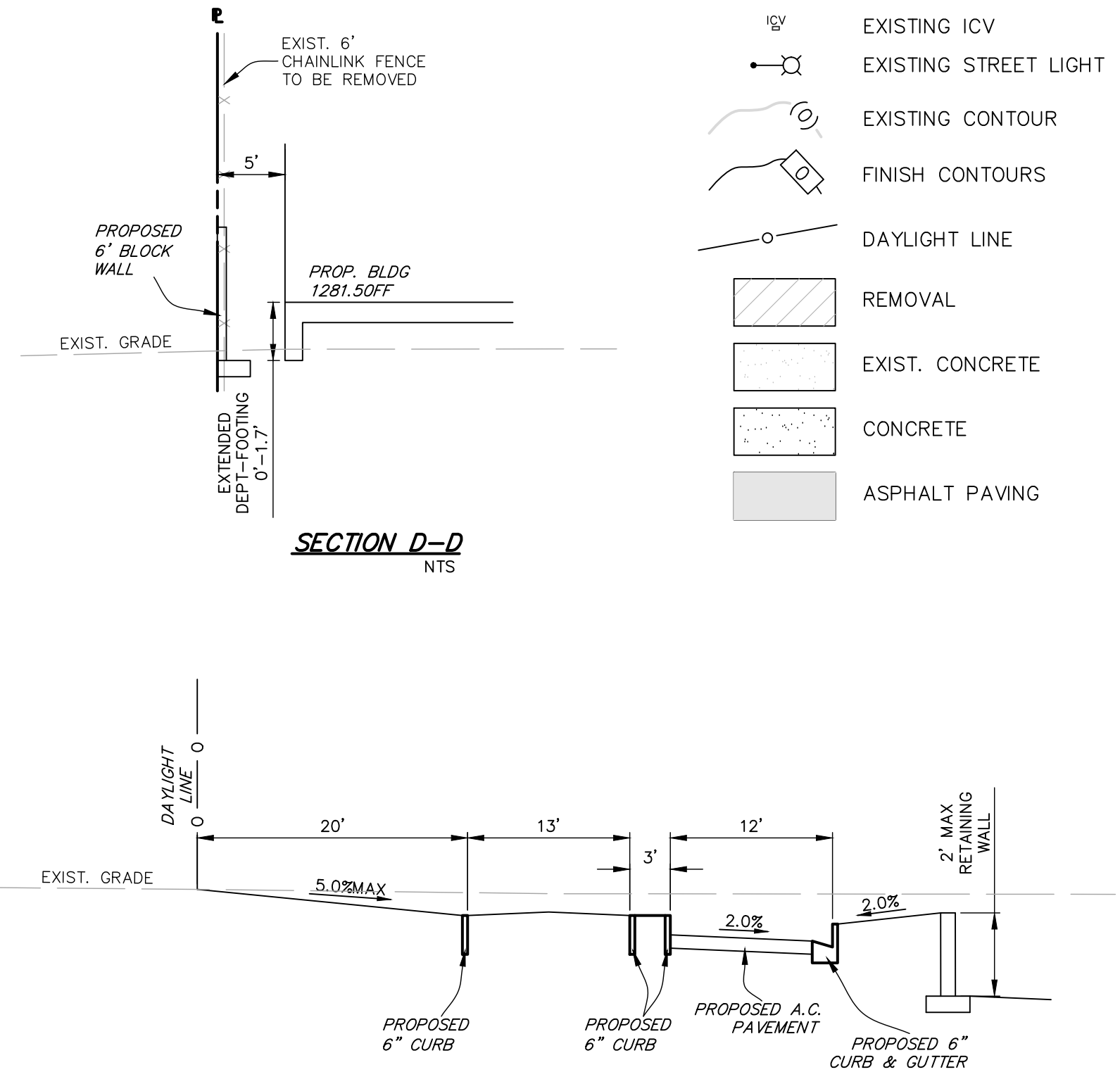
DATE 03.08.2021

SEE SHEET 2



LEGEND

- BW BACK OF WALK
- EG EXISTING GRADE
- FG FINISH GRADE
- FS FINISH SURFACE
- TC TOP OF CURB
- FL FLOW LINE
- EP EDGE OF PAVEMENT
- FF FINISH FLOOR
- PAD PAD GRADE
- TW TOP OF WALL
- TF TOP OF FOOTING
- HP HIGH POINT
- LP LOW POINT
- CF CURB FACE
- TG TOP OF GRATE
- TRW TOP OF RETAINING WALL
- EDF EXTRA DEPTH FOOTING
- INV INVERT OF PIPE
- TOP OF SLOPE
- RATE OF SLOPE
- TOE OF SLOPE
- EXISTING SEWER
- EXISTING WATER
- EXISTING FIRE HYDRANT
- EXISTING FDC
- EXISTING WATER VALVE
- EXISTING GAS METER
- EXISTING WATER METER
- EXISTING PULL BOX
- EXISTING ICV
- EXISTING STREET LIGHT
- EXISTING CONTOUR
- FINISH CONTOURS
- DAYLIGHT LINE
- REMOVAL
- EXIST. CONCRETE
- CONCRETE
- ASPHALT PAVING



LEGAL DESCRIPTION:

REAL PROPERTY IN THE CITY OF LAKE ELSINORE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:

THAT PORTION OF LOT 16, BLOCK "B" RANCHO LA LAGUNA IN THE CITY OF LAKE ELSINORE, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 8 PAGE 377 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, CALIFORNIA, DESCRIBE DAS FOLLOWS:

BEGINNING AT THE MOST SOUTHERLY CORNER OF THE NORTHEASTERLY HALF OF THE NORTHEASTERLY HALF OF SAID LOT, BEING ON THE NORTHWESTERLY LINE OF RIVERSIDE DRIVE, 60FEET WIDE, THENCE NORTH 53° 04' 30" WEST, 660 FEET