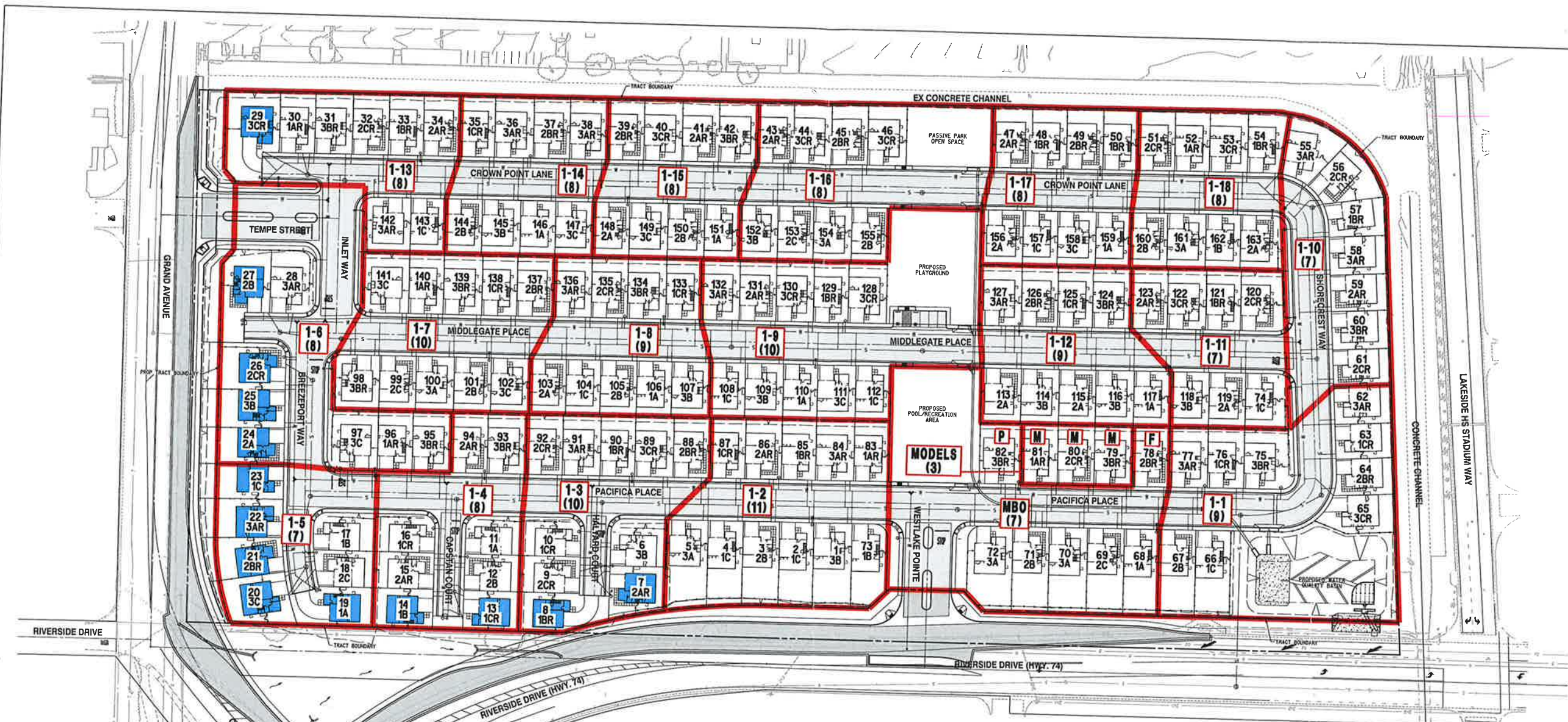
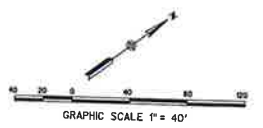




WESTLAKE PLOTING & PHASING PLAN

- LEGEND**
- PHASING BOUNDARY
 - BUILDING - PLAN TYPE
 - INDICATES MODEL
 - INDICATES MODEL PARKING
 - INDICATES FALLOW LOT
 - INDICATES ENHANCED ELEVATION



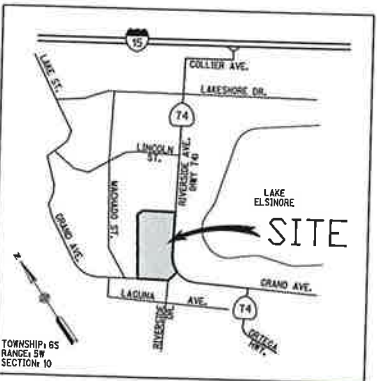
PHASING SUMMARY

PHASE	PLAN 1	PLAN 2	PLAN 3	TOTAL	BUILDINGS
1-1	3	2	4	9	62-67, 75-77
1-2	6	2	3	11	1-5, 73, 83-87
1-3	3	4	3	10	6-10, 88-92
1-4	4	3	1	8	11-16, 93-94
1-5	3	2	2	7	17-23
1-6	1	3	4	8	24-28, 95-97
1-7	2	3	5	10	98-102, 137-141
1-8	3	3	3	9	103-107, 133-136
1-9	4	1	5	10	108-112, 128-132
1-10	1	3	3	7	55-61
1-11	2	3	2	7	74, 118-123
1-12	2	3	4	9	113-117, 124-127
1-13	3	2	3	8	29-34, 142-143
1-14	2	2	4	8	35-38, 144-147
1-15	1	4	3	8	39-42, 148-151
1-16	0	4	4	8	43-46, 152-155
1-17	4	3	1	8	47-50, 156-159
1-18	3	3	2	8	51-54, 160-163
MODELS	1	1	1	3	79-81
MBO	1	3	3	7	68-72, 78, 82
TOTALS	49	54	60	163	

OWNER/DEVELOPER
PARDEE HOMES
1550 CORONA POINTE COURT, SUITE 600
CORONA, CA 92629
951-428-4400

PROJECT ENGINEER
RICK ENGINEERING COMPANY
34 DISCOVERY, SUITE 240
IRVINE, CA 92618
949-568-0707

PROJECT ARCHITECT
BASKERVILLE ARCHITECTS
2031 ORCHARD DRIVE, SUITE 100
NEWPORT BEACH, CA 92660
949-553-9100



VICINITY MAP
NOT TO SCALE

REVISIONS	BY	DATE
ORIGINAL PREPARED	CHB	8/12/2019
REVISED	CHB	10/12/2019
REVISED	CHB	10/15/2019
REVISED	CHB	11/28/2019
REVISED	CHB	1/3/2020

THIS PLAN IS THE PROPERTY OF RICK ENGINEERING COMPANY. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RICK ENGINEERING COMPANY.

RICK ENGINEERING COMPANY
34 DISCOVERY, SUITE 240
IRVINE, CA 92618
949-568-0707

PREPARED UNDER THE DIRECTION OF:
BARRY J. CORAN, P.E. #46568

DATE: _____

SCALE: 1" = 40'

BENCH MARK:
ELEVATION: 100.00
RIVERSIDE COUNTY DESIGNATION: 1-10-10
DISCOVERY

TYPICAL SECTION: TEMPE STREET
NOTE: STREETS WILL BE PRIVATELY MAINTAINED.

TYPICAL CROWNED PVT ROADWAY SECTION
PACIFICA PLACE, MIDLEGATE PLACE, CROWN POINT LANE
NOTE: STREETS WILL BE PRIVATELY MAINTAINED.

MODIFIED TYPICAL CROWNED PVT ROADWAY SECTION
BREEZEPORT WAY, CROWN POINT LANE
NOTE: STREETS WILL BE PRIVATELY MAINTAINED.

MODIFIED TYPICAL CROWNED PVT ROADWAY SECTION
CAPSTAN COURT, HALYARD COURT
NOTE: STREETS WILL BE PRIVATELY MAINTAINED.

MODIFIED TYPICAL CROWNED PVT ROADWAY SECTION
MIDLEGATE PLACE
NOTE: STREETS WILL BE PRIVATELY MAINTAINED.

TYPICAL SECTION: WESTLAKE POINT
NOTE: STREETS WILL BE PRIVATELY MAINTAINED.

PROP TRACT BOUNDARY

CONCRETE CHANNEL



7. OPEN SPACES
- PRIVATE OPEN SPACES
- REQUIRED: 100 S.F./DU.
- PROPOSED: 1399 S.F./DU.
- COMMON OPEN SPACE
- REQUIRED: 225 S.F./DU.
- PROPOSED: 728 S.F./DU.
8. TYPE OF CONSTRUCTION AND OCCUPANCY PER THE UNIFORM BUILDING CODE:
- TYPE V, NON-RATED SPRINKLER
OCCUPANCY WILL BE R-1/1-1
9. PARKING DATA
- REQUIRED:
RESIDENTS (COVERED) @ 1.0 SP/DU = 163 SPACES
GUESTS: TOTAL @ 1.33 SP/DU = 217 SPACES
TOTAL: 380 SPACES
- PROPOSED:
RESIDENTS (COVERED) @ 2.0 SP/DU = 326 SPACES
GUESTS: TOTAL @ 2.0 SP/DU = 326 SPACES
TOTAL: 652 SPACES

