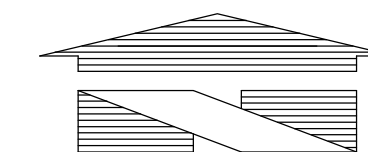


SCALE: 1" = 20'-0"



SITE DATA

ADDRESS:	16830 LAKESHORE DRIVE LAKE ELSINORE, CA 92530		
APN:	378-290-019		
LOT SIZE:	.69 ACRES (30,056.4 SF)		
COUNTY:	RIVERSIDE		
EXISTING ZONING:	NEIGHBORHOOD COMMERCIAL (C1)		
BUILDING AREA:	C-STORE	3,800 SF	
	TRASH ENCLOSURE	640 SF	
	CANOPY	3,910 SF	
	TOTAL	8,350 SF	
SITE AREA:	BUILDING AREA	8,350 SF	(28%)
	HARDSCAPE AREA	16,785.4 SF	(56%)
	LANDSCAPE AREA	4,921 SF	(16%)
PARKING REQUIREMENT:	C-STORE: 1 SPACE / 250 SF =		16 SPACES
	TOTAL REQUIRED:		16 SPACES
	TOTAL PROVIDED: 12 SPACES (INCLUDING 1 H.C.)		

OWNER / APPLICANT

STEVE LOVE
AMORE ENTERPRISES, INC.
P.O.BOX 10
TEMECULA, CA 92592
PHONE: 909-764-1500
EMAIL: steve@penfoldscafe.com

ARCHITECT / APPLICANTS' REP.

EMPIRE DESIGN GROUP, INC.
PO BOX 944
MURRIETA, CA 92564
PHONE: (951) 696-1490
FAX: (951) 696-1443
CELL PHONE: (951) 809-7601
E-MAIL: ghann@empiregr.biz
CONTACT: GREGORY HANN, ARCHITECT

PHYSICAL ADDRESS:
24861 WASHINGTON AVE.
MURRIETA, CA 92562

SCOPE OF WORK

1. RAZE AND REBUILD EXISTING C-STORE, CANOPY, AND TRASH ENCLOSURE.
2. CONSTRUCTION OF A NEW PROPOSED 3,800 SF C-STORE.
3. CONSTRUCTION OF A NEW PROPOSED 3,910 SF CANOPY.
4. CONSTRUCTION OF NEW PROPOSED 640 SF TRASH ENCLOSURE.
5. NEW UNDERGROUND TANKS
6. REDEVELOPMENT OF EXISTING INCLUDING HARDSCAPE & LANDSCAPE

SHEET INDEX

ARCHITECTURAL	
AS 1	TITLE SHEET & SITE PLAN
AS 2	EXISTING & DEMO SITE PLAN

CIVIL ENGINEERING

SHT 1 OF 1 CONCEPTUAL GRADING AND DRAINAGE PLAN

LANDSCAPE

L1 LANDSCAPE CONCEPT PLAN

ARCHITECTURAL

A 1.0	C-STORE FLOOR PLAN
A 1.1	C-STORE ROOF PLAN
A 2.0	C-STORE EXTERIOR ELEVATIONS
A 2.1	C-STORE EXTERIOR ELEVATIONS
CA 1.0	CANOPY FLOOR PLAN
CA 2.0	CANOPY EXTERIOR ELEVATIONS
CA 2.1	CANOPY EXTERIOR ELEVATIONS
TE 1.0	TRASH ENCLOSURE FLOOR / ROOF PLAN & EXTERIOR ELEVATIONS

VICINITY MAP



**EMPIRE
DESIGN
GROUP Inc.**



24861 Washington Ave.
Murrieta, Calif. 92562
Tel 951-696-1490 Fax 951-696-1443

All ideas, designs and layouts shown on these drawings, including all documents on electronic media are the property of empire design group, and are intended to be used in connection with this specific project only and shall not otherwise be used for any purpose whatsoever without the written consent. and may not be reproduced or used without the written permission of empire design group.
All rights reserved

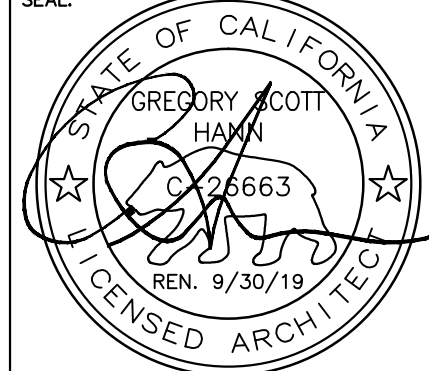
CLIENT:

AMORE
ENTERPRISES,
INC.

CHEVRON CANOPY RAZE
& REBUILD, C-STORE
16830 LAKESHORE DRIVE
LAKE ELSINORE, CA 92530

Architect of Record:
GREGORY S. HANN, AIA
24861 WASHINGTON AVE.
MURRIETA, CA 92562
TEL: 951-696-1490
CEL: 951-809-7601
FAX: 951-696-1443
E-MAIL: ghann@empiregr.biz

SEAL:



Date: MARCH 01, 2019

Project Number:	EDG# 04493
-----------------	------------

NO.	DATE	REVISION DESCRIPTION
-----	------	----------------------

DESIGNED BY:	DM
--------------	----

DESIGNED BY:	RM	
CHECKED BY:	CH	

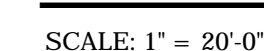
CHECKED BY:	GH
DRAWN BY:	EM

DRAWN BY:	RM	
DRAWING TITLE:		

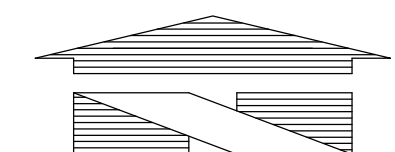
**PROPOSED
SITE PLAN / TITLE SHEET**

SHEET NO:

AS 1



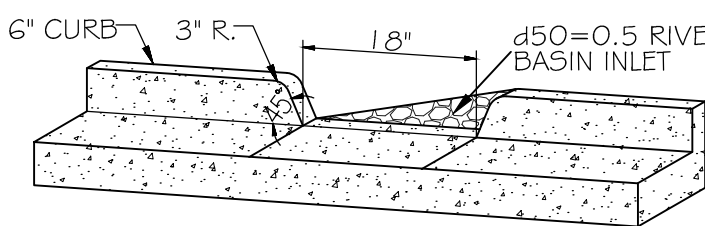
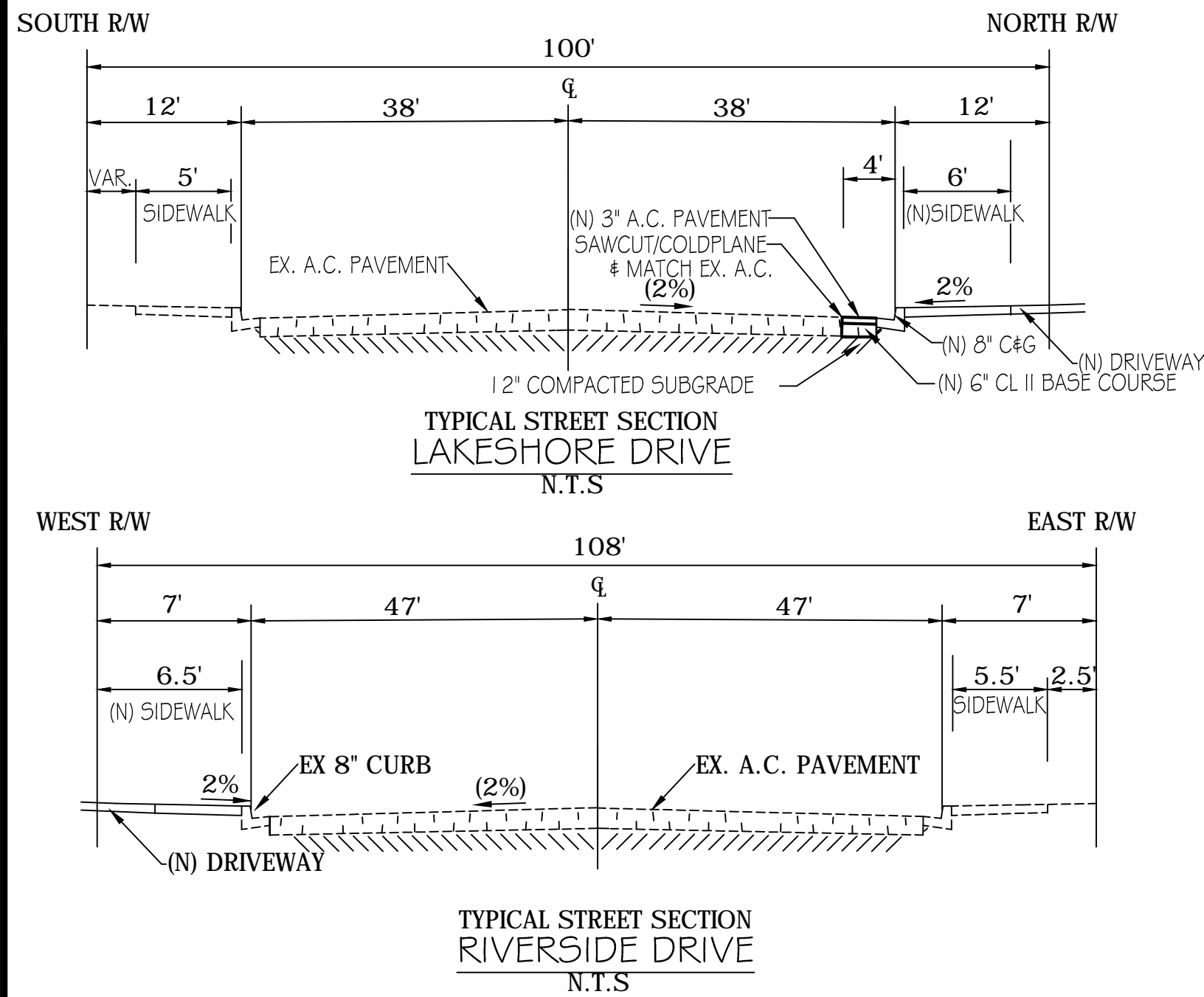
AS 2



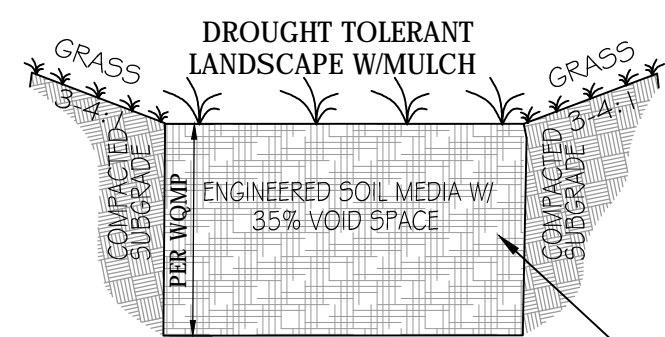
CONCEPTUAL GRADING & DRAINAGE PLAN

CHEVRON - 16830 LAKESHORE DRIVE

SECTIONS & DETAILS:



BIO-RETENTION BASIN INLET
N.T.S.



RETENTION/INFILTRATION BASIN
N.T.S.