ON THE SOUTHWESTERLY LINE OF SAID NORTHEASTERLY HALF OF THE NORTHEASTERLY HALF OF SAID LOT, THENCE NORTH 36° 55' 30" EAST, 165 FEET; THENCE SOUTH 53° 04' 30" EAST, 660 FEET, PARALLEL TO SAID SOUTHWESTERLY LINE TO A POINT ON THE NORTHWESTERLY LINE OF RIVERSIDE DRIVE, 60 FEET WIDE, THENCESOUTH 36° 55' 30" WEST, 165 FEET ON SAID NORTHWESTERLY LINE TO THE POINT OF BEGINNING.

EXCEPT THE EASTERLY 12 FEET THEREFROM AS DESCRIBED IN DEED RECORDED JANUARY 3, 1972 DOCUMENT NO. 384.

PARCEL 2:

AN EASEMENT, 50 FEET IN WIDTH, FOR INGRESS AND EGRESS, THE CENTERLINE OF WHICH IS DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE SOUTHWESTERLY LINE OF WALNUT DRIVE, 30 FEET WIDE, AS SHOWN ON THE MAP OF HOWELLS ELSINORE TRACT NO. 1, AS PER MAP RECORDED IN BOOK 14 PAGE 71 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, WHICH IS NORTH 53° 28' 00" WEST, 270 FEET FROM THE NORTHWESTERLY LINE OF SAID RIVERSIDE DRIVE; THENCE SOUTH 36° 34' 45" WEST, 165 FEET TO THE NORTHEASTERLY LINE OF PARCEL 1 HERE IN ABOVE DESCRIBED.

EXCEPT FROM PARCELS 1 AND 2 25% ROYALTY INTEREST IN AN GAS, OIL OR MINERALS PRODUCED FROM SAID LAND, AS RESERVED IN DEED FROM JACKSON L. TAYLOR AND MYRTLE H. TAYLOR, HUSBAND AND WIFE, TO HUBERT COLEMAN AND ELIZABETH COLEMAN, HUSBAND AND WIFE, RECORDED NOVEMBER 26, 1952 IN BOOK 1419 PAGE 437 OF OFFICIAL RECORDS.