1. EXISTING ZONING: MF2
2. PROPOSED ZONING: NO CHANGE
3. EXISTING GENERAL PLAN DESIGNATION: THE VILLAGE AT LAKESHORE-
MULTI FAMILY
4. UTILITIES:
 - A. WATER AND SEWER
ELKSINORE VALLEY MUNICIPAL WATER DISTRICT
3315 CHANEY STREET
ELKSINORE, CALIFORNIA 92530
(951) 474-3465
 - B. GAS
SOUTHERN CALIFORNIA GAS COMPANY
3000 CORNATE PARK DRIVE
MONTREY PARK, CALIFORNIA 91754
(800) 421-2200
 - C. TELEPHONE
VERIZON
4319 BUSINESS PARK DRIVE
TOWSON, CALIFORNIA 92590
(951) 225-3617
5. CABLE TV,
TIME WARNER
356E BUNCH STREET
LAKE ELKSINORE, CALIFORNIA 92530
(951) 996-2233
6. ELECTRIC
SOUTHERN CALIFORNIA Edison
28100 MENIFEE ROAD
RANCHO, CALIFORNIA 92380
(951) 943-9281
7. THIS LOT IS A CONDOMINIUM PROJECT AS DEFINED IN SECTION 15.01 OF THE CITY CODE OF THE STATE OF CALIFORNIA, AND IS FILED PURSUANT TO THE SUBDIVISION MAP ACT
8. SITE IS CURRENTLY IN A NATURAL STATE WITH FLAT TERRAIN
9. TRASH ENCLOSURES PROVIDED
10. REFER TO THE PRELIMINARY LANDSCAPE PLAN FOR ADDITIONAL WALL/FENCE, SIGNAGE, AND LIGHTING INFORMATION.
11. ALL RADII SHOWN ARE AT CENTERLINE OF PRIVATE ROADS

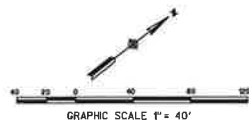


SCALE		
REVISIONS	BY	DATE
ORIGINALLY PREPARED	DR	7/20/2018
REVISED	AC	8/16/2018
REVISED	DR	8/28/2018
REVISED	DR	10/2/2018
REVISED	DR	10/11/2018
REVISED	DR	10/28/2018
REVISED	CWR	1/16/2019

THE 3366 CIVIL VENTURES CORPORATION 2005. ALL RIGHTS RESERVED. THE VILLAGE OF LORENA, IL 60438-1000. 1-800-336-6666



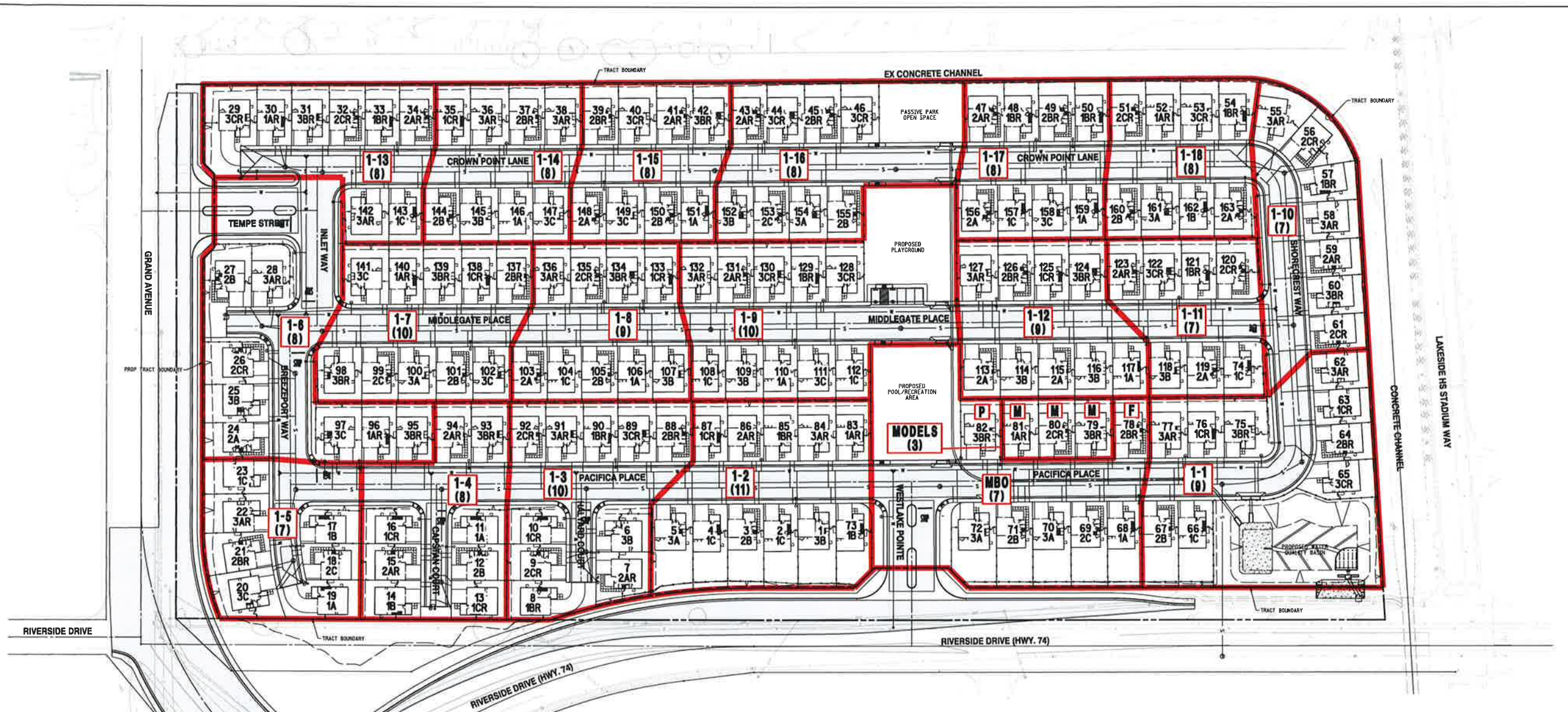
BENCH MARK:
ELEVATION: 1400.873 (NGVD 29)
RIVERSIDE COUNTY DESIGNATION: E
DESCRIPTION:



OWNER/DEVELOPER
PARDEE HOMES
1250 CORONA POINTE COURT, SUITE 100
CORONA, CA 92613
951/428-4400

PROJECT ENGINEER
NICK ENGINEERING COMPANY
36 DISCOVERY SUITE 240
IRVINE, CA 92618
(949) 568-0707

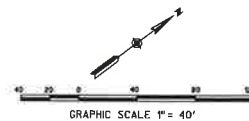
PROJECT ARCHITECT
BASSENTHAM/LACONT
 2031 ORCHARD DRIVE, SUITE 100
 NEWPORT BEACH, CA 92660
 (949) 553-9100



WESTLAKE PLOTING & PHASING PLAN

LEGEND

- PHASING BOUNDARY
- BUILDING * PLAN TYPE
- INDICATES MODEL
- INDICATES MODEL PARKING
- INDICATES FALLOW LOT



PHASING SUMMARY

PHASE	PLAN 1	PLAN 2	PLAN 3	TOTAL	BUILDINGS
1-1	3	2	4	9	62-67, 75-77
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1-3	3	4	3	10	6-10, 88-92
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1-7	2	3	5	10	98-102, 137-141
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1-9	4	1	5	10	108-112, 128-132
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MODELS	1	1	1	3	79-81
MBO	1	3	3	7	68-72, 78, 82
TOTALS	49	54	60	163	

OWNER/DEVELOPER

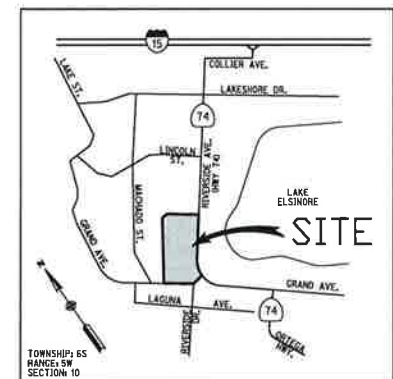
PARDEE HOMES
1250 CORONA POINTE COURT, SUITE 600
CORONA, CA 92619
(951) 428-4400

PROJECT ENGINEER

RICK ENGINEERING COMPANY
36 DISCOVERY, SUITE 240
IRVINE, CA 92618
(949) 558-0707

PROJECT ARCHITECT

BASSENIAN/LAGONI
2031 ORCHARD DRIVE, SUITE 100
NEWPORT BEACH, CA 92660
(949) 553-9100



VICINITY MAP

NOT TO SCALE

REVISIONS	BY	DATE
ORIGINAL PREPARED	ENR	8/15/2018
REVISED	ENR	8/15/2018
REVISED	ENR	10/11/2018
REVISED	ENR	11/28/2018
REVISED	ENR	1/16/2019

THIS PLAN IS THE PROPERTY OF RICK ENGINEERING COMPANY. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF RICK ENGINEERING COMPANY.

RICK ENGINEERING COMPANY
36 DISCOVERY, SUITE 240
IRVINE, CA 92618
949-558-0707
www.rickeng.com

SEAL
BARRY J. CORAN
Professional Engineer
No. 49568
City of Orange

BENCH MARK:
ELEVATION: 102.073 MVD 78
REVISION: COUNTY DESIGNATION: C-14-70
DESCRIPTION

PREPARED UNDER THE DIRECTION OF:
BARRY J. CORAN, P.E. #C46568

DATE

PardeeHomes

GRADING & DRAINAGE PLAN
REVISED TENTATIVE TRACT MAP 33267
ONE LOT FOR CONDOMINIUM PURPOSES
CITY OF LAKE ELSINORE
COUNTY OF RIVERSIDE, CALIFORNIA

JUNE 2014

LEGAL DESCRIPTION

THAT PORTION OF LOTS 1 AND 2 IN BLOCK "C" OF THE LA LAGUNA RANCH, IN THE CITY OF LAKE ELSINORE, AS SHOWN BY MAP ON FILE IN BOOK 1 PAGE(S) 36 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA.