PLACE SAN DIEGO MIX (BY VOLUME)
65% MEDIUM SAND
20% NATIVE SOIL OR SANDY LOAM
15% WOOD-BASED COMPOST

ABBREVIATIONS:

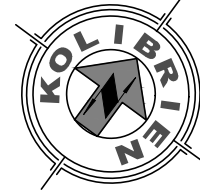
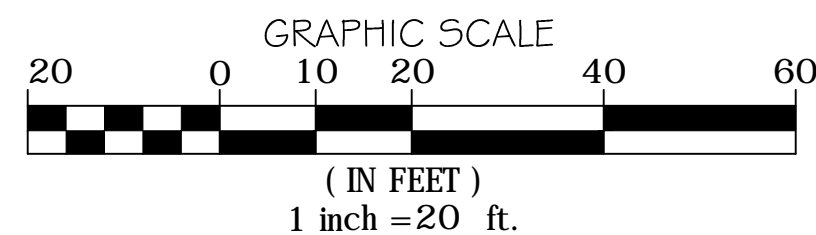
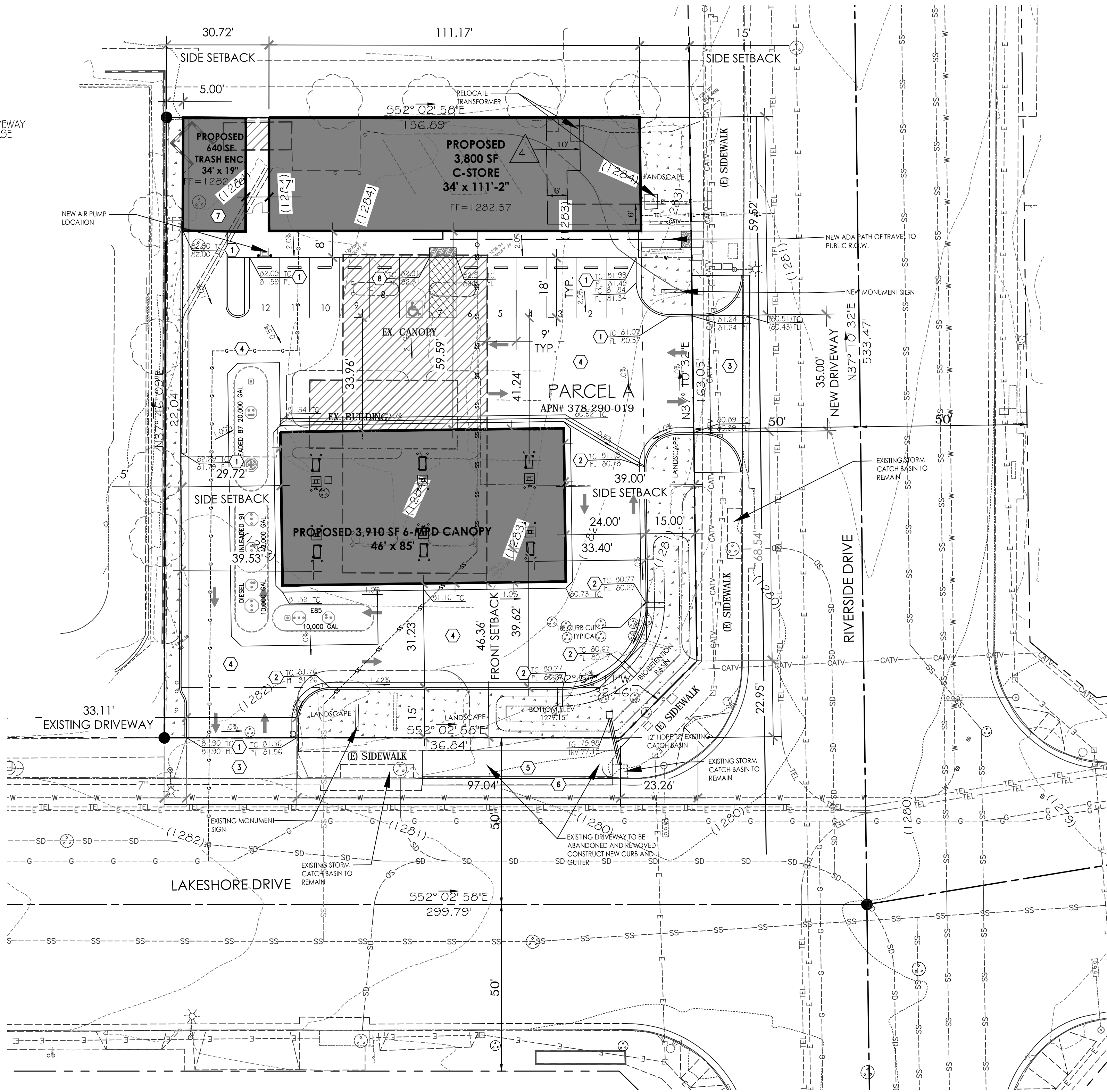
CENTER LINE	CL	FINISHED SURFACE	FS
PARCEL MAP	PM	FINISH GRADE	FG
MAP BOOK	MB	TOP OF PAVEMENT	TP
FLOW LINE	FL	PAV ELEVATION	PE
INVERT	INV	EDGE OF PAVEMENT	EP
HIGH POINT	HP	PROPERTY LINE	P/L
TOP OF CURB	TC	RIGHT-OF-WAY	R/W
TOP OF BERM	TB	TOP OF GRATE	TOG
ASPHALTIC CONCRETE	AC	TOP OF FOOTING	TF
TOP OF RAMP	TR	TOP OF WALL	TW
BOTTOM OF RAMP	BR	ASSESSOR'S PARCEL NO.	APN
PARCEL	PAR		

PROPOSED LEGEND:

BOUNDARY LINE	CONCRETE SIDEWALK
RIGHT OF WAY	LANDSCAPING (MAX 85% COMPACTION)
CENTERLINE	EX. BUILDING REMOVAL
FLOW LINE	CONC. PAVEMENT
BLOCK WALL	BIO-RETENTION BASIN
CURB	
PROP. CONTOUR	

EXISTING LEGEND:

WATER METER	SANITARY SEWER LINE
VALVE	WATER LINE
STREET LIGHT	STORM DRAIN LINE
STREET LIGHT BEACON/CONTROL	TELEPHONE LINE
STREET LIGHT	ELECTRIC LINE
SITE LIGHT	EDGE OF ASPHALT PAVEMENT
STREET SIGN	HANDICAP STRIPING
SEWER MANHOLE	BUILDING
SEWER CLEANOUT	TREE
FIRE HYDRANT	PALM TREE
PULL BOX	INDICATES FOUND MONUMENT, 1" IRON PIPE, NO TAG
MINOR CONTOUR 1 FT. INTERVAL	
MAJOR CONTOUR 5 FT. INTERVAL	
BLOCK WALL	
FENCE	



LEGAL DESCRIPTION:

The land referred to herein is situated in the State of California, County of Riverside, City of Lake Elsinore and described as follows:

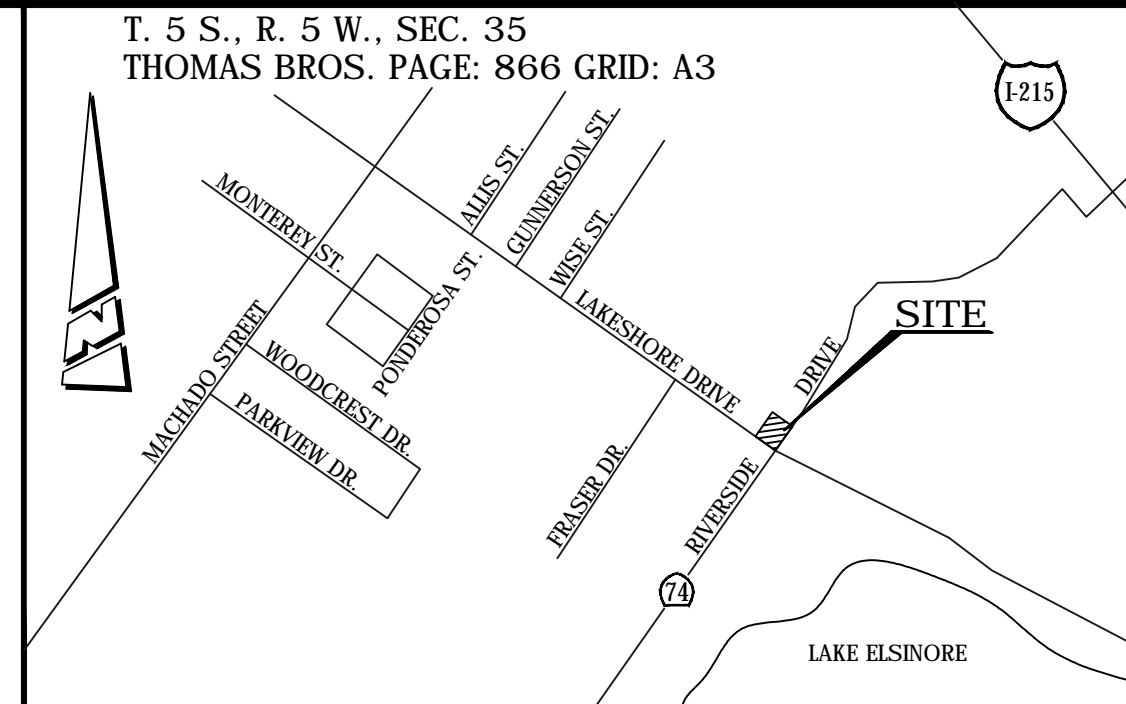
The southwesterly 206.00 feet of the southeasterly 181.00 feet of Lot 3 in Block 'B' of Rancho La Laguna, in the City of Elsinore, County of Riverside, State of California, as shown by map on file in Book 8 Page(s) 377, of Maps, Records of San Diego County, California;

Excepting therefrom that portion conveyed to the City of Lake Elsinore by Grant Deed recorded June 27, 1986 as Instrument No. 149714 of Official Records of Riverside County, California.

APN: 378-290-019

EASEMENTS:

- An easement for either or both pole lines, conduits or underground facilities, and rights incidental thereto in favor of Southern California Telephone Company, as set forth in a document recorded May 12, 1938 in Book 373 page 212 of Official Records, affects a portion of said land. Said Easement is not specifically delineated and is un-locateable.
- An easement for either or both pole lines, conduits or underground facilities, and rights incidental thereto in favor of Southern California Telephone Company, as set forth in a document recorded August 10, 1938 in Book 383, Page(s) 529 of Official Records, affects a portion of said land. Said Easement is not specifically delineated and is un-locateable.
- An easement for storm drain inlets, and rights incidental thereto in favor of Riverside County Flood Control and Water Conservation, as set forth in a document recorded May 13, 1981 as Instrument No. 87081 of Official Records, affects a portion of said land, within the R/W and does not affect subject property.
- An easement for underground electrical supply and communication systems, and rights incidental thereto in favor of Southern California Edison Company, a Corporation, as set forth in a document recorded July 25, 2012 as Instrument No. 12-347393 of Official Records, affects as shown therein.



VICINITY MAP
NOT TO SCALE

SITE ADDRESS:

16830 LAKESHORE DR., LAKE ELSINORE, CA 92530

OWNER:

STEVE LOVE
AMORE ENTERPRISES, INC.
P.O. BOX 10
TEMECULA, CA 92592

ASSESSOR'S PARCEL NO.:

378-290-019-5

BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CENTERLINE OF LAKESHORE DRIVE, AS SHOWN ON PARCEL MAP NO. 22813 ON FILE IN PARCEL MAP BOOK 154, PAGES 57 THROUGH 58, INCLUSIVE, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA SHOWN HEREON AS NORTH 53°02'58" WEST. A MEASURED DISTANCE BETWEEN TWO FOUND MONUMENTS OF 299.79 (300.08) FEET.

BENCHMARK:

RIVERSIDE COUNTY EL-30-80: FROM THE INTERSECTION OF RIVERSIDE DR. AND JOY ST., SE ALONG JOY ST. 0.15 MI.; 18' +/- SE OF PP#43321 GWT; 1' +/- S OF SURVEY MARKER POST; A 1-1/2" ALUMINUM CAP IN 6" CONCRETE COLLAR; ELEVATION= 1,264.89 FEET.

LAND SURVEYOR:

KOLIBRIEN CORP. (JOHN H. JOHNSON, PLS)
27919 JEFFERSON AVE., STE. 201
TEMECULA CA 92590
PHONE: (951) 252-1034

FLOOD ZONE DESIGNATION:

THIS PROPERTY IS IN FLOODWAY AREA ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS IS SHOWN ON FLOOD INSURANCE RATE MAPS FOR THE COUNTY OF RIVERSIDE, CALIFORNIA, SHOWN ON COMMUNITY PANEL NUMBER 06065C2036G.

ZONE INFORMATION:

ZONE: C1 NEIGHBORHOOD COMMERCIAL
LAND USE: GENERAL COMMERCIAL (FAR<0.4)
PLANNING DISTRICT: LAKE VIEW
LAKESHORE DRIVE & RIVERSIDE DRIVE: URBAN ARTERIAL (6-LANES / 120' R.O.W.)

PRELIMINARY EARTHWORK:

APPROXIMATE RAW CUT = 620 C.Y.
APPROXIMATE RAW FILL = 620 C.Y.

HYDROLOGY SUMMARY:

EXISTING 100 YEAR RATIONAL FLOWRATE
Q= 2.53 CFS

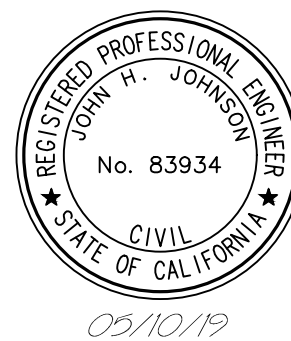
PROPOSED 100 YEAR RATIONAL FLOWRATE
Q= 2.52 CFS

PROPOSED CONDITION NOTES (85% IMPERVIOUS):

DECREASED IMPERVIOUS AREA BY 0.02 ACRES.
INCREASED FLOWPATH LENGTH.
THIS CALCULATION DOES NOT ACCOUNT FOR INFILTRATION WITHIN THE BIO-RETENTION AREAS WHICH FURTHER DECREASES SITE RUNOFF.