ALSO EXCEPT AN UNDIVIDED 1/4TH INTEREST IN ALL OIL, GAS, GOLD SILVER, GRANITE, AND OTHER MINERALS AND METALS AS CONVEYED TO MYRON RUTH COLEMAN AND TRUMAN H. COLEMAN BY DEED RECORDED SEPTEMBER 23, 1953 IN BOOK 1510 PAGE 535 OF OFFICIAL RECORDS.

APN: 379-160-002

EASEMENT NOTES:

BASED ON NORTH AMERICAN TITLE INSURANCE COMPANY, TITLE COMMITMENT ISSUED BY NORTH AMERICAN TITLE INSURANCE COMPANY, ORDER NO. 92002-20-02519 DATED JANUARY 31, 2020.

- 1-3 NOT A SURVEY MATTER.
- 4 AN EASEMENT FOR THE PURPOSE OF UTILITIES AND INCIDENTAL PURPOSES, RECORDED JULY 12, 1949, AS INSTRUMENT NO. 1257 OF OFFICIAL RECORDS.
- 5 AN EASEMENT IN FAVOR OF ELSINORE VALLEY MUNICIPAL WATER DISTRICT, FOR THE PURPOSE OF (NOT SHOWN) AND INCIDENTAL PURPOSES, RECORDED AUGUST 17, 1962, AS INSTRUMENT NO. 78052 OF OFFICIAL RECORDS.
- 6-10 NOT A SURVEY MATTER.

BASIS OF BEARINGS

THE BASIS OF BEARING FOR THIS SURVEY IS NORTH 20° 23' 43" WEST BASED ON CALIFORNIA STATE PLANE COORDINATE SYSTEM, CSRS (CALIFORNIA SPATIAL REFERENCE CENTER), ZONE 6, BASED LOCALLY ON CONTROL STATIONS "BILL" AND PPBF, CRS EPOCH 2017.50 NAD 83 AS SHOWN HEREON.