OWNER/APPLICANT:

SUNWOOD VENTURES LLC
9740 APPALOOSA ROAD, SUITE 130
SAN DIEGO CA., 92131
PHONE: (909) 208-2971

ENGINEER:

VA CONSULTING, INC.
46 DISCOVERY, SUITE 250
IRVINE, CA 92618
(949) 474-1400 TEL
(949) 261-8482 FAX

ASSESSOR'S PARCEL NUMBER:

379-050-006, 379-050-034

ACREAGE:

19.71 AC. GROSS

18.76 AC. NET

LAND USE:

EXISTING LAND USE: VACANT
PROPOSED LAND USE: RESIDENTIAL
EXISTING ZONING: C-P COMMERCIAL PARK
PROPOSED ZONING: R-2 MEDIUM DENSITY RESIDENTIAL
GENERAL PLAN DESIGNATION: SP-P

BASIS OF BEARINGS:

CENTER LINE OF GRAND AVENUE
N52° 53' 08" W

BENCHMARK:

CA DOT BM 13-B-93 LOCATION WESTERLY
CURB RIVERSIDE DRIVE OPPOSITE FIRE HYDRANT
AND 365 FEET NORTHERLY OF JOY STREET.

UTILITIES:

WATER: ELSINORE VALLEY MUNICIPAL WATER DISTRICT
31315 CHANEY STREET, LAKE ELSINORE, CA. 92882
(951) 674-3146

SEWER: ELSINORE VALLEY MUNICIPAL WATER DISTRICT
31315 CHANEY STREET, LAKE ELSINORE, CA. 92882
(951) 674-3146

POWER: SOUTHERN CALIFORNIA EDISON CO.
1444 E. McFADDEN AVE., BLDG. D
SANTA ANA, CA. 92705
(714) 973-5735

GAS: SOUTHERN CALIFORNIA GAS CO.
1981 W. LUGONIA AVE.
REDLANDS, CA. 92373
(909) 335-7955

PHONE: VERIZON CALIFORNIA
1-800-483-3000

CABLE TV: TIME WARNER CABLE
1500 AUTO CENTER DR
ONTARIO, CA 91761
(909) 975-3398

SCHOOL DISTRICT:

LAKE ELSINORE UNIFIED SCHOOL DISTRICT

EARTHWORK QUANTITIES

CUT 25,000 CY
FILL 25,000 CY

GRADED AREA 20.0 AC

LEGEND

TOP SLOPE
TOE

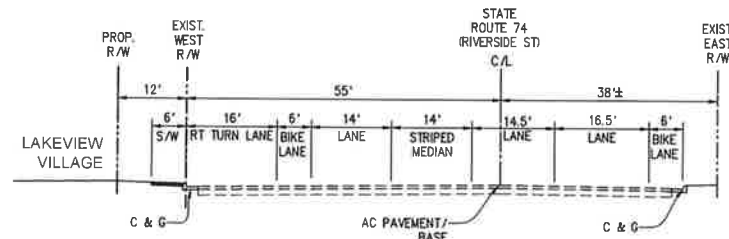
PROPOSED STORM DRAIN WITH
CATCH BASIN (CB)
PROPOSED SEWER LINE WITH MANHOLE
PROPOSED DOMESTIC WATER LINE
TRACT BOUNDARY LINE
RIGHT OF WAY LINE
CURB LINE
CENTERLINE
EASEMENT
FAULT SETBACK LINE
PROPOSED RETAINING WALL

C/L CENTER LINE
C & G CURB & GUTTER
FF FINISHED FLOOR
FG FINISHED GROUND
FL FLOW LINE
FS FINISHED SURFACE
GB GRADE BREAK
GF GARAGE FLOOR
HP HIGH POINT
R RADIUS
R/W RIGHT OF WAY
SFD SINGLE FAMILY DETACHE
SW SIDEWALK

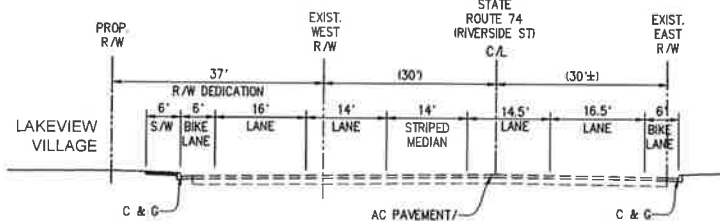
SHEET INDEX

SHEET
TITLE SHEET, NOTES & CROSS SECTIONS
GRADING & DRAINAGE PLAN

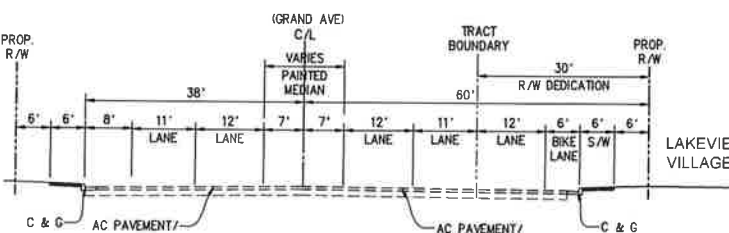
NO.
1
2-3



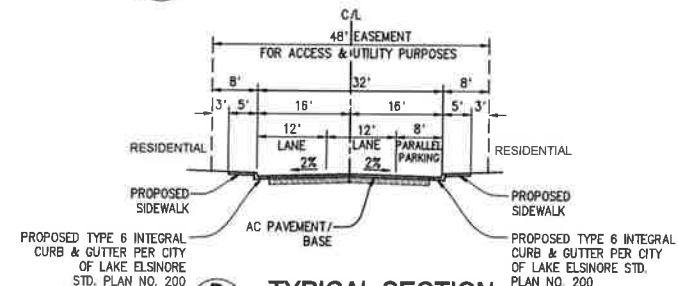
A RIVERSIDE STREET VILLAGE EDGE
N.T.S.



B RIVERSIDE STREET VILLAGE EDGE
N.T.S.



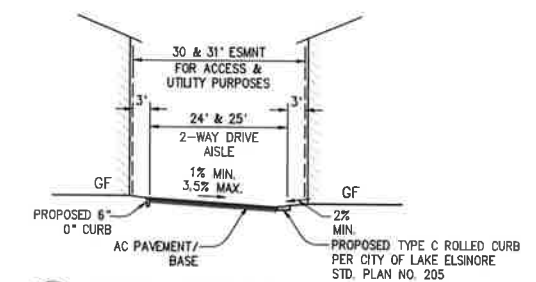
C GRAND AVENUE VILLAGE EDGE
N.T.S.



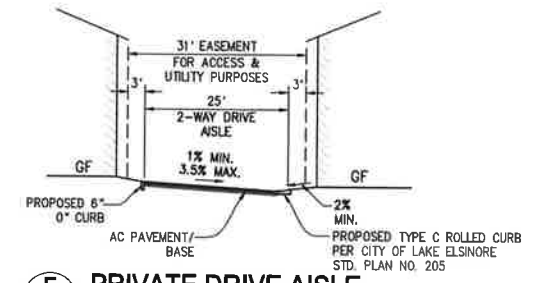
D TYPICAL SECTION
PRIVATE STREET
N.T.S.
(PARKING ALLOWED ON INNER SIDE)



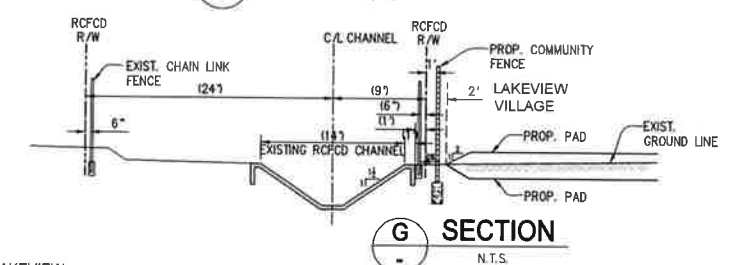
VICINITY MAP
N.T.S.



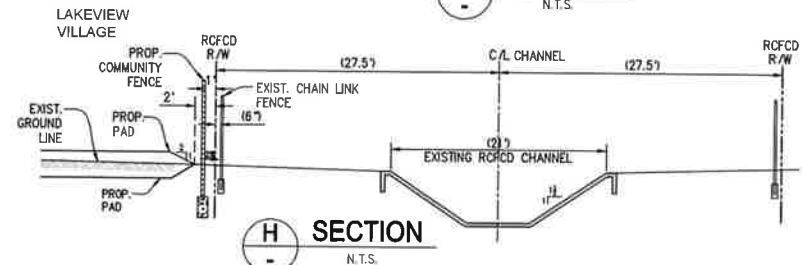
E PRIVATE DRIVE AISLE
N.T.S.



F PRIVATE DRIVE AISLE
N.T.S.



G SECTION
N.T.S.



H SECTION
N.T.S.