CONSTRUCTION NOTES:

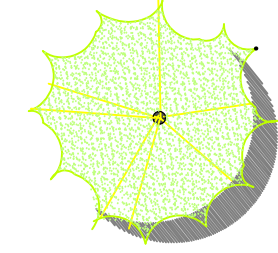
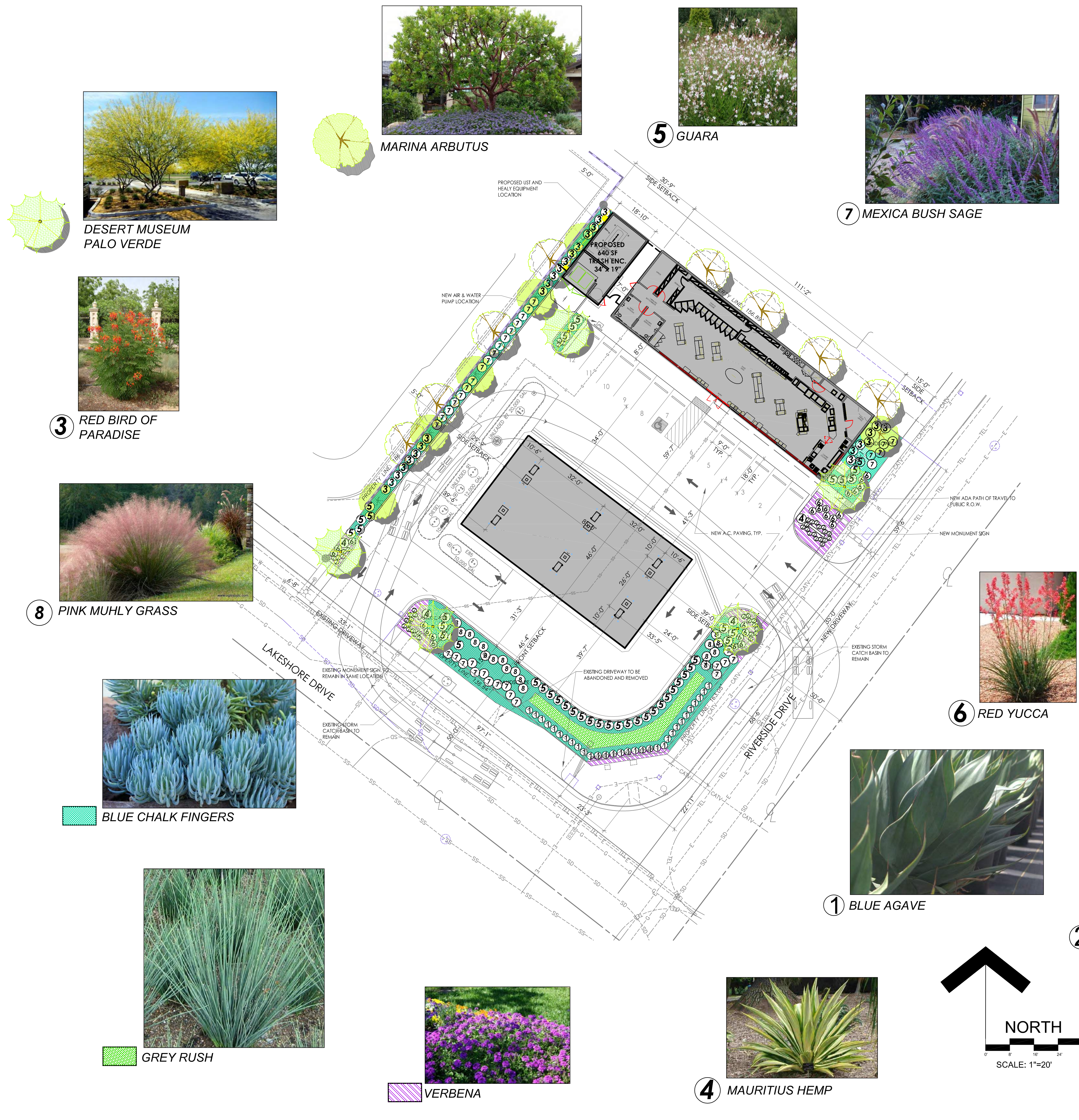
- CONSTRUCT TYPE A 6" CURB
- CONSTRUCT TYPE B 6" CURB W/ 18" GUTTER
- CONSTRUCT COMMERCIAL DRIVEWAY
- CONSTRUCT 3" THICK A.C. PAVEMENT OVER COMPACTED SUBGRADE
- CONSTRUCT SIDEWALK
- CONSTRUCT TYPE B 8" CURB & GUTTER
- CONSTRUCT TRASH ENCLOSURE PER ARCHITECTURAL PLANS
- CONSTRUCT HANDICAP RAMP



JOHN H. JOHNSON R.C.E. 83934
MY REGISTRATION EXPIRES ON 09/30/2019

DATE

KOLIBRIEN
LAND SURVEYING - CIVIL ENGINEERING - STRUCTURAL ENGINEERING



DESERT MUSEUM
PALO VERDE



3 RED BIRD OF
PARADISE



8 PINK MUHLY GRASS



BLUE CHALK FINGERS



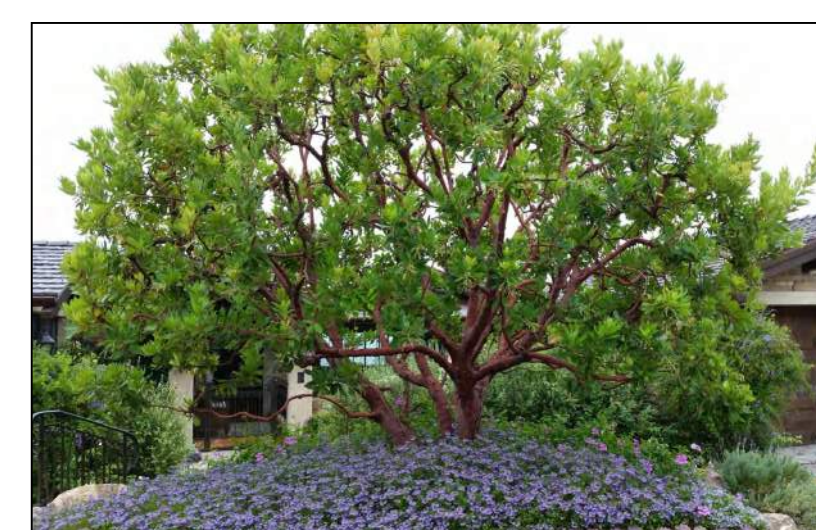
GREY RUSH



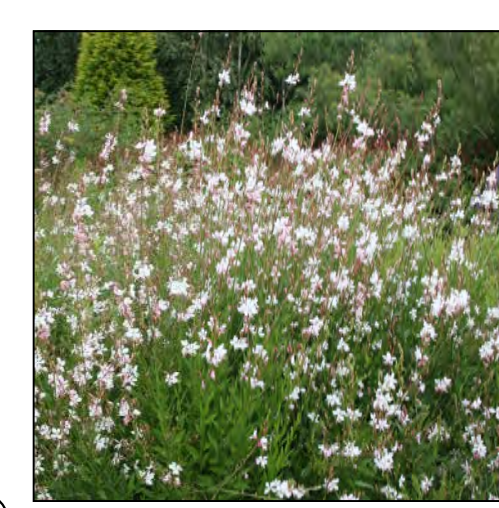
VERBENA



4 MAURITIUS HEMP



MARINA ARBUTUS



5 GUARA



7 MEXICA BUSH SAGE



6 RED YUCCA

PLANT PALETTE

SYMBOL	BOTANICAL NAME/COMMON NAME	SIZE	QTY.	WUCOLS
EXISTING TREES TO REMAIN:				
	EXISTING TREE ON ADJACENT PROPERTY TO REMAIN - PROTECT IN PLACE	N.A.	VERIFY IN THE FIELD	N.A.
PROPOSED TREES:				
	ARBUTUS 'MARINA' / MARINA ARBUTUS	24" BOX	6	L
	PARKINSONIA 'DESERT MUSEUM' / DESERT MUSEUM PALO VERDE	24" BOX	5	L
NOTE: PROVIDE A PRE-APPROVED ROOT BARRIER FOR ALL TREES PLANTED WITHIN 8'-0" OF HARDSCAPE OR WALLS AND PROVIDE A MINIMUM OF 3'-0" CLEARANCE BETWEEN TREE TRUNK AND ADJACENT STRUCTURE OR WALLS				
PROPOSED SHRUBS:				
1	AGAVE 'BLUE GLOW' / BLUE GLOW AGAVE	5 GAL.	31	L
2	ALOE STRIATA / CORAL ALOE	5 GAL.	49	L
3	CAESALPINIA PULCHERRIMA / RED BIRD OF PARADISE	5 GAL.	26	L
4	FURCRAEA 'MEDIO PICTA' / MAURITIUS HEMP	15 GAL.	4	L
5	GAURA LINDHEIMERI / GAURA	5 GAL.	43	L
6	HESPERALOE PARVIFLORA / RED YUCCA	5 GAL.	26	L
7	SALVIA LEUCANTHA / MEXICAN BUSH SAGE	5 GAL.	38	L
8	MUHLBERGIA C. 'REGAL MIST' / PINK MUHLY GRASS	5 GAL.	18	L
PROPOSED VINE:				
	MACFYDNA UNGIS-CATI / CAT'S CLAW VINE	5 GAL.	3	L
PROPOSED GROUND COVER:				
	SENECIO MANDRALISCAE / BLUE CHALK FINGERS	1 GAL. @ 2' O.C.	3,582 S.F. 896	L
	VERBENA PERUVIANA / VERBENA	1 GAL. @ 18" O.C.	882 S.F. 388	L
NO SYMBOL	MEDIUM WOOD MULCH THROUGHOUT ALL PLANTER AREAS	3" LAYER	4,921 S.F. 46 CU. YDS.	N.A.
PROPOSED INFILTRATION BASIN BOTTOM PLANTING:				
	JUNCUS PATENS / GREY RUSH	1 GAL. @ 4' O.C.	457 S.F. 29	M

- NOTES:
1. ALL PROPOSED TREES, SHRUBS, VINE, AND GROUND COVER ARE TO BE IRRIGATED WITH AN AUTOMATIC ET BASED CONTROLLER AND DRIP IRRIGATION SYSTEM.
 2. EXISTING PLANT MATERIAL AND IRRIGATION TO BE REMOVED AND REPLACED WITH SHRUBS, GROUND COVER, AND DRIP IRRIGATION.
 3. TOTAL LANDSCAPE AREA: 4,921 S.F.

LANDSCAPE NOTES

1. ALL LANDSCAPING AND IRRIGATION TO BE INSTALLED BY OWNER OR OWNERS AGENT, IN ACCORDANCE WITH ALL LOCAL, CODES AND REGULATIONS.
2. ALL LANDSCAPING SHALL BE MAINTAINED BY OWNER OR OWNERS AGENT.
3. ALL PLANTING SHALL BE CONTAINED WITHIN PROPERTY LINES OF THE LOT.
4. IRRIGATION AND PLANTING SHALL BE INSTALLED TO PROMOTE EFFICIENT USE OF WATER.
5. ALL STREET TREES AND ANY TREE WITHIN 8' FT. OF WALLS, HARDSCAPE, OR BUILDINGS SHALL BE INSTALLED WITH CITY APPROVED LINEAR BIO BARRIER ROOT CONTROL BARRIERS OR EQUAL.
6. ALL PLANTING LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL VERIFY ALL PLANT LOCATIONS WITH THE OWNER OR THE OWNERS REPRESENTATIVE PRIOR TO PLANTING.
7. ALL TREES SHALL BE DOUBLE STAKED PER LOCAL CODES.
8. REFER TO LANDSCAPE CONSTRUCTION DRAWING SET FOR PLANTING DETAILS AND SPECIFICATIONS.
9. TREE PLACEMENT MINIMUMS SHALL BE: 10' FROM LIGHT STANDARDS, POWER POLES, AND DRIVE APPROACHES AND 9' FROM FIRE HYDRANTS, UTILITIES AND PROPERTY LINES. NO TREES ALLOWED IN SWALES.
10. ALL 2:1 SLOPES SHALL BE PLANTED AND IRRIGATED PER THE CITY OF LAKE ELSINORE CODES AND REGULATIONS.
11. ALL IRRIGATION SYSTEMS SHALL BE INSTALLED PER ALL STATE AND CITY OF LAKE ELSINORE CODES AND REGULATIONS.
12. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH AN AUTOMATIC ET BASED CONTROLLER AND DRIP IRRIGATION SYSTEM WHERE WATER IS CONSERVED. THERE IS NO RUN-OFF, AND WHERE HYDROZONE AREAS ARE VALVED SEPARATELY. REFER TO LANDSCAPE CONSTRUCTION DRAWING SET FOR IRRIGATION DETAILS AND SPECIFICATIONS.
13. NO OVERHEAD IRRIGATION ALLOWED WITHIN 24" OF A NON-PERMEABLE SURFACE. IRRIGATION TO BE DRIP WHEREVER POSSIBLE.
14. ALL SHRUB PLANTER AREAS SHALL RECEIVE A 3" LAYER MIN. OF MEDIUM WOOD MULCH THROUGHOUT.
15. ALL LANDSCAPED AREAS SHALL BE KEPT FREE FROM WEEDS AND DEBRIS AND MAINTAINED IN A HEALTHY, GROWING CONDITION AND SHALL RECEIVE REGULAR PRUNING, FERTILIZING, AND TRIMMING. ANY DAMAGED, DEAD, DISEASED, OR DECAYING PLANT MATERIAL SHALL BE REPLACED WITHIN 30 DAYS FROM THE DATE OF DAMAGE.
16. ALL LANDSCAPING SHALL BE WITHIN PLANTERS BOUNDED BY A CURB AT LEAST SIX INCHES HIGH. A SIX-INCH HIGH CURB WITH AN EIGHTEEN (18) INCH WIDE CONCRETE WALKWAY SHALL BE CONSTRUCTED ALONG PLANTERS ON END STALLS ADJACENT TO VEHICLE PARKING SPACES.
17. EXISTING TREES, SHRUBS, TURF AREAS, AND IRRIGATION TO REMAIN. DAMAGED PLANTS OR IRRIGATION ARE TO BE REPLACED TO MATCH EXISTING.
18. A MINIMUM OF TWO INSPECTIONS WILL BE REQUIRED PER CONSTRUCTION PHASING. THE FIRST IS AN IRRIGATION INSPECTION TO VERIFY PIPE DEPTHS AND IRRIGATION MATERIAL CONFORMANCE. THE SECOND IS A LANDSCAPE INSPECTION TO VERIFY IRRIGATION COVERAGE AND OPERATION, AND TO VERIFY THAT ALL PLANTINGS HAVE BEEN INSTALLED CONSISTENT WITH THE APPROVED CONSTRUCTION PLANS. CONTRACTOR RESPONSIBLE FOR CALLING PLANNING DEPARTMENT TO SCHEDULE LANDSCAPE INSPECTION.