ZONING & LAND USE

ZONING: C2 - GENERAL COMMERCIAL

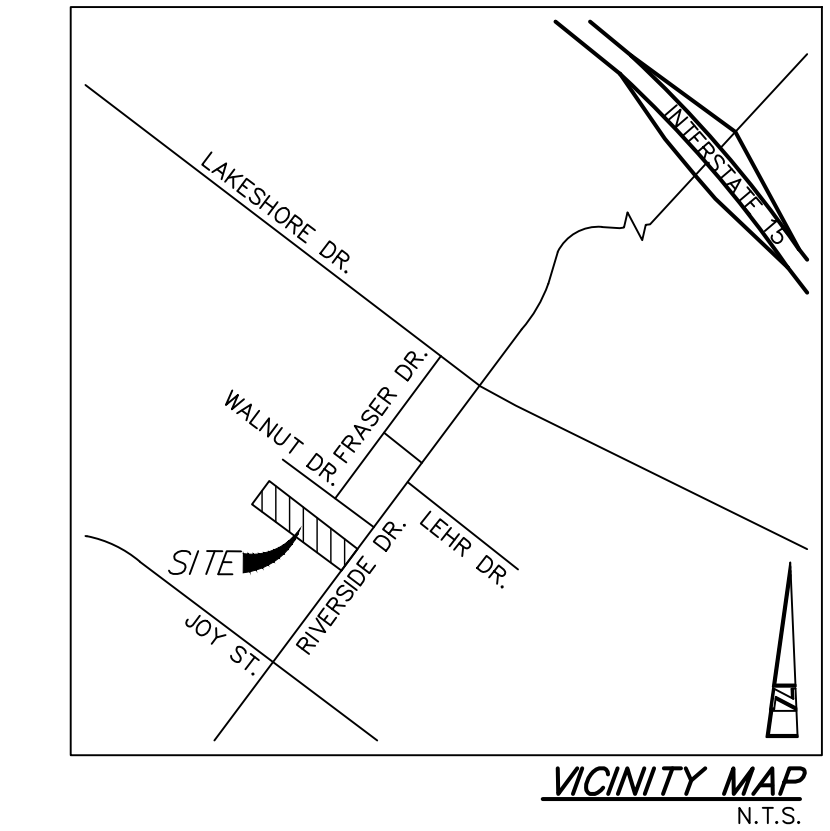