PREPARED FOR:
Sunwood Ventures LLC
9740 APPALOOSA ROAD, SUITE 130
SAN DIEGO CA., 92131

DATE	BY	REVISIONS	DATE	ACC'D

PREPARED UNDER THE SUPERVISION OF:

DONALD R. GORDON R.C.E. 24725 EXP. 12/31/15



6/4/14

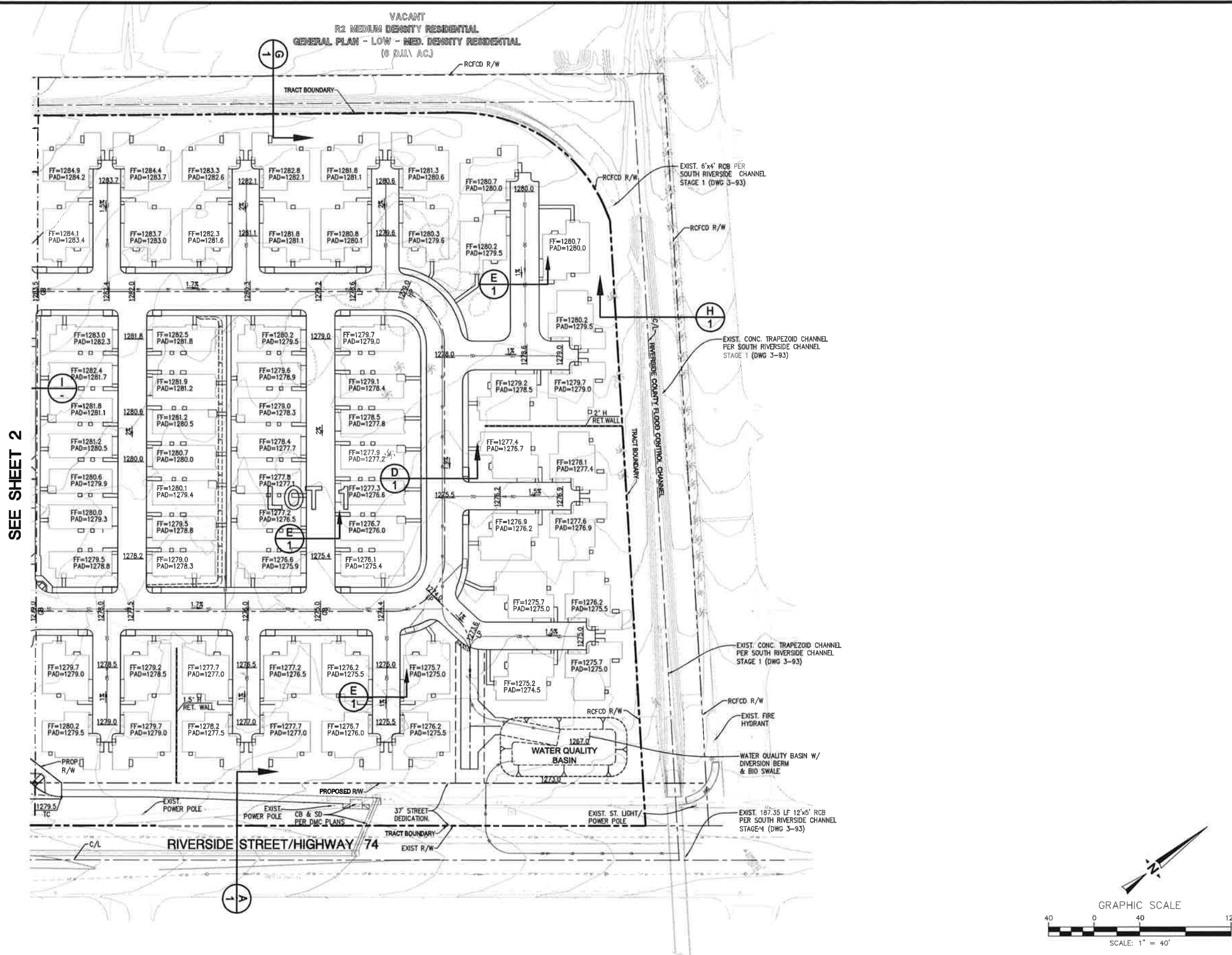
DES. ENG.: O.N.
DESIGNER: O.N.
DRAFTER: A.C.
CHECKED BY: D.G.



VA Consulting, Inc.
ENGINEERS • PLANNERS • SURVEYORS
46 DISCOVERY, SUITE 250
IRVINE, CA 92618
(949) 474-1400 TEL
(949) 261-8482 FAX

CITY OF LAKE ELSINORE
REVISED TENTATIVE TRACT MAP 33267
GRADING & DRAINAGE PLAN
GEN. NOTES, SECTIONS & DETAILS

PROJECT NO.
1122_0103
SHEET
1
OF
3



SEE SHEET 2

PREPARED FOR:		DATE	BY	REVISIONS	DATE	ACC'D	PREPARED UNDER THE SUPERVISION OF:	6/4/14		DES. ENG. O.N.		DESIGNER: O.N.		DRAFTER: A.C.		CHECKED BY: D.G.		VA Consulting, Inc. ENGINEERS • PLANNERS • SURVEYORS 46 DISCOVERY, SUITE 250 (949) 474-1400 TEL IRVINE, CA 92618 (949) 261-8482 FAX		CITY OF LAKE ELSINORE REVISED TENTATIVE TRACT MAP 33267 PRELIMINARY GRADING AND DRAINAGE PLAN		PROJECT NO. 1122_0103
Sunwood Ventures LLC 9740 APPALOOSA ROAD, SUITE 130 SAN DIEGO CA., 92131							DONALD R. GORDON R.C.E. 24725 EXP. 12/31/15	No. 024725 CIVIL STATE OF CALIFORNIA		SHEET 3		OF 3										



CITY OF LAKE ELSINORE

STORM DRAIN IMPROVEMENT PLANS

WESTLAKE - TM 33267

GENERAL NOTES

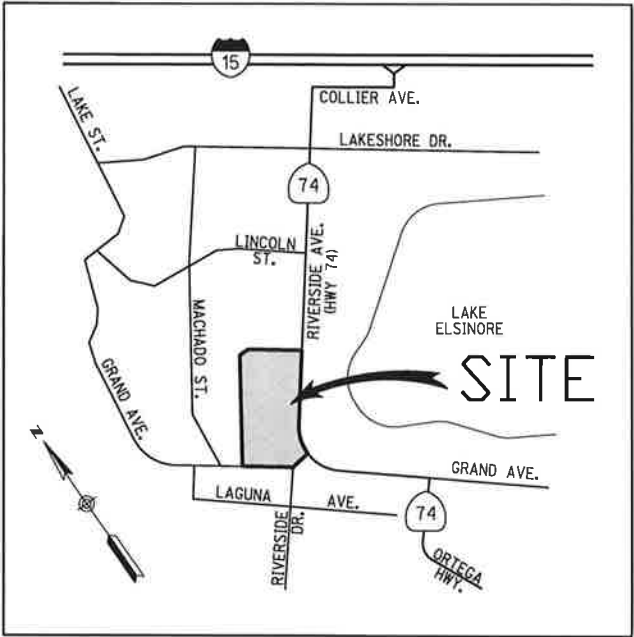
1. NOTE TO CONTRACTORS: THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. APPROVAL OF THESE PLANS BY THE CITY OF LAKE ELSINORE DOES NOT CONSTITUTE A REPRESENTATION AS TO THE ACCURACY OR COMPLETENESS OF THE LOCATION, NOR THE EXISTENCE OR NON-EXISTENCE OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES WITHIN THE LIMITS OF THE PROJECT. THE CONTRACTOR IS REQUIRED TO TAKE ALL DUE PRECAUTIONARY MEASURES FOR THE PROTECTION OF ALL UTILITIES, PIPES OR STRUCTURES, WHETHER SHOWN ON THESE PLANS OR NOT. ANY UTILITY(IES) DAMAGED DURING THE PERFORMANCE OF THE WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE GOVERNING AGENCY BY THE CONTRACTOR AT HIS EXPENSE.
2. ALL WORK SHALL CONFORM TO CITY CODES, STANDARD SPECIFICATIONS FOR PUBLIC WORKS (LATEST EDITION), AND STANDARD DRAWING OF THE COUNTY OF RIVERSIDE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH THESE STANDARDS AND CODES AT ALL TIMES.
3. THE CONTRACTOR SHALL NOTIFY THE CITY PUBLIC WORKS INSPECTOR, FORTY- EIGHT (48) HOURS PRIOR TO BEGINNING ANY WORK. CALL FOR INSPECTION AT (951) 674-3124, EXTENSION 247, BETWEEN THE HOURS OF 9:00 AM TO 4:00 PM, MONDAY THROUGH THURSDAY.
4. CONTRACTOR SHALL MAINTAIN TRAFFIC CONTROL IN ACCORDANCE WITH CALTRANS TRAFFIC MANUAL AND WATCH MANUAL AT ALL TIMES DURING CONSTRUCTION, AS APPROVED BY THE CITY ENGINEER OR HIS REPRESENTATIVE. FAILURE TO DO SO SHALL REQUIRE IMMEDIATE WORK STOPPAGE.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE A DEPENDABLE REPRESENTATIVE AT THE JOB SITE, AT ALL TIMES DURING CONSTRUCTION.
6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ARRANGE FOR THE NECESSARY RELOCATION OF ANY UTILITIES. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES INVOLVED AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL ALSO CONTACT UNDERGROUND SERVICE ALERT (U.S.A.) AT 1-800-422-4133 AT LEAST 48 HOURS PRIOR TO BEGINNING WORK.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEARING OF THE PROPOSED WORK AREA AND RELOCATION AND COST OF ALL EXISTING UTILITIES. SUBDIVIDER MUST INFORM THE CITY OF LAKE ELSINORE OF CONSTRUCTION SCHEDULE, PRIOR TO THE BEGINNING OF CONSTRUCTION.
8. ALL UNDERGROUND FACILITIES AND LATERALS INCLUDING BUT NOT LIMITED TO SEWER, WATER, TELEPHONE, ELECTRICITY, GAS AND DRAINAGE FACILITIES, SHALL BE IN PLACE PRIOR TO PAVING THE STREET SECTION.
9. ALL STREET SECTIONS ARE TENTATIVE. ADDITIONAL SOIL TESTS WILL BE TAKEN AFTER ROUGH GRADING, TO DETERMINE THE EXACT SECTION REQUIRED. SECTION THICKNESSES SHOWN ARE FOR BONDING PURPOSES ONLY.
10. ALL EXISTING UNDERGROUND UTILITIES AND STRUCTURES MUST BE POTHOLED AND ELEVATIONS VERIFIED PRIOR TO CONSTRUCTION. THE ENGINEER OF RECORD SHALL BE NOTIFIED OF ANY NECESSARY REVISIONS TO THE APPROVED PLANS. THE REVISIONS SHALL BE IN THE FORM OF "AS BUILT" PLANS SUBMITTED TO THE CITY ENGINEER FOR APPROVAL PRIOR TO THE FINAL ACCEPTANCE OF THE PROJECT BY THE CITY ENGINEER.
11. ALL EXISTING MONUMENTATION DISTURBED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED TO CITY STANDARDS AS APPROVED BY THE CITY ENGINEER. CENTERLINE TIES ARE TO BE FURNISHED TO THE CITY ENGINEER UPON COMPLETION OF THE PROJECT AND BEFORE ACCEPTANCE IS GRANTED.
12. AN ENCROACHMENT PERMIT SHALL BE REQUIRED FOR ALL CONSTRUCTION WORK DONE WITHIN PUBLIC RIGHTS-OF-WAY. BEFORE ISSUANCE OF SAID PERMIT, THE CONTRACTOR/DEVELOPER MUST PROVIDE THE CITY ENGINEER WITH CERTIFICATE OF INSURANCE AND REQUIRED BONDING FOR PUBLIC IMPROVEMENTS. THE ENCROACHMENT PERMIT MUST BE PRESENT AT THE JOB SITE DURING THE TOTAL TIME OF THE PROJECT CONSTRUCTION ALONG WITH AN APPROVED SET OF IMPROVEMENT PLANS.