WATER CALCULATIONS

MAXIMUM APPLIED WATER ALLOWANCE	
MAWA = Maximum Applied Water Allowance (GALLONS)	
MAWA = (ET _o) x (0.62) x [(0.45 x LA) + (0.3 x SLA)]	
ET _o = Reference Evapotranspiration (inches per year)	55.1
0.62 = Conversion Factor (to gallons per square foot)	0.62
0.45 = ET Adjustment Factor (45% of Reference ET)	0.45
LA = Total Landscaped Area (square feet)	4,921
SLA = Special Landscape Area	0
TOTAL MAWA	
75,650.1	

Temecula Office:
36275 Avenida De Acacias
Temecula, California 92592
Ph.: 951.676.5688

Yorba Linda Office:
5331 Stonehedge Court
Yorba Linda, California 92886
Ph.: 949.385.1254

Ca. Lic. No. 3669

Email: RobertTaftLA@gmail.com

Web: www.RobertTaftLandscapeArchitect.com

Client

AMORE ENTERPRISES, INC.

P.O. Box 10
Temecula, CA

Project

CHEVRON CANOPY RAZE & REBUILD, C-STORE

16830 Lakeshore Drive
Lake Elsinore, California 92530

Plans

LANDSCAPE PLANS

© ROBERT TAFT + ASSOCIATES
LANDSCAPE ARCHITECTURE 2019
THESE DRAWINGS AND THE
ACCOMPANYING SPECIFICATIONS AS
INSTRUMENTS OF SERVICE ARE THE
EXCLUSIVE PROPERTY OF ROBERT
TAFT + ASSOCIATES LANDSCAPE
ARCHITECTURE, AND MAY NOT BE
REPRODUCED IN ANY FORM WITHOUT
WRITTEN PERMISSION FROM THE
LANDSCAPE ARCHITECT.

Seal



No.	Revision	Date
-----	----------	------

Sheet Title

LANDSCAPE CONCEPT PLAN

Drawn R.E.T.

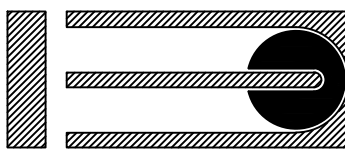
Date May 28, 2019

Scale See Plan

Job No.

L1

of 1



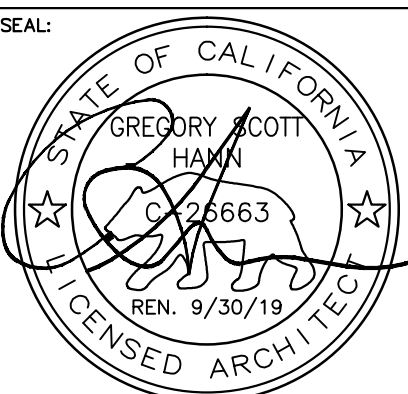
All ideas, designs and layouts shown on these drawings, including all documents on electronic media are the property of empire design group, and are intended to be used in connection with this specific project only and shall not otherwise be used for any purpose whatsoever without the written consent, and may not be reproduced or used without the written permission of empire design group.
All rights reserved

CLIENT:

AMORE
ENTERPRISES,
INC.

CHEVRON CANOPY RAZE
& REBUILD, C-STORE
16830 LAKESHORE DRIVE
LAKE ELSINORE, CA 92530

Architect of Record:
GREGORY S. HANN, AIA
24861 WASHINGTON AVE.
MURRIETA, CA 92562
TEL: 951-696-1490
CEL: 951-809-7601
FAX: 951-696-1443
E-MAIL: ghann@empiregr.biz



Date: MARCH 01, 2019

Project Number: EDG# 04493

NO. DATE REVISION DESCRIPTION

DESIGNED BY: RM

CHECKED BY: GH

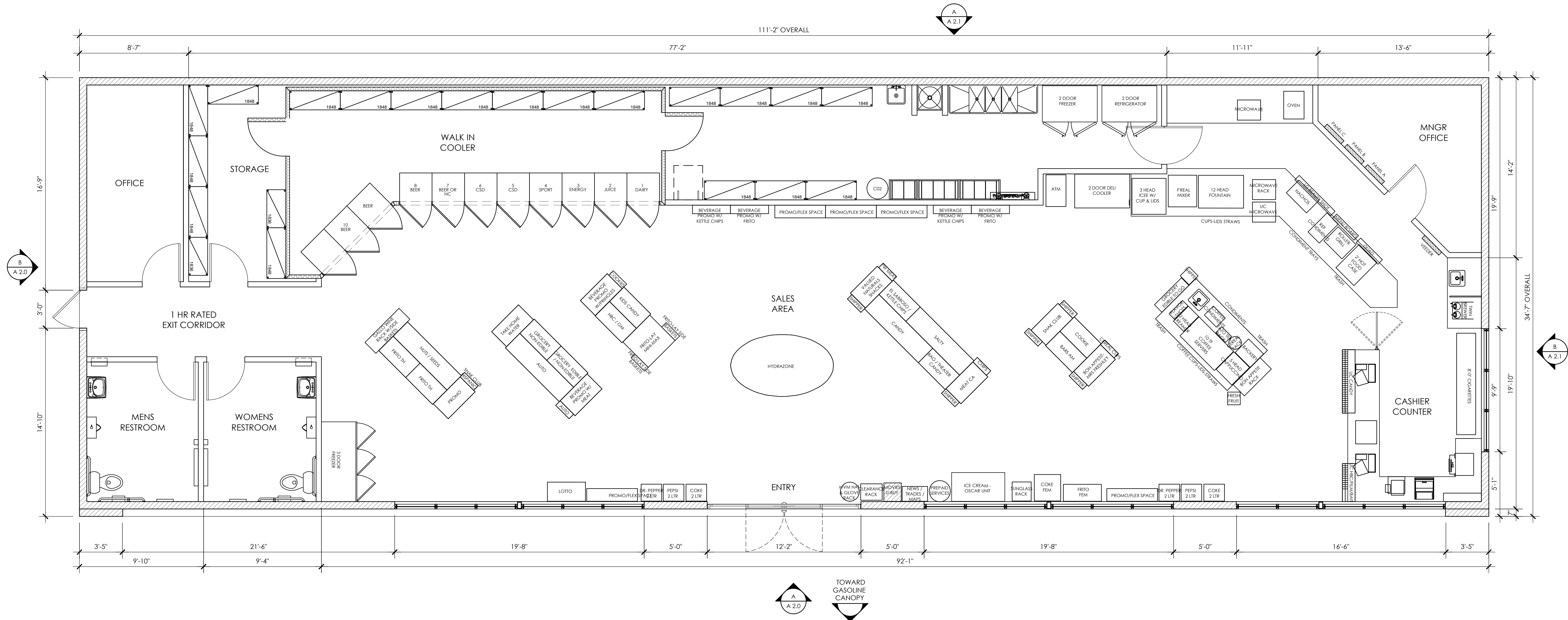
DRAWN BY: RM

DRAWING TITLE:

C-STORE
FLOOR
PLAN

SHEET NO:

CS 1.0



PROPOSED C-STORE FLOOR PLAN

SCALE: 1/4"= 1'-0"

WALL LEGEND:

- 2X NEW INTERIOR WALLS
- 2X NEW EXTERIOR WALLS

GENERAL NOTES:

- CONTRACTOR TO MAKE SURE THAT ALL WINDOWS ARE TO HAVE A 4" MINIMUM RECESS.
- CONTRACTOR TO VERIFY THE MANUFACTURER & COLOR OF THE EXISTING C-STORE'S TILE.
- CONTRACTOR TO USE SAME OR EQUAL SPECIFICATION FOR ROOFING MATERIAL AS ON THE EXISTING C-STORE.
- CONTRACTOR TO PROVIDE ADEQUATE VENTILATION @ ROOF. CONTRACTOR TO USE OHAGINS VENTS. UNDERSIDE OF CLAY TILE EQUALLY SPACED.
- DIMENSION LINES ARE FROM FACE OF FRAMING STUDS OR LEVEL OR LANDINGS PER C.B.C. SEC. 11B-404.2.4.4.
- FACE OF FRAMING ON EXTERIOR WALL IS SAME AS OUTSIDE FACE OF FOUNDATION WALL.
- REFER TO CAR WASH EQUIPMENT INSTALLATION MANUAL AND SUBSEQUENT SHOP DRAWINGS FOR FURTHER INFORMATION.
- DOOR THRESHOLD TO BE NO MORE THAN 1/2" ABOVE FINISH FLOOR.
- GENERAL CONTRACTOR TO CONFIRM EQUIPMENT REQUIREMENTS W/ MANUF. PRIOR TO INSTALLATION OF UTILITIES, WALLS, AND CABINETS.
- ALL MAN DOORS TO BE 36" MIN. WIDTH.
- CONTRACTOR SHALL ASSIST THE PM WITH EQUIPMENT DELIVERY TO AVOID DELIVERY AND STAGING AREA. COORDINATE WITH OWNER FOR THE DELIVERY SCHEDULE AND SHIPPING DAMAGES.

ALL DOORS MUST HAVE A SWEEP PERIOD OF 3 SECONDS TO CLOSE FROM 70° OPEN TO 3° FROM THE LATCH. OPENING FORCE SHALL NOT BE MORE THAN 5 LBS FOR INTERIOR & EXTERIOR DOORS PER SEC. 11B-404.2.8.1

- ALL EXTERIOR DOORS MUST HAVE NO MORE THAN 5 LBS OPENING FORCE. ALL INTERIOR DOORS MUST HAVE NO MORE THAN 5 LBS OPENING FORCE.
- THE UNLATCHING OF ANY DOOR OR LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
- AUTOMATIC SHUT-OFF OF WATER AND ELECTRICAL SYSTEMS, EXCEPT FOR SECURITY AND FIRE PROTECTION, SHALL BE PROVIDED DURING NON-BUSINESS HOURS OF CARWASH.
- CLEAR FLOOR SPACE: COMPLYING WITH TABLE 11B-404.2.4.2 THAT ALLOWS A FORWARD OR PARALLEL APPROACH BY A PERSON USING A WHEELCHAIR SHALL BE PROVIDED AT CONTROLS, DISPENSERS, RECEPTACLES AND OTHER OPERABLE EQUIPMENT.

HEIGHT: THE HIGHEST OPERABLE PART OF ALL CONTROLS, DISPENSERS RECEPTACLES AND OTHER OPERABLE EQUIPMENT SHALL BE PLACED WITHIN AT LEAST ONE OF THE REACH RANGES SPECIFIED IN SECTIONS 11B-308.2.1 AND 11B-308.2.2 ELECTRICAL AND COMMUNICATION SYSTEMS RECEPTACLES ON WALLS SHALL BE MOUNTED NO LESS THAN 15 INCHES (381 MM) ABOVE THE FLOOR. MEASURED TO THE BOTTOM OF THE RECEPTACLE SEC 11B-308.1.1 AND 11B-308.1.2.