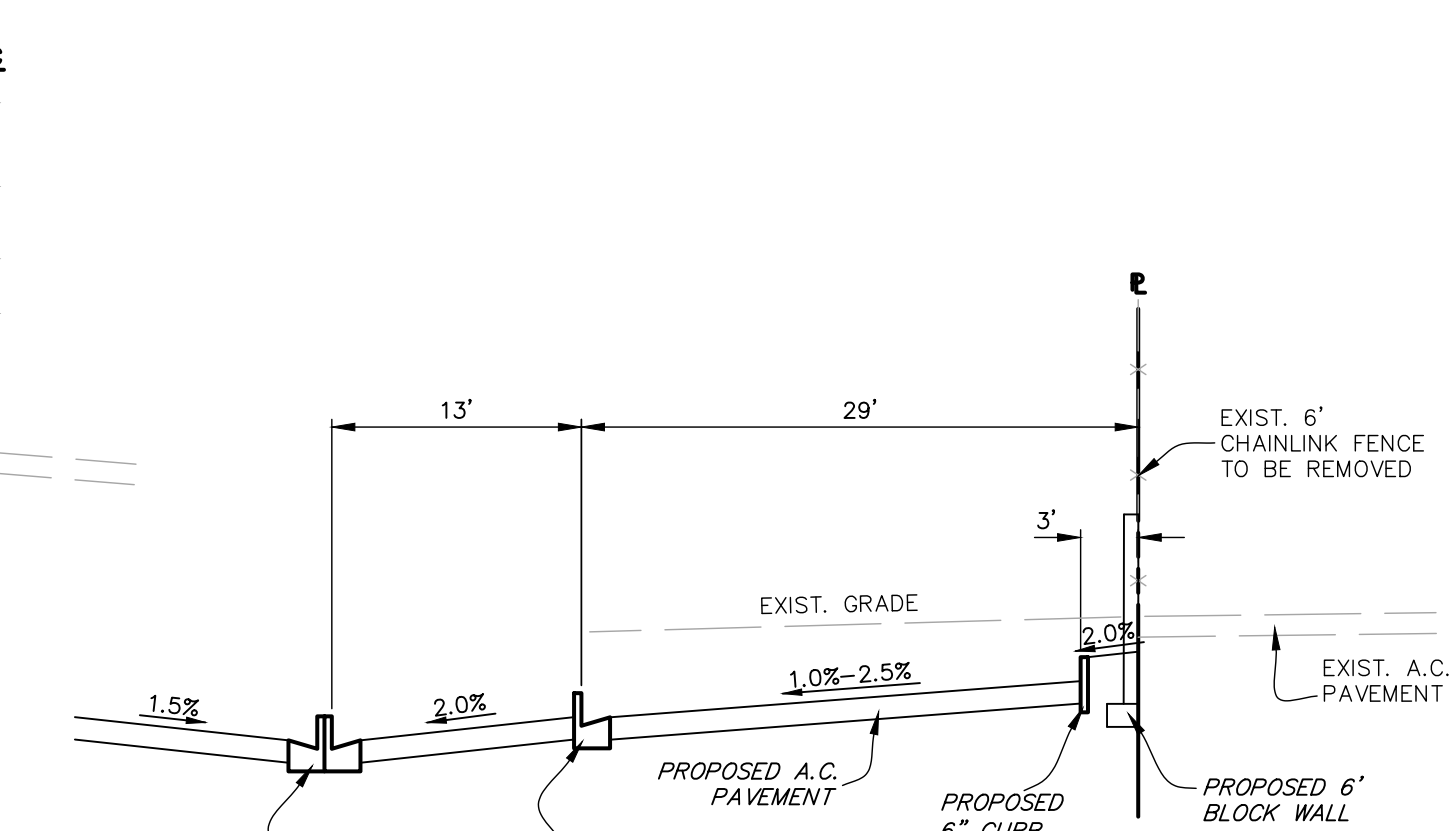
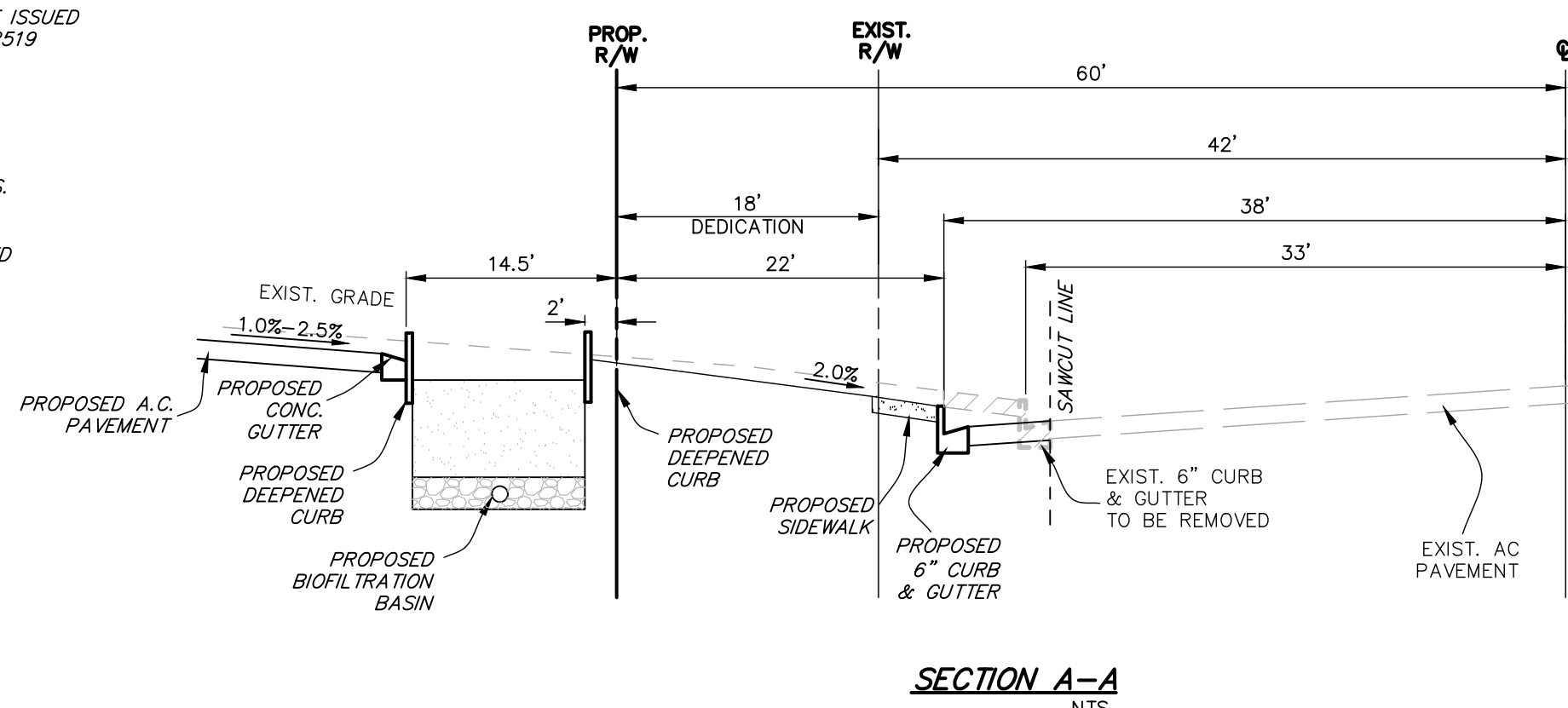
LAND USE: GENERAL COMMERCIAL