BASIS OF BEARING

CENTER LINE OF GRAND AVENUE
N52°53'08"W

LEGAL DESCRIPTION

THAT PORTION OF LOTS 1 AND 2 IN BLOCK "C" OF THE LA LAGUNA RANCH, IN THE CITY OF LAKE ELSINORE, AS SHOWN BY MAP ON FILE IN BOOK 1 PAGE(S) 36 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA.



VICINITY MAP
NOT TO SCALE

LEGEND AND ABBREVIATIONS

CENTERLINE	CL
BEGIN CURVE	BC
END CURVE	EC
EXISTING	EX
INVERT ELEVATION	IE
RIGHT OF WAY	R/W
SEWER	SEW
TOP OF WALL	TW
WATER	WAT
CATCH BASIN	CB
CONSTRUCTION NOTE ITEM NO.	XX
DIRECTION OF FLOW	→

EXISTING STORM DRAIN	—
FENCE	—
RETAINING WALL	—
R/W	—
PROPOSED STORM DRAIN	—
STORM DRAIN DATA NO.	XX
PROP SEWER CLEAN OUT	—
PROP SEWER MANHOLE	—
PROP SEWER LINE	—
UTILITY CROSSING	—
PROP WATER LINE	—

SHEET INDEX

- 1 TITLE SHEET
2 INDEX MAP
3 DETAILS
4-6 PLAN & PROFILE
7 DETENTION BASIN DETAILS

ENGINEER'S NOTICE

1. CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
2. ALL UNDERGROUND UTILITIES OR STRUCTURES, REPORTED OR FOUND ON PUBLIC RECORDS, ARE INDICATED WITH THEIR APPROXIMATE LOCATION AND EXTENT. THE OWNER, BY ACCEPTING THESE PLANS OR PROCEEDING WITH THE IMPROVEMENTS HEREON, AGREES TO ASSUME LIABILITY AND HOLD THE ENGINEER HARMLESS FOR ANY DAMAGES RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED OR INDICATED ON PUBLIC RECORD, OR THOSE CONSTRUCTED AT VARIANCE WITH REPORTED OR RECORD LOCATIONS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES SHOWN AND ANY OTHER FOUND AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF ALL UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK.
3. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR UNAUTHORIZED CHANGES TO OR USES FOR THESE PLANS. ALL CHANGES TO THESE PLANS MUST BE IN WRITING AND MUST BE APPROVED THE PREPARER OF THESE PLANS.
4. QUANTITIES SHOWN HEREON ARE PROVIDED FOR BONDING PURPOSES ONLY. CONTRACTORS SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES PRIOR TO BIDDING FOR CONSTRUCTION.

ENGINEER/CONTACT PERSON

THESE PLANS WERE PREPARED UNDER THE DIRECTION OF BARRY J. COWAN, A REGISTERED CIVIL ENGINEER IN THE STATE OF CALIFORNIA.

BARRY J. COWAN 46568
CONTACT PERSON: BARRY J. COWAN

DATE

OWNER/DEVELOPER

PARDEE HOMES
1250 CORONA COURT, SUITE 600
CORONA, CA 92679
(951) 428-4400

PROJECT ARCHITECT

BASSENIAN/LAGONI
2031 ORCHARD DR, SUITE 100
NEWPORT BEACH, CA 92660
(949) 553-9100

BENCH MARK:

CA DOT BM 13-B-93 LOCATION WESTERLY CURB RIVERSIDE DRIVE OPPOSITE FIRE HYDRANT AND 365 FEET NORTHERLY OF JOY STREET.

DIG ALERT



CALL BEFORE YOU DIG!

1-800-227-2600
UNDERGROUND SERVICE ALERT
Call at least 2 working days prior to excavating.

REVISIONS	APPRV	DATE
DESIGNED BY:	DRAWN BY:	CHECKED BY:

THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS, AND A PERMIT CAN BE ISSUED.

BRAD FAGRELL, RCE #43920
CITY ENGINEER

SEAL:



RICK
ENGINEERING COMPANY

36 DISCOVERY - SUITE 240
IRVINE, CA 92618
949-588-0707

J-18190

PREPARED UNDER THE DIRECTION OF:

BARRY J. COWAN, RCE #C46568

DATE:

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UNAUTHORIZED CHANGES:

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SCALE: SHEET SPECIFIC
DATE:

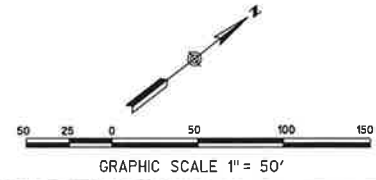
CITY OF LAKE ELSINORE

STORM DRAIN PLANS FOR
WESTLAKE - TM 33267

TITLE SHEET

SHEET
1
OF
7
SHEETS
FILE NO.

PRELIMINARY
NOT FOR CONSTRUCTION



SHEET INDEX MAP

4 THRU 6	STORM DRAIN PLAN & PROFILE
7	DETENTION BASIN

PRELIMINARY
NOT FOR CONSTRUCTION

CITY OF LAKE ELSINORE

**STORM DRAIN PLANS FOR
WESTLAKE - TM 33267**

INDEX MAP

SHEET
2
OF
7
SHEETS

FILE NO.

On 18190-0 The Village at Lakeshore %
 On 18190-0 The Village at Lakeshore %
 On 18190-0 The Village at Lakeshore %
 On 18190-0 The Village at Lakeshore %

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DESIGNED BY:	DRAWN BY:	CHECKED BY:	

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CITY ENGINEER

SEAL:



RICK
ENGINEERING COMPANY

36 DISCOVERY - SUITE 240
IRVINE, CA 92618
949-588-0707

PREPARED UNDER THE DIRECTION OF

BARRY J. COWAN, RCE #C46568

J-18192

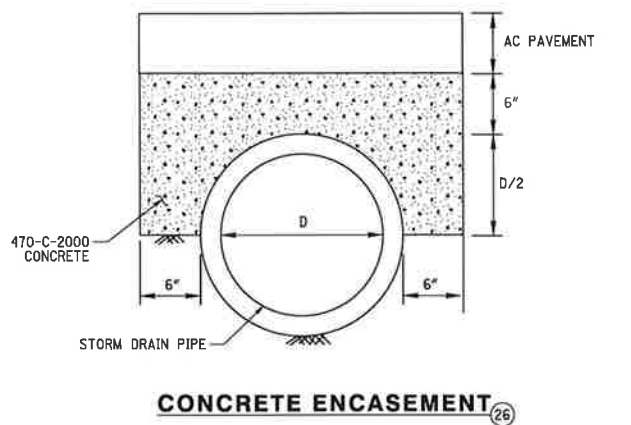
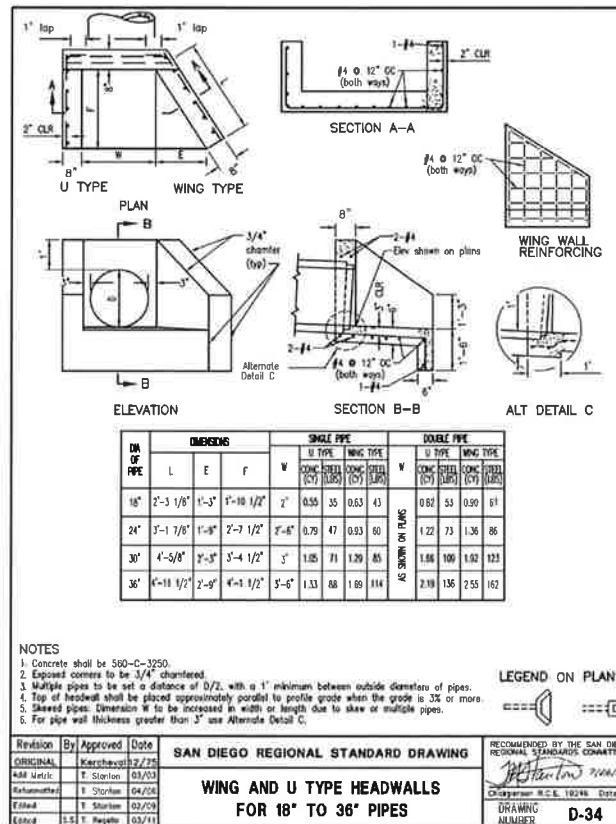
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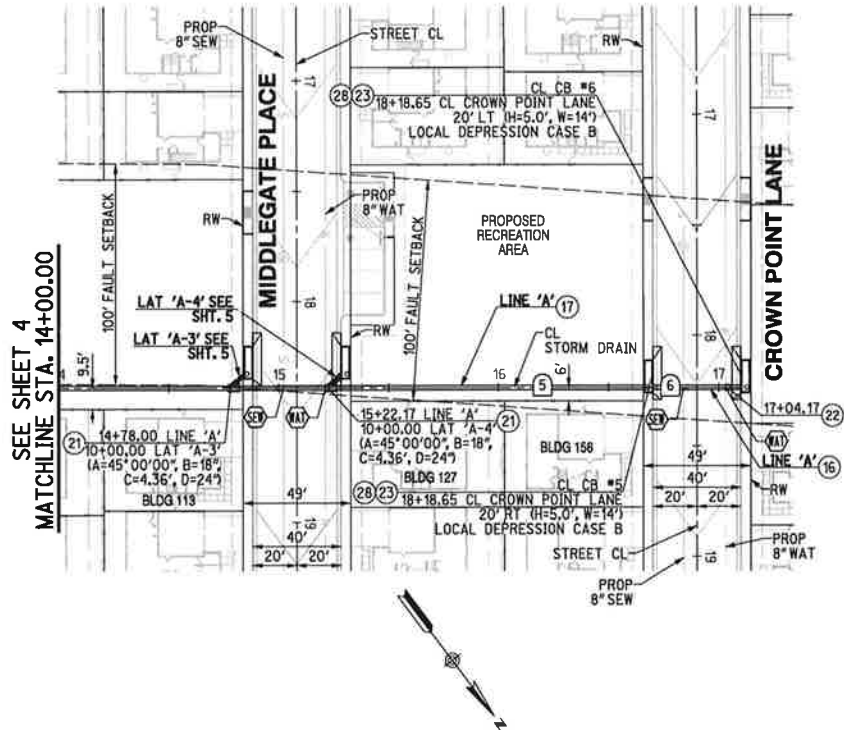
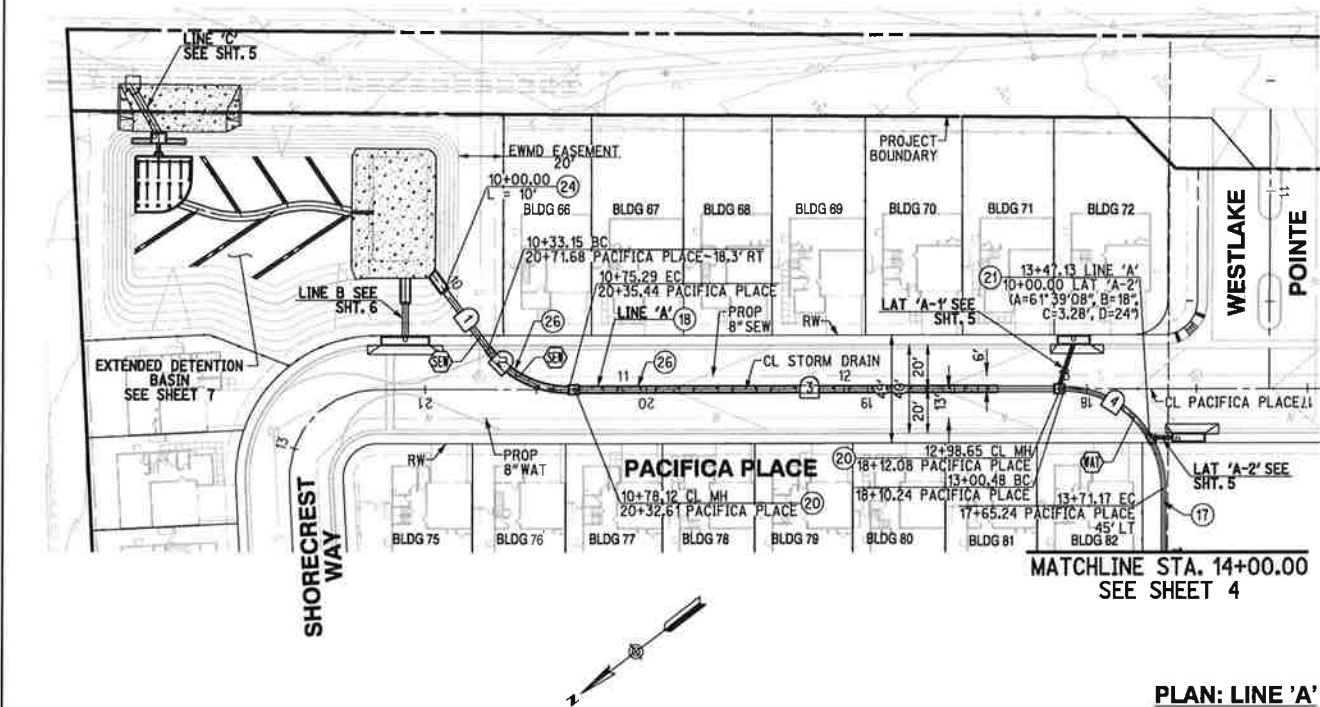
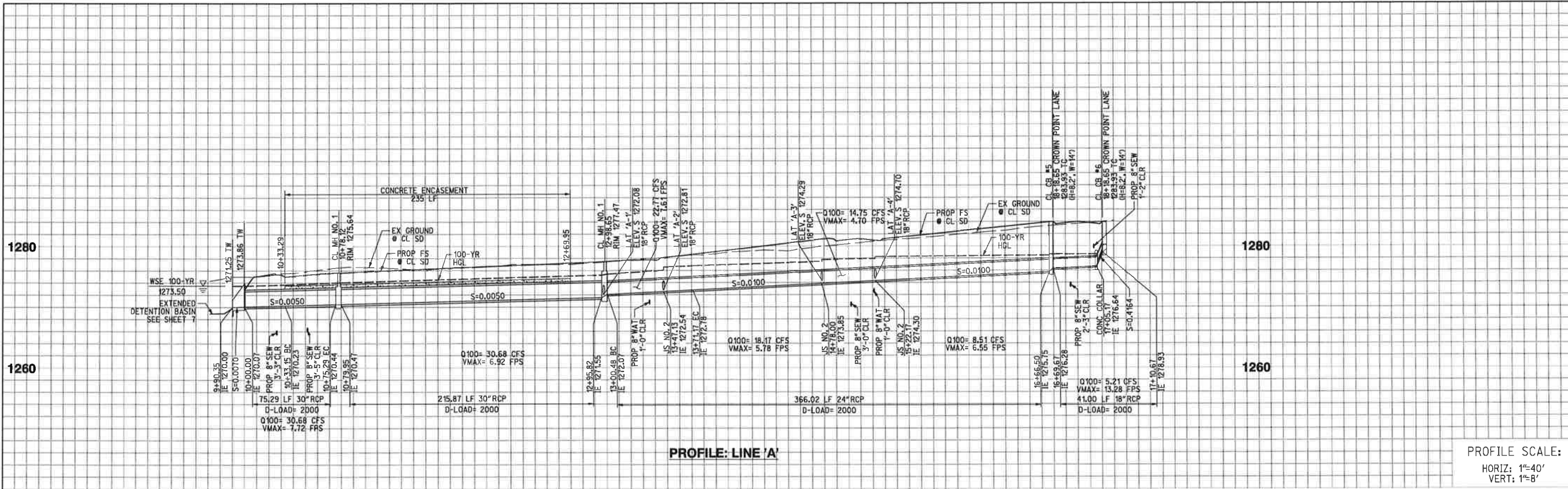
SCALE: SHEET SPECIFIC
DATE:

© 2018 K&N Engineering Company PLAN SET DATE 10/10/2018



CONSTRUCTION NOTES		QUANTITY ESTIMATE
(16)	CONSTRUCT 18" RCP (D-LOAD PER PROFILE)	80 LF
(17)	CONSTRUCT 24" RCP (D-LOAD PER PROFILE)	366 LF
(18)	CONSTRUCT 30" RCP (D-LOAD PER PROFILE)	308 LF
(19)	CONSTRUCT 36" RCP (D-LOAD PER PROFILE)	22 LF
(20)	CONSTRUCT MANHOLE NO. 1 PER RCFC&WCD STD MH251	2 EA
(21)	CONSTRUCT JUNCTION STRUCTURE NO. 2 PER RCFC&WCD STD JS227	4 EA
(22)	CONSTRUCT CONCRETE COLLAR PER RCFC&WCD STD M803	1 EA
(23)	CONSTRUCT CATCH BASIN NO. 1 PER RCFC&WCD STD CB100 (H AND W PER PLAN). INSTALL 3"x5 1/4" DAS MANUFACTURING INC. DURACAST STORM DRAIN MARKER MODEL "NDL (NO DUMPING) - DRAINS TO LAKE" ON ALL CATCH BASINS	7 EA
(24)	CONSTRUCT MODIFIED U TYPE HEADWALL PER SAN DIEGO REGIONAL STANDARD DRAWING NO D-34 AND AS MODIFIED LENGTH 'L' PER PLAN (SEE DETAIL SHEET 3)	2 EA
(25)	CONSTRUCT WING TYPE HEADWALL PER SAN DIEGO REGIONAL STANDARD DRAWING NO D-34 (SEE DETAIL SHEET 3)	1 EA
(26)	CONSTRUCT CONCRETE ENCASEMENT PER DETAIL SHEET 3	235 LF
(27)	CONSTRUCT CURB INLET TYPE 'B-2' PER SAN DIEGO REGIONAL STANDARD DRAWING NO D-02 (SEE DETAIL SHEET 3)	1 EA
(28)	CONSTRUCT LOCAL DEPRESSION NO. 2 PER RCFC&WCD STANDARD DRAWING NO LD201 (CASE PER PLAN)	7 EA
(29)	CONSTRUCT CONCRETE SPILLWAY PER DETAILS ON SHEET 7	1 EA
(30)	CONSTRUCT PIPE SCREEN PER DETAIL SHEET 7	1 EA
(31)	CONSTRUCT 2.0' X 2.0' X 1/4" GALVANIZED STEEL PLATE PER DETAIL SHEET 8	1 EA
(32)	CONSTRUCT 6" PERFORATED PVC PIPE PER DETAIL SHEET 7 (HOLES POINT DOWN)	130 LF