OPERATION: CONTROLS AND OPERATION MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TIGHT GRASPING, PINCHING OR TWISTING OF THE WRIST. THE FORCE REQUIRED TO ACTIVATE CONTROLS SHALL BE NO GREATER THAN 5 POUNDS (22.2 N) OF FORCE.



24861 Washington Ave.
Murrieta, Calif. 9256
Tel 951-696-1490 Fax 951-696-1443

All ideas, designs and layouts shown on these drawings, including all documents on electronic media are the property of the empire design group, and are intended to be used in connection with this specific project only and shall not otherwise be used for any purpose whatsoever without the written consent and may not be reproduced or used without the written permission of the empire design group.

All rights reserved

CLIENT	
--------	--

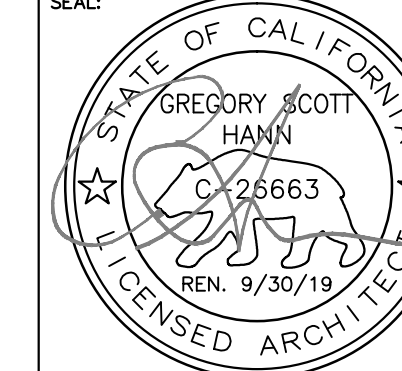
AMORE
ENTERPRISES,
INC.

**CHEVRON CANOPY RAZE
& REBUILD, C-STORE
16830 LAKESHORE DRIVE
LAKE ELSINORE, CA 92530**

Architect of Record:

GREGORY S. HANN, AIA
24861 WASHINGTON AVE.
MURRIETA, CA 92562
TEL: 951-696-1490
CEL: 951-809-7601
FAX: 951-696-1443
E-MAIL: ghann@empiregr.biz

SEAL:



Date: MARCH 01, 2019

Project Number:	FDG# 04493
-----------------	------------

[illegible]

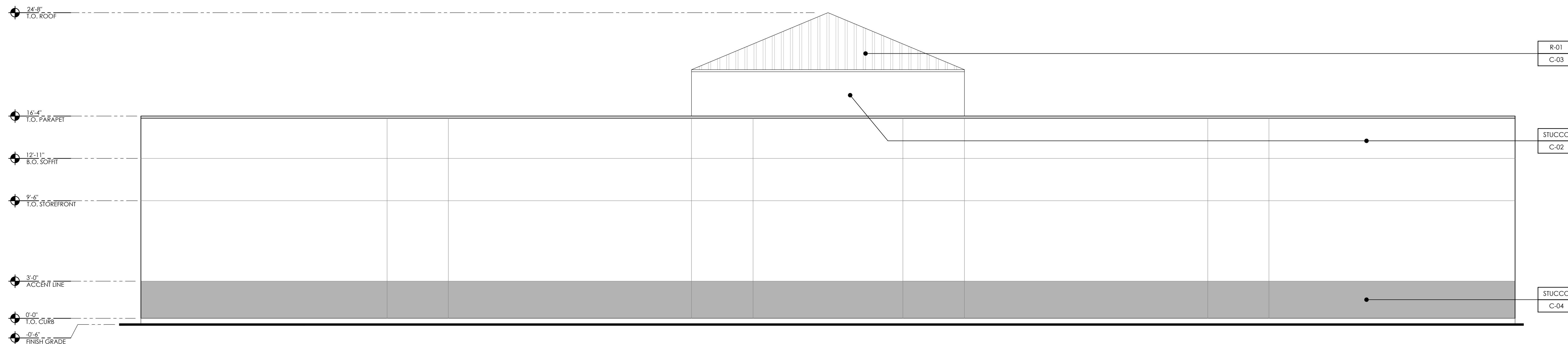
DESIGNED BY:	RM	
CHECKED BY:	GH	
DRAWN BY:	RM	

DRAWING TITLE:	
----------------	--

C-STORE ELEVATIONS

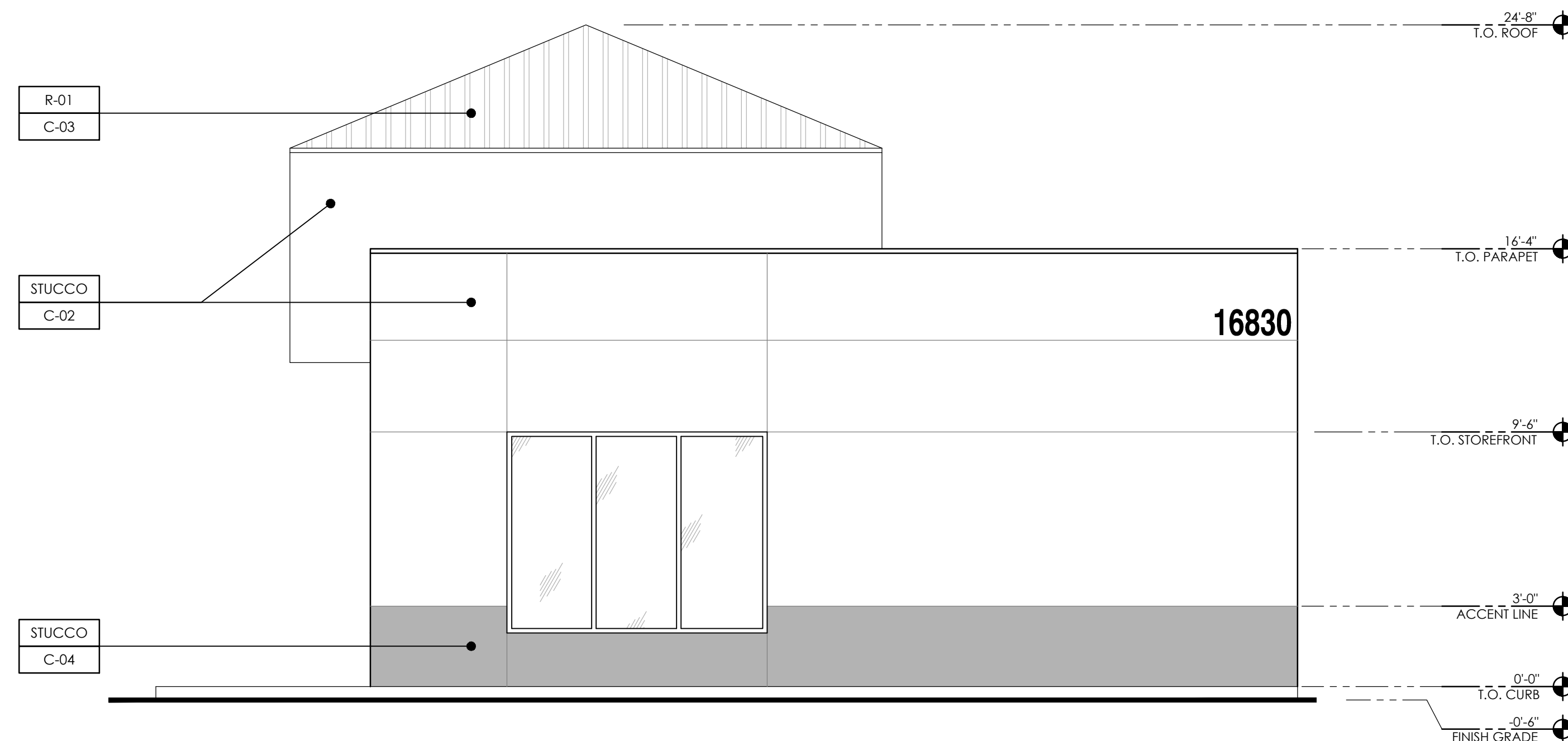
SHEET NO:

A 2.1



NORTH - EAST ELEVATION

SCALE: 1/4"= 1'-0"



SOUTH - EAST ELEVATION

SCALE: 1/4"= 1'-0"

EXTERIOR FINISHES:

STUCCO

R-01

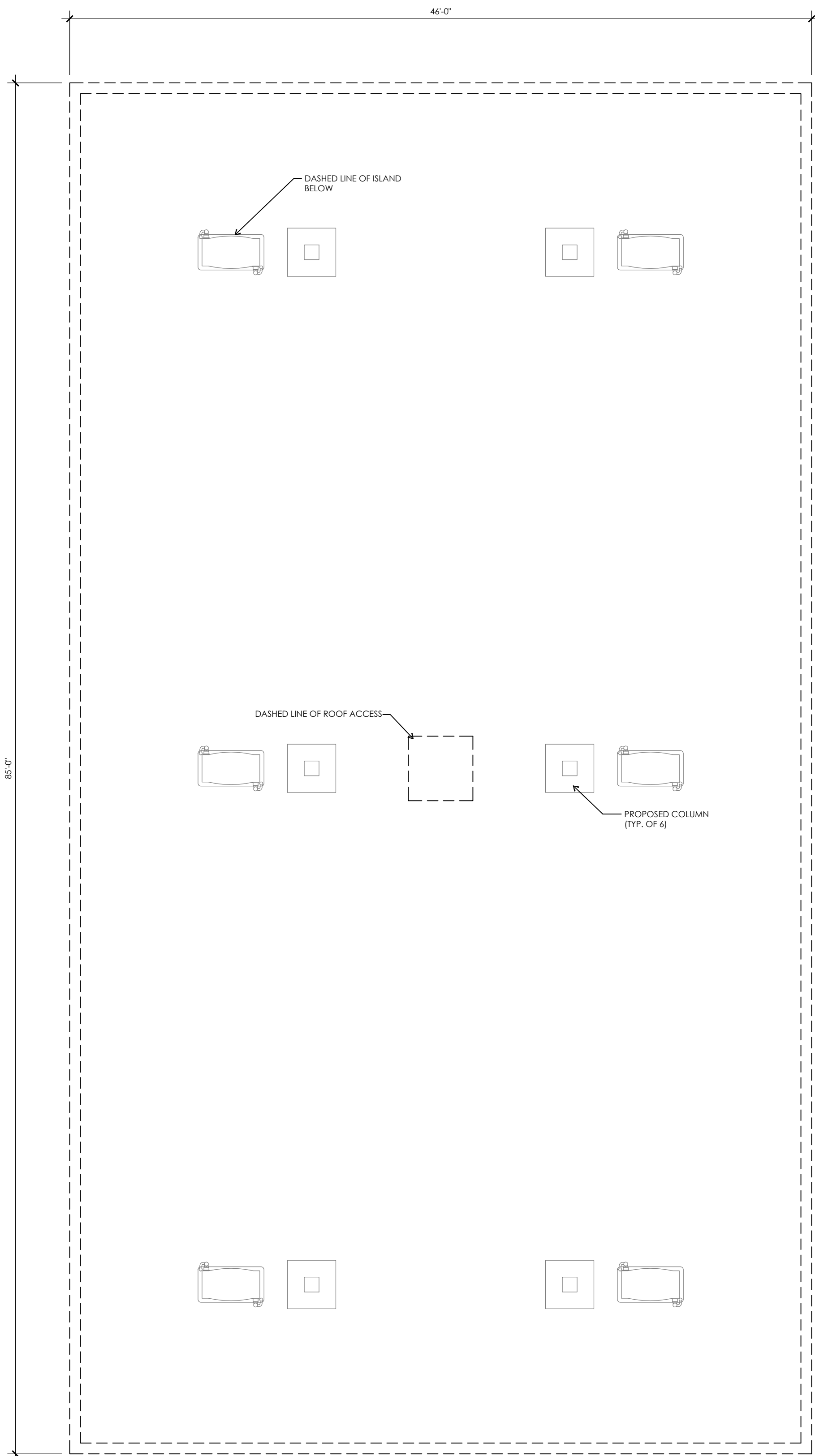
SMOOTH MACHINE TOWELED FINISH

MANUFACTURER: BRIDGERSTEEL, OR EQUAL
SERIES: 1" MECHANICALLOCK STANDING SEAM
SIZE: 36"