FLOOD ZONE:

FLOOD ZONE: X
MAP # 06055-2036G
EFFECTIVE DATE: 8/28/2008

QUANTITIES

TOTAL AREA: 106,920 S.F.
PERVIOUS: 8,978 S.F. (0.21 AC)
IMPERVIOUS: 45,668 S.F. (1.05 AC)
FUTURE: 52,274 S.F. (1.20 AC)



DIGALERT
DIAL TOLL FREE 811
AT LEAST TWO DAYS BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA



BENCHMARK : 13-C-93

ELEV: 1280.13

REVISIONS:

PREPARED UNDER THE SUPERVISION OF:

R.C.E. 43714 LIC. EXP. 03/31/21
APPROVED BY: DATE

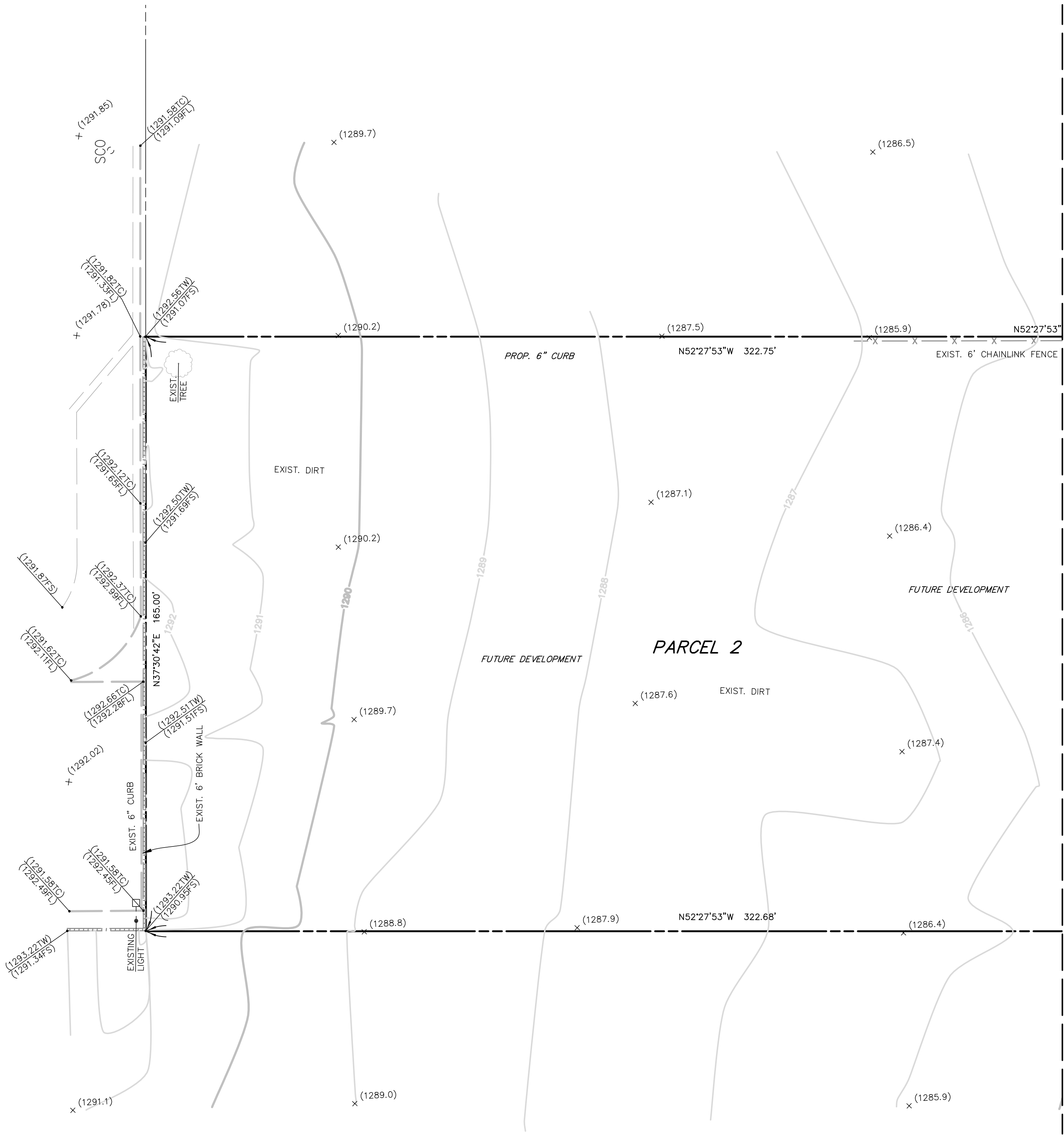
PRELIMINARY GRADING PLAN

SITE:
31401 RIVERSIDE DR.
LAKE ELSINORE, CA 92530

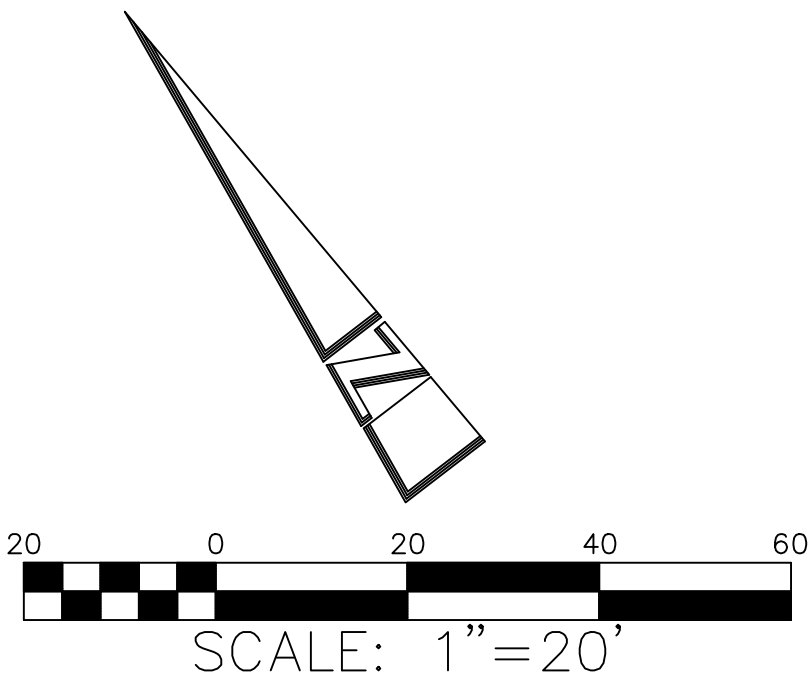
PREPARED FOR:
STYARC STUDIO
17200 RED HILL AVENUE,
IRVINE, CA 92614
(949) 596-7362

LAND DEVELOPMENT DESIGN COMPANY, LLC
2313 E. Philadelphia St., Ste. F
Ontario, CA 91761
(909) 930-1466 • FAX (909) 930-1468
PLANNING • CIVIL • SURVEYING