LOCATION OF EXISTING UTILITIES ON THESE PLANS APPROXIMATE AND SHALL BE VERIFIED BY CONTRACTOR TO CONSTRUCTION.	CITY OF LAKE ELSINORE	SHEET 3 OF 7
AUTHORIZED CHANGES: IN: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED CHANGES TO THESE PLANS. ALL CHANGES TO THESE PLANS MUST BE APPROVED BY THE PREPARER OF THESE PLANS AND THE CITY ENGINEER.	STORM DRAIN PLANS FOR WESTLAKE - TM 33267	SHEET FILE NO.
SHEET SPECIFIC	STORM DRAIN DETAILS	



CONSTRUCTION NOTES

- (16) CONSTRUCT 18" RCP (D-LOAD PER PROFILE)
(17) CONSTRUCT 24" RCP (D-LOAD PER PROFILE)
(18) CONSTRUCT 30" RCP (D-LOAD PER PROFILE)
(20) CONSTRUCT MANHOLE NO. 1 PER RCFC&WCD STD M251
(21) CONSTRUCT JUNCTION STRUCTURE NO. 2 PER RCFC&WCD STD JS227
(22) CONSTRUCT CONCRETE COLLAR PER RCFC&WCD STD M803
(23) CONSTRUCT CATCH BASIN NO. 1 PER RCFC&WCD STD CB100 (H AND W PER PLAN). INSTALL 3"x5 1/4" DMS MANUFACTURING INC. DURACAST STORM DRAIN MARKER MODEL "NDL" (NO DUMPING - DRAINS TO LAKE) ON ALL CATCH BASINS
(24) CONSTRUCT MODIFIED U TYPE HEADWALL PER SAN DIEGO REGIONAL STANDARD DRAWING NO D-34 AND AS MODIFIED LENGTH 'L' PER PLAN (SEE DETAIL SHEET 3)
(26) CONSTRUCT CONCRETE ENCASUREMENT PER DETAIL SHEET 3
(28) CONSTRUCT LOCAL DEPRESSION NO. 2 PER RCFC&WCD STANDARD DRAWING NO LD201 (CASE PER PLAN)

STORM DRAIN CENTERLINE DATA				
NO.	DELTA OR BRG.	RADIUS	LENGTH	REMARKS
1	N89° 11' 05" W		33.15'	30" RCP PIPE
2	Δ=53° 38' 46"	45.00'	42.14'	30" RCP PIPE
3	N37° 10' 10" E		215.87'	30" RCP PIPE
4	Δ=90° 00' 00"	45.00'	70.69'	24" RCP PIPE
5	N52° 49' 50" W		295.33'	24" RCP PIPE
6	N52° 49' 50" W		41.00'	18" RCP PIPE



PRELIMINARY
NOT FOR CONSTRUCTION

BENCH MARK:
CA DOT BM 13-B-93 LOCATION WESTERLY CURB RIVERSIDE DRIVE OPPOSITE FIRE HYDRANT AND 365 FEET NORTHERLY OF JOY STREET.

DIG ALERT
CALL BEFORE YOU DIG
1-800-227-2600
UNDERGROUND SERVICE ALERT
Call at least 2 working days prior to excavating.

REVISIONS	APPRV	DATE
DESIGNED BY:	DRAWN BY:	CHECKED BY:

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BRAD FAGRELL, RCE #43920
CITY ENGINEER

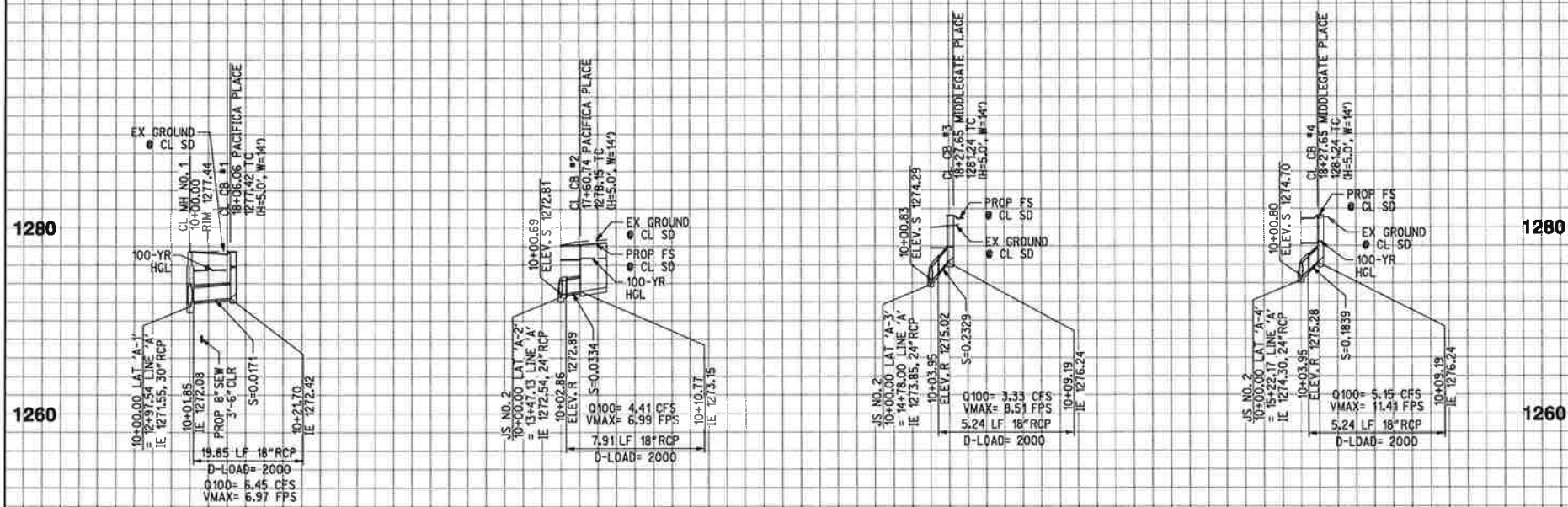
DATE

SEAL:
PROFESSIONAL ENGINEER
BARRY J. COWAN
No. 46568
CIVIL
STATE OF CALIFORNIA

RICK
ENGINEERING COMPANY
36 DISCOVERY SUITE 240
IRVINE, CA 92618
949-588-0707
J-18190
rickengineering.com
San Diego - Riverside - Sacramento - San Luis Obispo - Phoenix - Tucson - Denver
PREPARED UNDER THE DIRECTION OF:
BARRY J. COWAN, RCE #C46568
DATE

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SCALE: SHEET SPECIFIC
DATE:

CITY OF LAKE ELSINORE
STORM DRAIN IMPROVEMENT PLANS FOR WESTLAKE
LINE 'A'
PLAN & PROFILE
SHEET 4 OF 7
SHEETS
FILE NO.

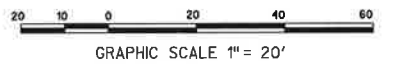
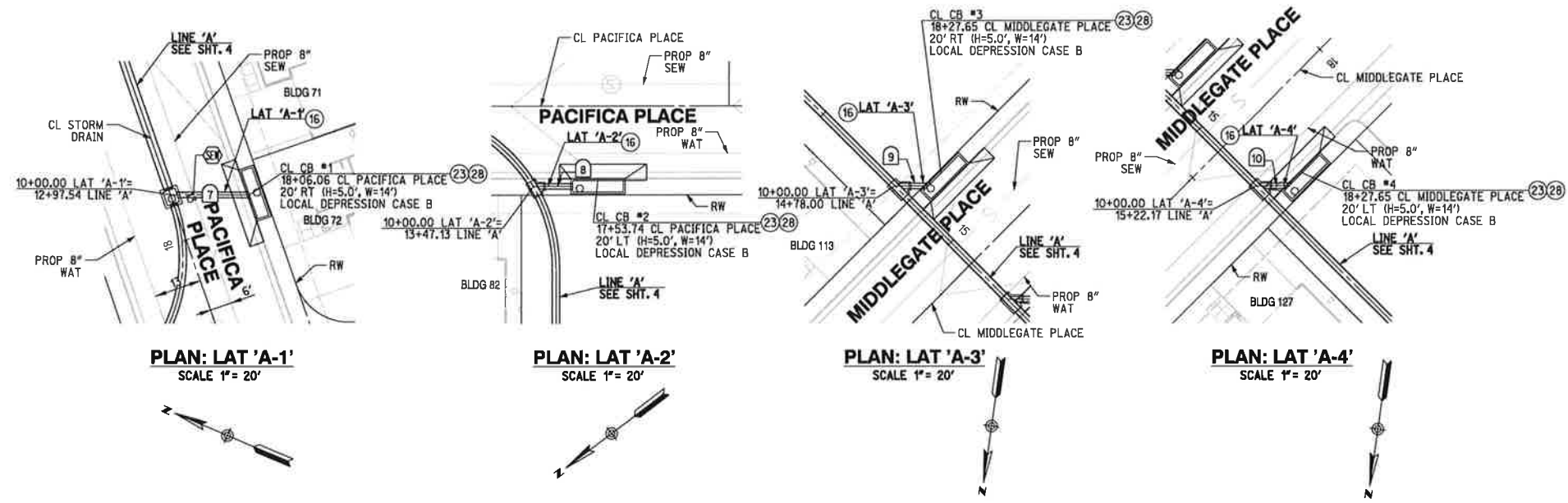


PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=8'

CONSTRUCTION NOTES

- 16 CONSTRUCT 18" RCP (D-LOAD PER PROFILE)
- 23 CONSTRUCT CATCH BASIN NO. 1 PER RCF&WCD STD CB100 (H AND W PER PLAN), INSTALL 3"x5 1/4" D.A.S. MANUFACTURING INC. DURACAST STORM DRAIN MARKER MODEL *NDL ('NO DUMPING' - DRAINS TO LAKE) ON ALL CATCH BASINS
- 28 CONSTRUCT LOCAL DEPRESSION NO. 2 PER RCF&WCD STANDARD DRAWING NO LD201 (CASE PER PLAN)

STORM DRAIN CENTERLINE DATA				
NO.	DELTA OR BRG.	RADIUS	LENGTH	REMARKS
7	N22° 49' 50" W		19.85'	18" RCP PIPE
8	N37° 10' 10" E		7.91'	18" RCP PIPE
9	N82° 10' 10" E		5.24'	18" RCP PIPE
10	N82° 10' 10" E		5.24'	18" RCP PIPE



PRELIMINARY
NOT FOR CONSTRUCTION

BENCH MARK:
CA DOT BM 13-B-93 LOCATION WESTERLY CURB RIVERSIDE DRIVE OPPOSITE FIRE HYDRANT AND 365 FEET NORTHERLY OF JOY STREET.