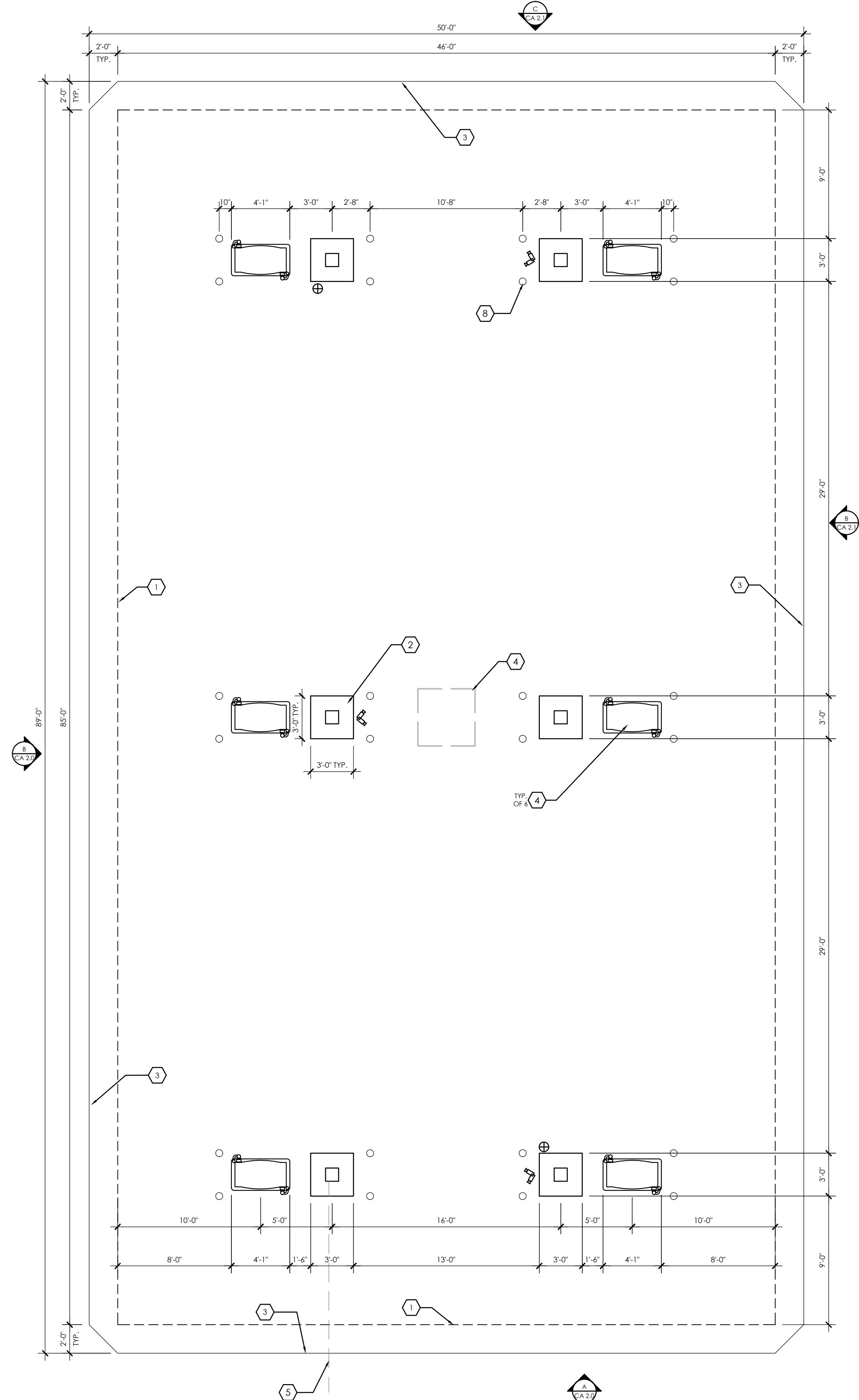
COLOR: NUTMEG , BENJAMIN MOORE, NO. 1227
UL-580 CLASS 90 UPLIFT + 30 POUND FELT PAPER
UNDERLAYMENT

EXTERIOR PAINTS:

<div>C-01</div>	COLOR: CHILLED WINE BY: GLIDDEN NUMBER: PPG1045-7
<div>C-02</div>	COLOR: CAFE AU LAIT BY: VALSPAR NUMBER: 30-1A
<div>C-03</div>	COLOR: NUTMEG BY: BENJAMIN MOORE NUMBER: 1227
<div>C-04</div>	COLOR: MOCHA BY: GLIDDEN NUMBER: 60YR 30/094



B CANOPY ROOF PLAN
SCALE: 3/16"= 1'-0"



A CANOPY FLOOR PLAN
SCALE: 3/16"= 1'-0"

- KEYED NOTES:**
- 1 DASHED LINE OF CANOPY ROOF OVERHANG ABOVE
 - 2 CANOPY COLUMNS, TYP. OF 6
 - 3 LINE OF CONCRETE SLAB
 - 4 MULTI PRODUCT DISPENSER (TYP. OF 6)
 - 5 DASHED LINE OF CANOPY ROOF DRAINAGE THROUGH COLUMNS TO CONNECT TO THE UNDERGROUND STORM WATER SYSTEM, SEE CIVIL
 - 6 48" X 48" CANOPY ROOF HATCH
 - 7 3" Ø DOWNSPOUT IN COLUMN
2" Ø PIPE FOR SECURITY SYSTEM
2" Ø PIPE FOR FUTURE USE, HOME RUN TO BUILDING
 - 8 BUMPER POSTS (TYP. OF 12)

**EMPIRE
DESIGN
GROUP** Inc.

24861 Washington Ave.
Murrieta, Calif. 92562
Tel 951-696-1490 Fax 951-696-1443

All ideas, designs and layouts shown on these drawings, including all documents on electronic media are the property of empire design group, and are intended to be used in connection with this specific project only and shall not otherwise be used for any purpose whatsoever without the written consent, and may not be reproduced or used without the written permission of empire design group.
All rights reserved

CLIENT:

**AMORE
ENTERPRISES,
INC.**

**CHEVRON CANOPY RAZE
& REBUILD, C-STORE
16830 LAKESHORE DRIVE
LAKE ELSINORE, CA 92530**

Architect of Record:
GREGORY S. HANN, AIA
24861 WASHINGTON AVE.
MURRIETA, CA 92562
TEL: 951-696-1490
CEL: 951-809-7601
FAX: 951-696-1443
E-MAIL: ghann@empiregr.biz

SEAL:

STATE OF CALIFORNIA
GREGORY S. HANN
C 26663
REN. 9/30/19
LICENSED ARCHITECT

Date: MARCH 01, 2019
Project Number: EDG# 04493

NO.	DATE	REVISION DESCRIPTION

DESIGNED BY:	RM	
CHECKED BY:	GH	
DRAWN BY:	RM	

DRAWING TITLE:

**CANOPY
FLOOR PLAN**

SHEET NO:

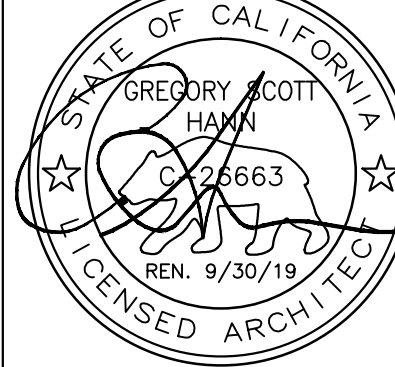
CA 1.0



All ideas, designs and layouts shown in these drawings, including all documents on electronic media are the property of the empire design group, and are intended to be used in connection with this specific project only and shall not otherwise be used for any purpose whatsoever without the written consent of the empire design group. All rights reserved.

AMORE
ENTERPRISES,
INC.

CHEVRON CANOPY RAZE
& REBUILD, C-STORE
16830 LAKESHORE DRIVE
LAKE ELSINORE, CA 92530

SEAL: 

Report Number	EDC# 0449
---------------	-----------

[illegible]

DRAWING TITLE:

SHEET NO:

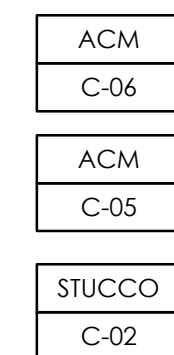
CA 2.0

1	PROPOSED 22" FLAT 3-D DECAL WITH BLUE I.E.D. LASERLINE
2	PROPOSED ILLUMINATED 22" CHERVRON CHANNEL
3	36" x 36" METAL FRAMED STUCCO COLUMNS [TYP. OF 6]
4	PROPOSED DISPENSERS WITH ILLUMINATED SIDE SKIRTS AND TOPPERS [TYP. OF 6]. PUMP IDENTIFICATION NUMBERS LOC. PUMP TOPPER.
5	PROTECTIVE BOLLARDS [TYP. OF 4] SEE SHEET CA 1.0
6	4' CANOPY CLEARANCE SIGNAGE [TYP. OF 2]

STUCCO	SMOOTH MACHINE TOWELED FINISH
ACM	ACM PANEL

C-02	COLOR: CAFE AU LAIT BY: VALSPAR NUMBER: 30-1A
C-05	ACM FASCIA - BLUE
C-06	ACM FASCIA - WHITE

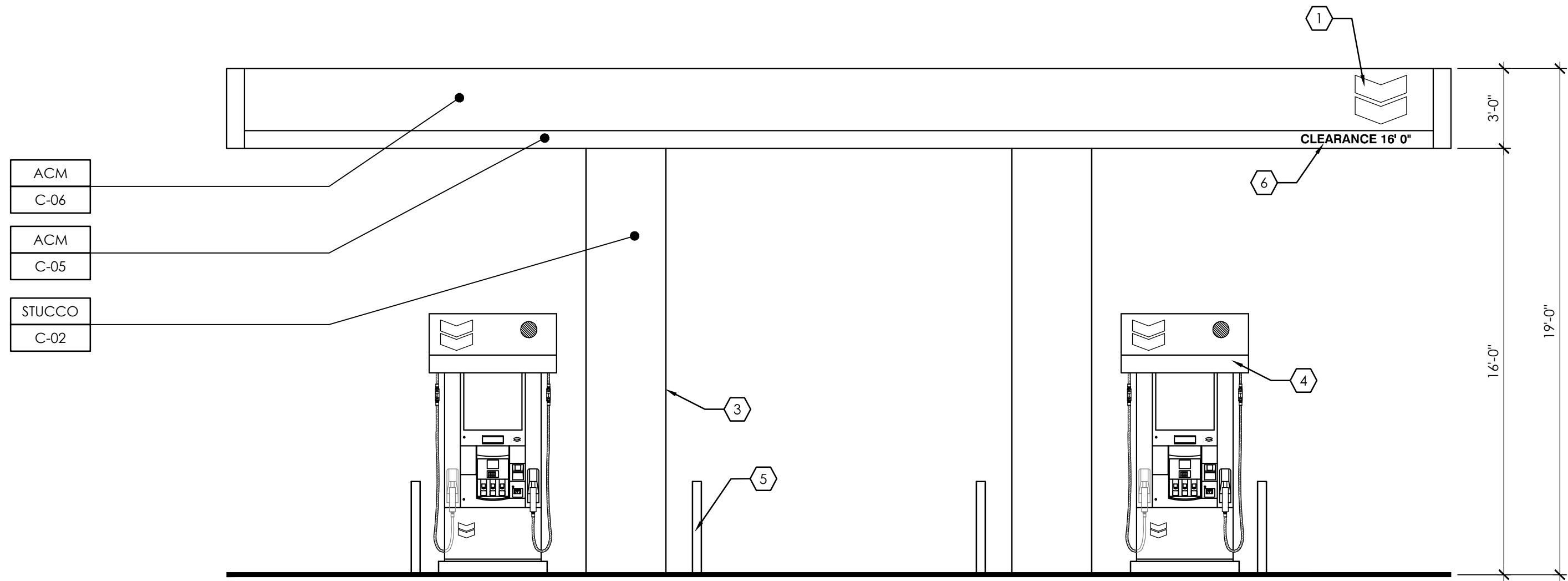
- A. FUEL DISPENSERS SHALL COMPLY WITH 2013 CBC
- B. SEPARATE PERMIT IS REQUIRED FOR SIGNAGE.