DATE: 03/10/21
JOB NO: 6283
DRAWN BY: RR
SCALE: 1"=20'
DESIGNED BY: KJR
SHEET 1 OF 2
CHECKED BY: KJR
SHEETS



SEE SHEET 1



BENCHMARK : 13-C-93 ELEV. 1280.13	REVISIONS: <table><tr><td> </td></tr><tr><td> </td></tr><tr><td> </td></tr><tr><td> </td></tr><tr><td> </td></tr><tr><td> </td></tr></table>							PREPARED UNDER THE SUPERVISION OF: R.C.E. 43714 LIC. EXP. 03/31/21 DATE 03/04/21 APPROVED BY: _____ DATE _____	PRELIMINARY GRADING PLAN SITE: 31401 RIVERSIDE DR. LAKE ELSINORE, CA 92530 PREPARED FOR: SYNARC STUDIO 17200 RED HILL AVENUE, IRVINE, CA 92614 (949) 596-7362		DATE: 03/10/21 DRAWN BY: RR DESIGNED BY: KJR CHECKED BY: KJR	JOB NO. 6283 SCALE 1"=20' SHEET 2 OF 2 SHEETS
LAND DEVELOPMENT DESIGN COMPANY, LLC PLANNING • CIVIL • SURVEYING 2313 E. Philadelphia St., Ste. F Ontario, CA 91761 (909) 930-1466 • FAX (909) 930-1468												