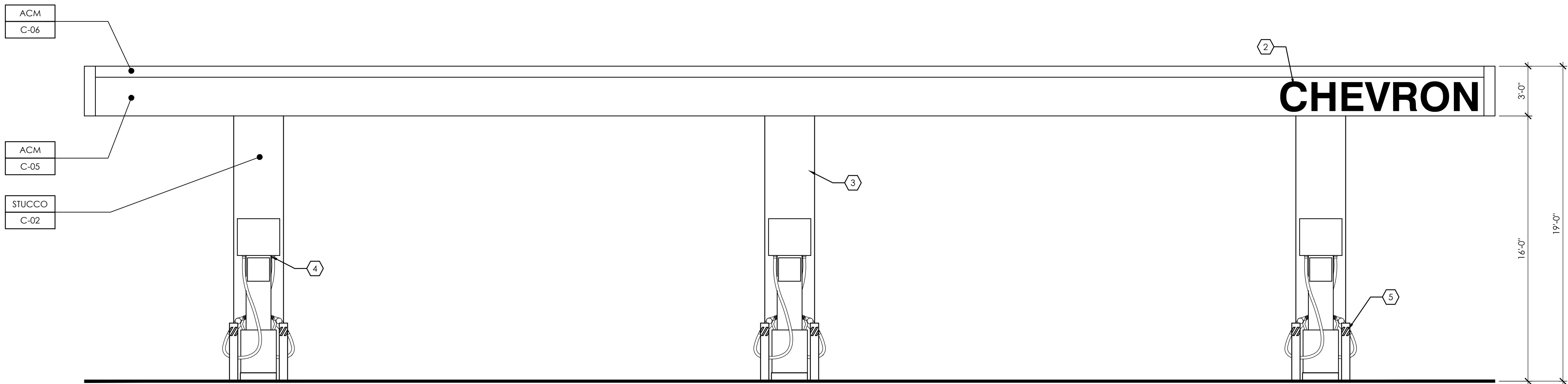
SCALE: 1/4" = 1'-0"



SCALE: 1/4" = 1'-0"



C PROPOSED NORTH - WEST ELEVATION
SCALE: 1/4" = 1'-0"



D PROPOSED NORTH - EAST ELEVATION
SCALE: 1/4" = 1'-0"

KEYED NOTES:

- 1) PROPOSED 22" FLAT 3-D DECAL WITH BLUE L.E.D. LASERLINE
- 2) PROPOSED ILLUMINATED 22" CHERVON CHANNEL
- 3) 36" x 36" METAL FRAMED STUCCO COLUMNS (TYP. OF 6)
- 4) PROPOSED DISPENSERS WITH ILLUMINATED SIDE SKIRTS AND PUMP TOPPERS (TYP. OF 6), PUMP IDENTIFICATION NUMBERS LOCATED ON PUMP TOPPER.
- 5) PROTECTIVE BOLLARDS (TYP. OF 4) SEE SHEET CA 1.0
- 6) 4" CANOPY CLEARANCE SIGNAGE (TYP. OF 2)

EXTERIOR FINISHES:

STUCCO	SMOOTH MACHINE TOWELED FINISH
ACM	ACM PANEL

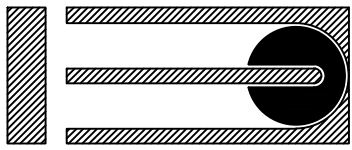
EXTERIOR PAINTS:

C-02	COLOR: CAFE AU LAIT BY: VALSPAR NUMBER: 30-1A
C-05	ACM FASCIA - BLUE
C-06	ACM FASCIA - WHITE

GENERAL NOTES:

- A. FUEL DISPENSERS SHALL COMPLY WITH 2013 CBC.
- B. SEPARATE PERMIT IS REQUIRED FOR SIGNAGE.

EMPIRE
DESIGN
GROUP Inc.



24861 Washington Ave.
Murrieta, Calif. 92562
Tel 951-696-1490 Fax 951-696-1443

All ideas, designs and layouts shown on these drawings, including all documents on electronic media are the property of empire design group, and are intended to be used in connection with this specific project only and shall not otherwise be used for any purpose whatsoever without the written consent, and may not be reproduced or used without the written permission of empire design group.
All rights reserved

CLIENT:

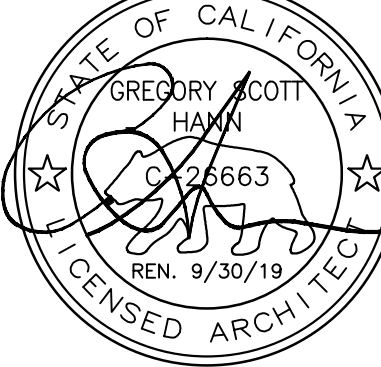
AMORE
ENTERPRISES,
INC.

CHEVRON CANOPY RAZE
& REBUILD, C-STORE
16830 LAKESHORE DRIVE
LAKE ELSINORE, CA 92530

Architect of Record:

GREGORY S. HANN, AIA
24861 WASHINGTON AVE.
MURRIETA, CA 92562
TEL: 951-696-1490
CEL: 951-809-7601
FAX: 951-696-1443
E-MAIL: ghann@empiregr.biz

SEAL:



Date: MARCH 01, 2019

Project Number: EDG# 04493

NO.	DATE	REVISION DESCRIPTION
-----	------	----------------------

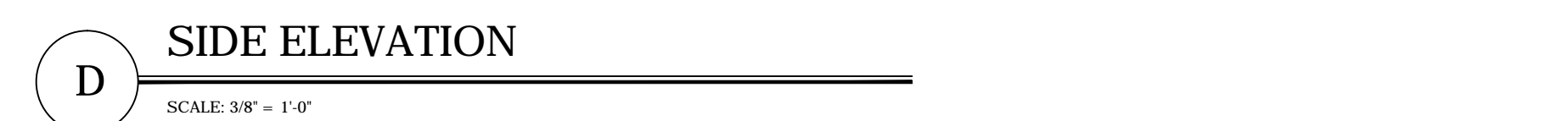
DESIGNED BY:	RM
CHECKED BY:	GH
DRAWN BY:	RM

DRAWING TITLE:

PROPOSED CANOPY
ELEVATIONS

SHEET NO:

CA 2.1



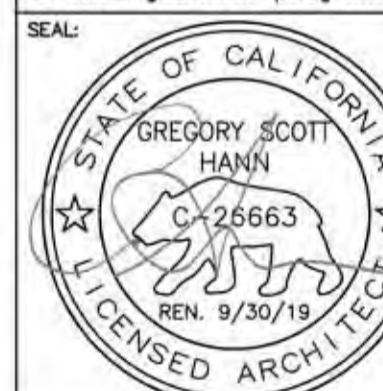
All ideas, designs and layouts shown on these drawings, including all documents on electronic media are the property of the empire design group, and are intended to be used in connection with the specific project only and shall not otherwise be used for any purpose whatsoever without the written permission and may not be reproduced or used without the written permission of the empire design group.

CLIENT	
--------	--

AMORE
ENTERPRISES
INC.

CHEVRON CANOPY RAZE
& REBUILD, C-STORE
16830 LAKESHORE DRIVE
AKE EI STINORE CA 92530

Architect of Record:
GREGORY S. HANN, AIA
24861 WASHINGTON AVE.
MURRIETA, CA 92562
TEL: 951-696-1490
CEL: 951-809-7601
FAX: 951-696-1443
E-MAIL: ghann@empirear.biz



Date: MARCH 01

Project Number: EDG# 04

NO.	DATE	REVISION DESCRIPTION
-----	------	----------------------

--	--	--

--	--	--

--	--	--

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
---	---	---	---	---	---	---	---	---	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	----	-----

DESIGNED BY:	RM
--------------	----

CHECKED BY:	GH	
-------------	----	--

DRAWN BY:	RM
-----------	----

DRAWING TITLE:

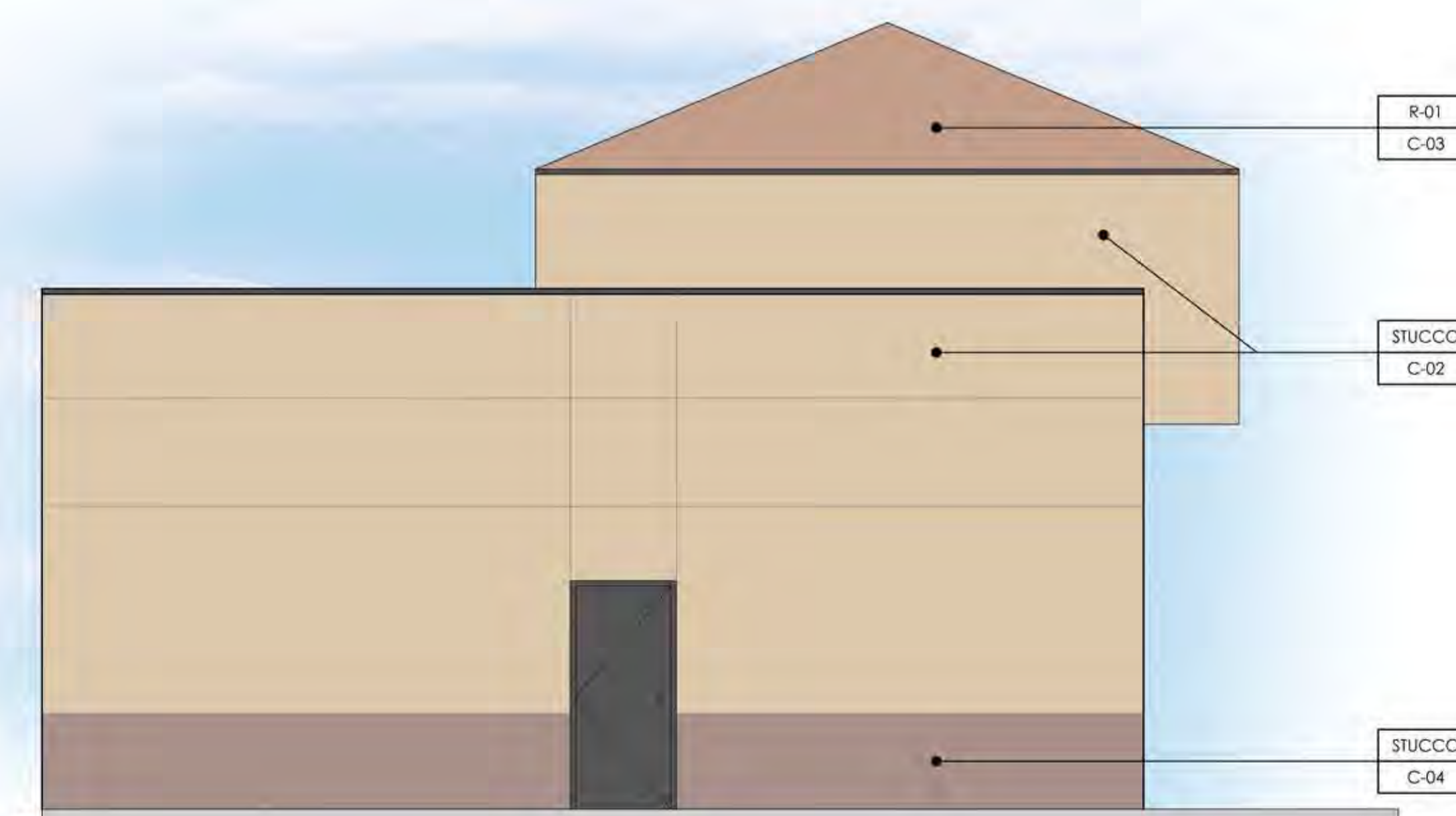
COLORED
C-STORE
ELEVATIONS

SHEET NO-

C 1.0



A SOUTH - WEST ELEVATION



B NORTH - WEST ELEVATION

SCALE: 1/4"=1'-0"

EXTERIOR FINISHES:

STUCCO

SMOOTH MACHINE TOWELED FINISH

R-01

MANUFACTURER: BRIDGERSTEEL, OR EQUAL
SERIES: 1" MECHANICAL LOCK STANDING SEAM
SIZE: 36"
COLOR: NUTMEG, BENJAMIN MOORE, NO. 1227
UL-580 CLASS 90 UPLIFT + 30 POUND FELT PAPER
UNDERLAYMENT

EXTERIOR PAINTS:

C-01	COLOR: CHILLED WINE BY: GLIDDEN NUMBER: PPG1045-7
C-02	COLOR: CAFE AU LAIT BY: VALSPAR NUMBER: 30-1A
C-03	COLOR: NUTMEG BY: BENJAMIN MOORE NUMBER: 1227
C-04	COLOR: MOCHA BY: GLIDDEN NUMBER: 60YR 30/09A

All ideas, designs and layouts shown on these drawings, including all documents on electronic media are the property of the empire design group, and are intended to be used in connection with the specific project only and shall not otherwise be used for any purpose whatsoever without the written permission and may not be reproduced or used without the written permission of the empire design group.

CLIENT	
--------	--

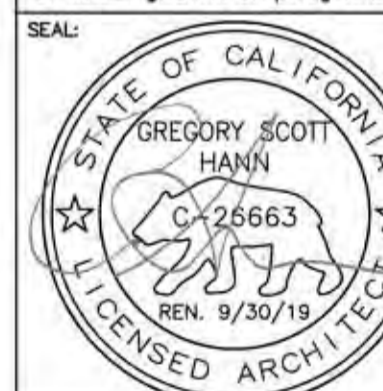
AMORE
ENTERPRISES
INC.

CHEVRON CANOPY RAZE
& REBUILD, C-STORE
16830 LAKESHORE DRIVE
AKE EI STINORE CA 92530

Architect of Record

GREGORY S. HANN, AIA
24861 WASHINGTON AVE.
MURRIETA, CA 92562
TEL: 951-696-1490
CEL: 951-809-7601
FAX: 951-696-1443
E-MAIL: ghann@empiregr.biz

SEAL



Date: MARCH 01

Date:	MARCH 01,
	1954

Project Number:		EDG# 04
NO.	DATE	REVISION DESCRIPTION

姓名	学号	成绩

DESIGNED BY: RM

CHECKED BY: G

00000000000000000000000000000000

DRAWN BY: RM

DRAWING TITLE:

1000

100

100

C

550

515

ELE

100

100

SHEET NO:

SHEET NO: _____

100

1

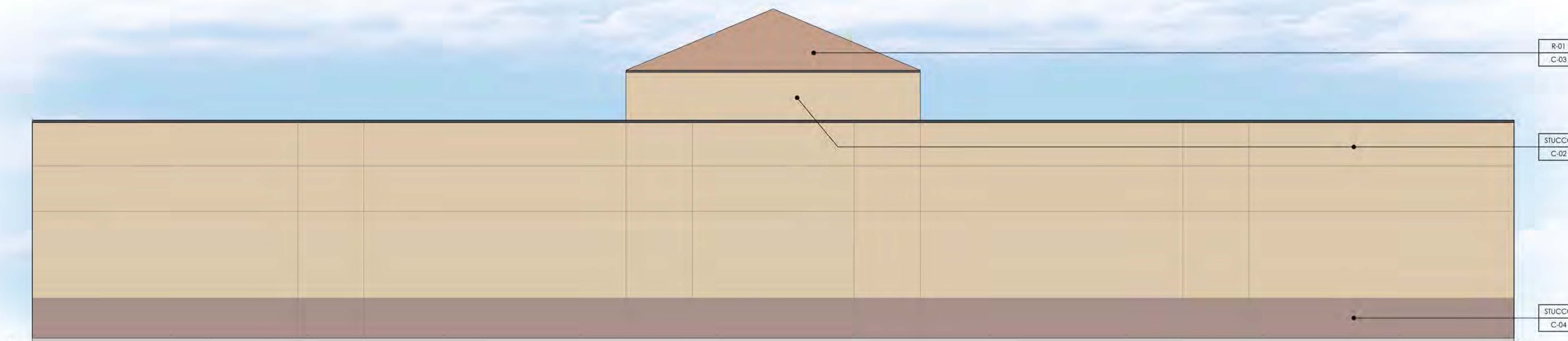
10

1

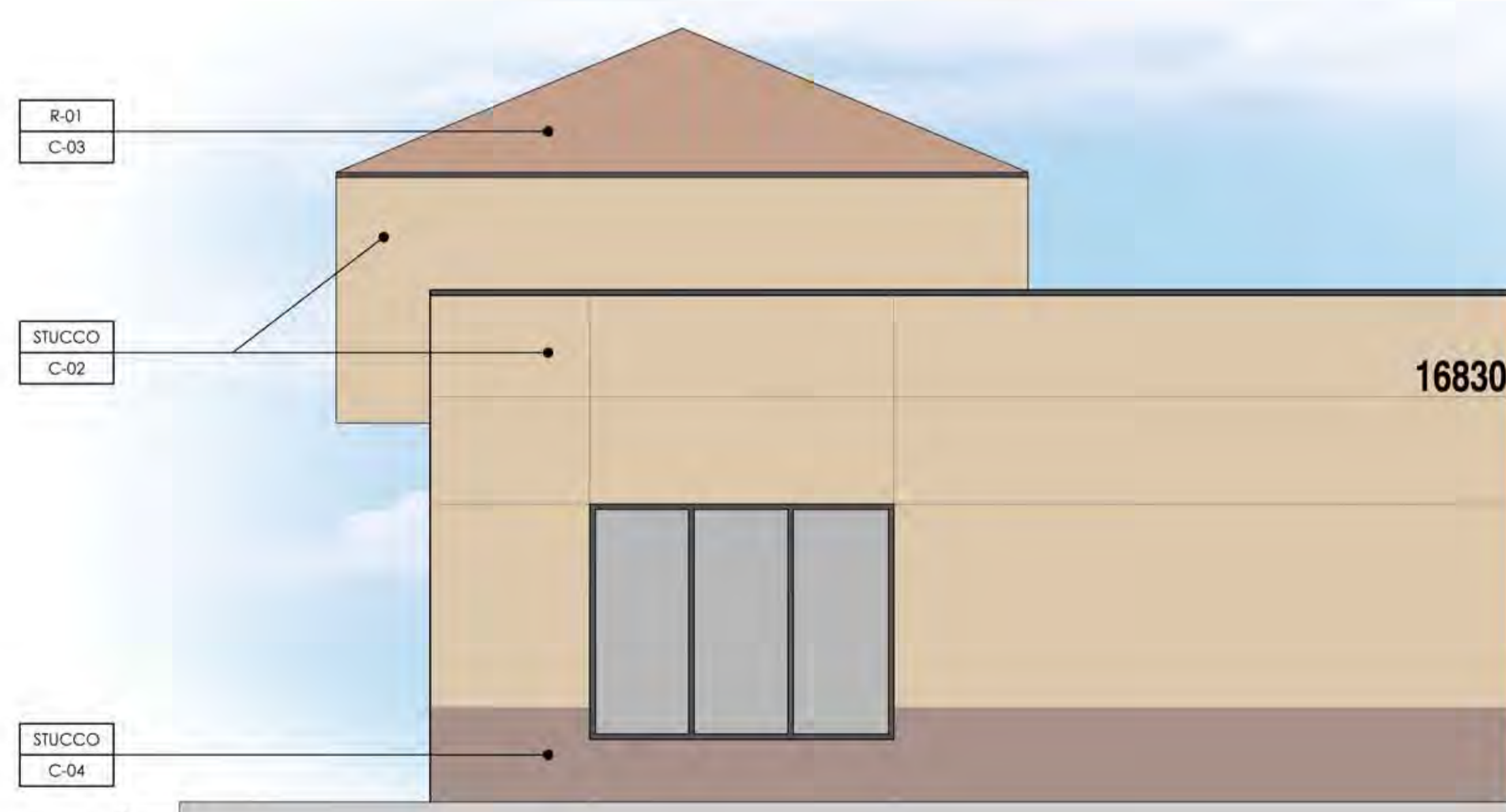
C

10

1. *Journal of the American Medical Association*, 277: 1001-1002, 1997.



A NORTH - EAST ELEVATION



SOUTH - EAST ELEVATION

SCALE: 1/4"=1'-0"

EXTERIOR FINISHES:

STUCCO

SMOOTH MACHINE TOWELED FINISH

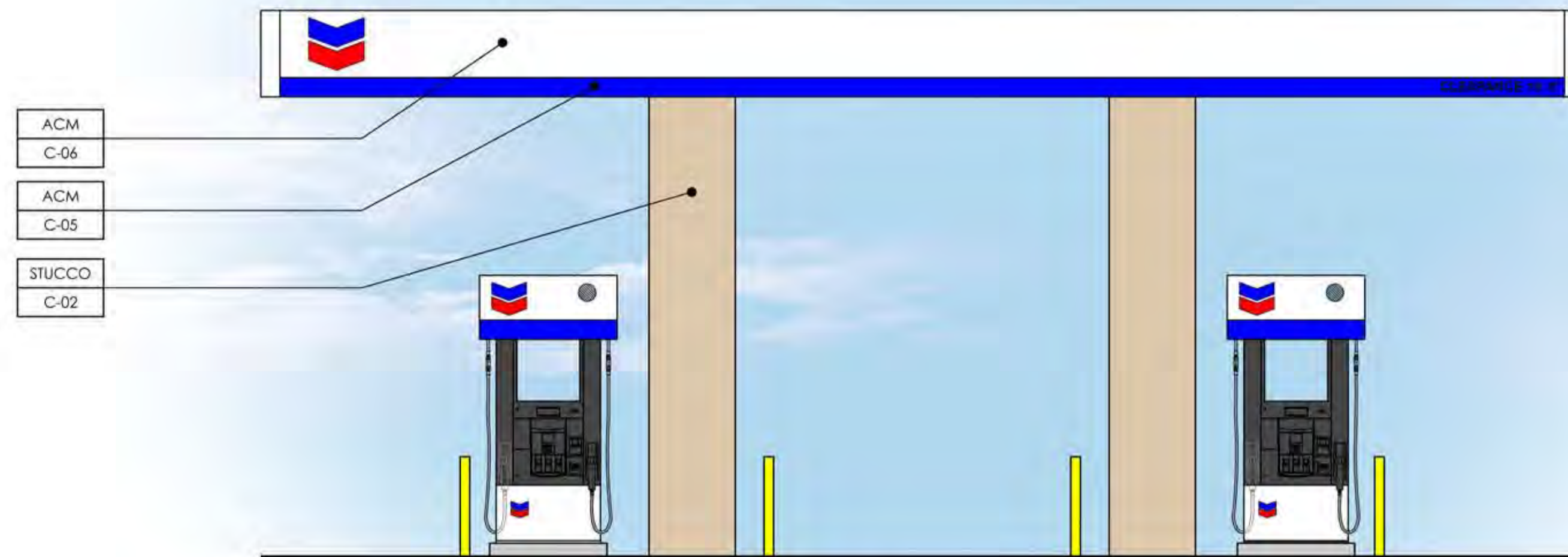
R-01

MANUFACTURER: BRIDGERSTEEL, OR EQUAL
SERIES: 1" MECHANALOCK STANDING SEAM
SIZE: 36"
COLOR: NUTMEG , BENJAMIN MOORE, NO. 122
UL-580 CLASS 90 UPLIFT + 30 POUND FELT PAPER
UNDERLAYMENT

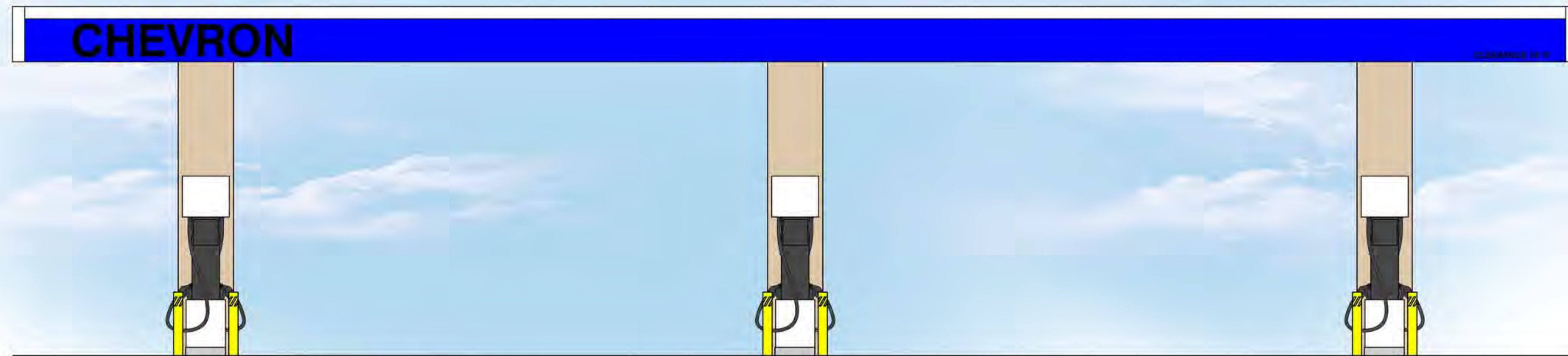
EXTERIOR PAINTS:

C-01	COLOR: CHILLED WINE BY: GLIDDEN NUMBER: PPG1045-7
C-02	COLOR: CAFE AU LAIT BY: VALSPAR NUMBER: 30-1A
C-03	COLOR: NUTMEG BY: BENJAMIN MOORE NUMBER: 1227
C-04	COLOR: MOCHA BY: GLIDDEN NUMBER: 60YR 30/094

C 1.1



A PROPOSED SOUTH - EAST ELEVATION
SCALE: 1/4" = 1'-0"



B PROPOSED SOUTH - WEST ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR FINISHES:

STUCCO	SMOOTH MACHINE TOWELED FINISH
ACM	ACM PANEL

EXTERIOR PAINTS:

C-02	COLOR: CAFE AU LAIT BY: VALSPAR NUMBER: 30-1A
C-05	ACM FASCIA - BLUE
C-06	ACM FASCIA - WHITE

**EMPIRE
DESIGN
GROUP** Inc.

24861 Washington Ave.
Murrieta, Calif. 92562
Tel 951-696-1490 Fax 951-696-1443

All ideas, designs and layouts shown on these drawings, including all documents on electronic media are the property of empire design group, and are intended to be used in connection with this specific project only and shall not otherwise be used for any purpose whatsoever without the written consent, and may not be reproduced or used without the written permission of empire design group.
All rights reserved

CLIENT:

**AMORE
ENTERPRISES,
INC.**

**CHEVRON CANOPY RAZE
& REBUILD, C-STORE
16830 LAKESHORE DRIVE
LAKE ELSINORE, CA 92530**

Architect of Record:
GREGORY S. HANN, AIA
24861 WASHINGTON AVE.
MURRIETA, CA 92562
TEL: 951-696-1490
CEL: 951-809-7601
FAX: 951-696-1443
E-MAIL: ghann@empiregr.biz

SEAL:



Date: MARCH 01, 2019

Project Number: EDG# 04493

NO.	DATE	REVISION DESCRIPTION

DESIGNED BY:	RM
CHECKED BY:	GH
DRAWN BY:	RM
DRAWING TITLE:	

**COLORED
CANOPY
ELEVATIONS**

SHEET NO:

C 1.2

[illegible]