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REVISIONS	APPR	DATE

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BRAD FAGRELL, RCE #43920
CITY ENGINEER

DATE

SEAL:

REGISTERED PROFESSIONAL ENGINEER

BARRY J. COWAN

No. 46568

CIVIL

STATE OF CALIFORNIA

RICK

ENGINEERING COMPANY

36 DISCOVERY - SUITE 240
IRVINE, CA 92618
949-588-0707

San Diego - Riverside - Sacramento - San Luis Obispo - Phoenix - Tucson - Denver

PREPARED UNDER THE DIRECTION OF:

BARRY J. COWAN, RCE #C46568

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DATE:

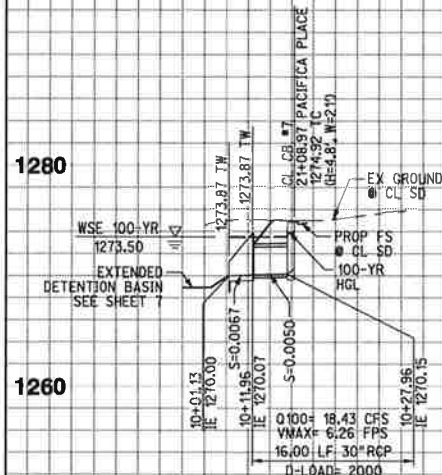
CITY OF LAKE ELSINORE

STORM DRAIN IMPROVEMENT PLANS FOR WESTLAKE

LAT A-1, -2, -3, -4

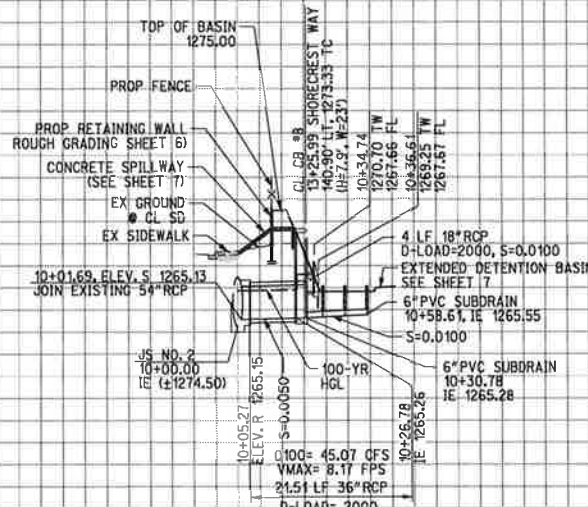
PLAN & PROFILE

SHEET
5
OF
7
SHEETS
FILE NO.



PROFILE: LINE 'B'

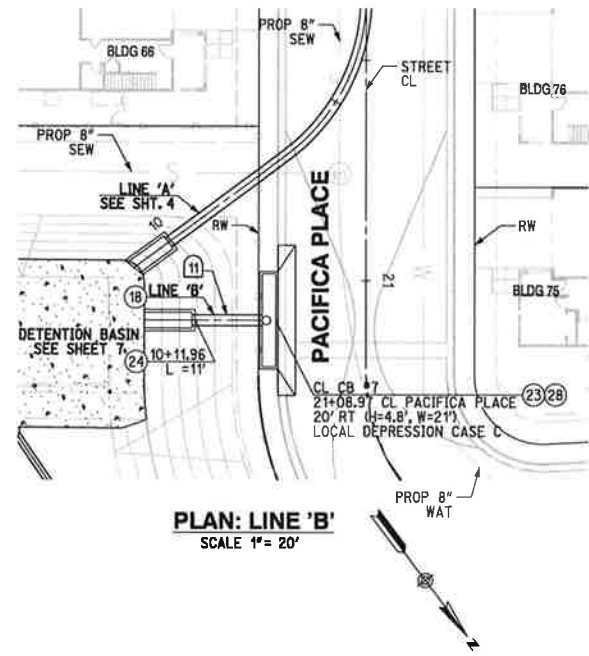
10+00



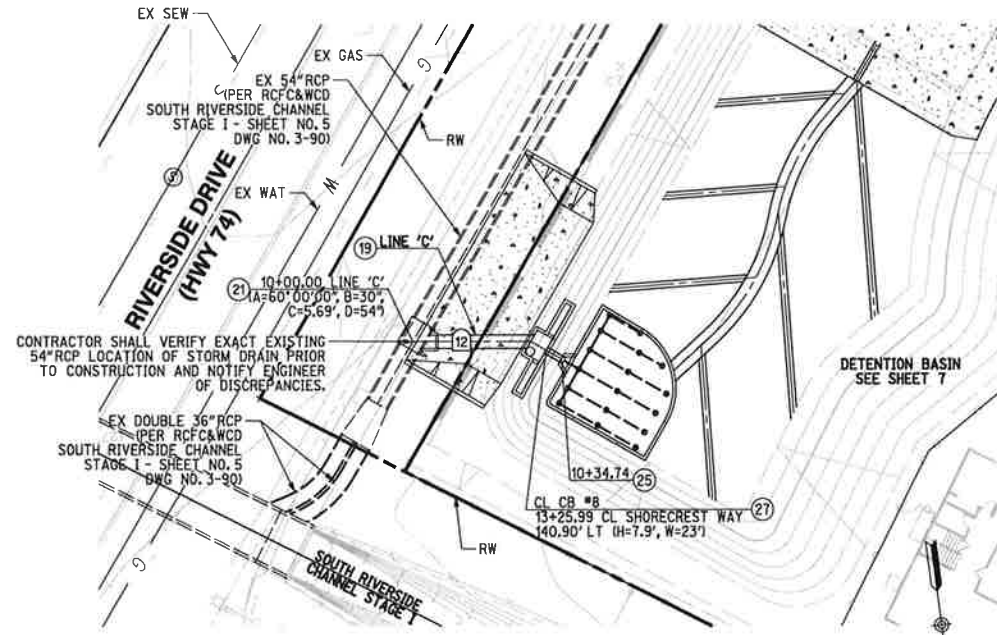
PROFILE: LINE 'C'

10+00

PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=8'



PLAN: LINE 'B'
SCALE 1"= 20'



PLAN: LINE 'C'
SCALE 1"= 20'

CONSTRUCTION NOTES

- (18) CONSTRUCT 30" RCP (D-LOAD PER PROFILE)
- (19) CONSTRUCT 36" RCP (D-LOAD PER PROFILE)
- (21) CONSTRUCT JUNCTION STRUCTURE NO. 2 PER RCFC&WCD STD JS227
- (23) CONSTRUCT CATCH BASIN NO. 1 PER RCFC&WCD STD CB100 (H AND W PER PLAN). INSTALL 3"x5 1/4" DAS MANUFACTURING INC. DURACAST STORM DRAIN MARKER MODEL #NDL ('NO DUMPING' - DRAINS TO LAKE) ON ALL CATCH BASINS
- (24) CONSTRUCT MODIFIED U TYPE HEADWALL PER SAN DIEGO REGIONAL STANDARD DRAWING NO D-34 AND AS MODIFIED LENGTH 'L' PER PLAN (SEE DETAIL SHEET 3)
- (25) CONSTRUCT WING TYPE HEADWALL PER SAN DIEGO REGIONAL STANDARD DRAWING NO D-34 (SEE DETAIL SHEET 3)
- (27) CONSTRUCT CURB INLET TYPE 'B-2' PER SAN DIEGO REGIONAL STANDARD DRAWING NO D-02 (SEE DETAIL SHEET 3)
- (28) CONSTRUCT LOCAL DEPRESSION NO. 2 PER RCFC&WCD STANDARD DRAWING NO LD201 (CASE PER PLAN)

STORM DRAIN CENTERLINE DATA				
NO.	DELTA OR BRG.	RADIUS	LENGTH	REMARKS
(11)	N52° 49' 50" W		16.00'	30" RCP PIPE
(12)	N82° 21' 47" W		21.51'	36" RCP PIPE



PRELIMINARY
NOT FOR CONSTRUCTION

BENCH MARK:
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BRAD FAGRELL, RCE #43920
CITY ENGINEER

DATE

SEAL:
REGISTERED PROFESSIONAL ENGINEER
BARRY J. COWAN
No. 46568
CIVIL
STATE OF CALIFORNIA

RICK
ENGINEERING COMPANY
36 DISCOVERY - SUITE 240
IRVINE, CA 92618
949-588-0707

PREPARED UNDER THE DIRECTION OF:
BARRY J. COWAN, RCE #C46568

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DATE:

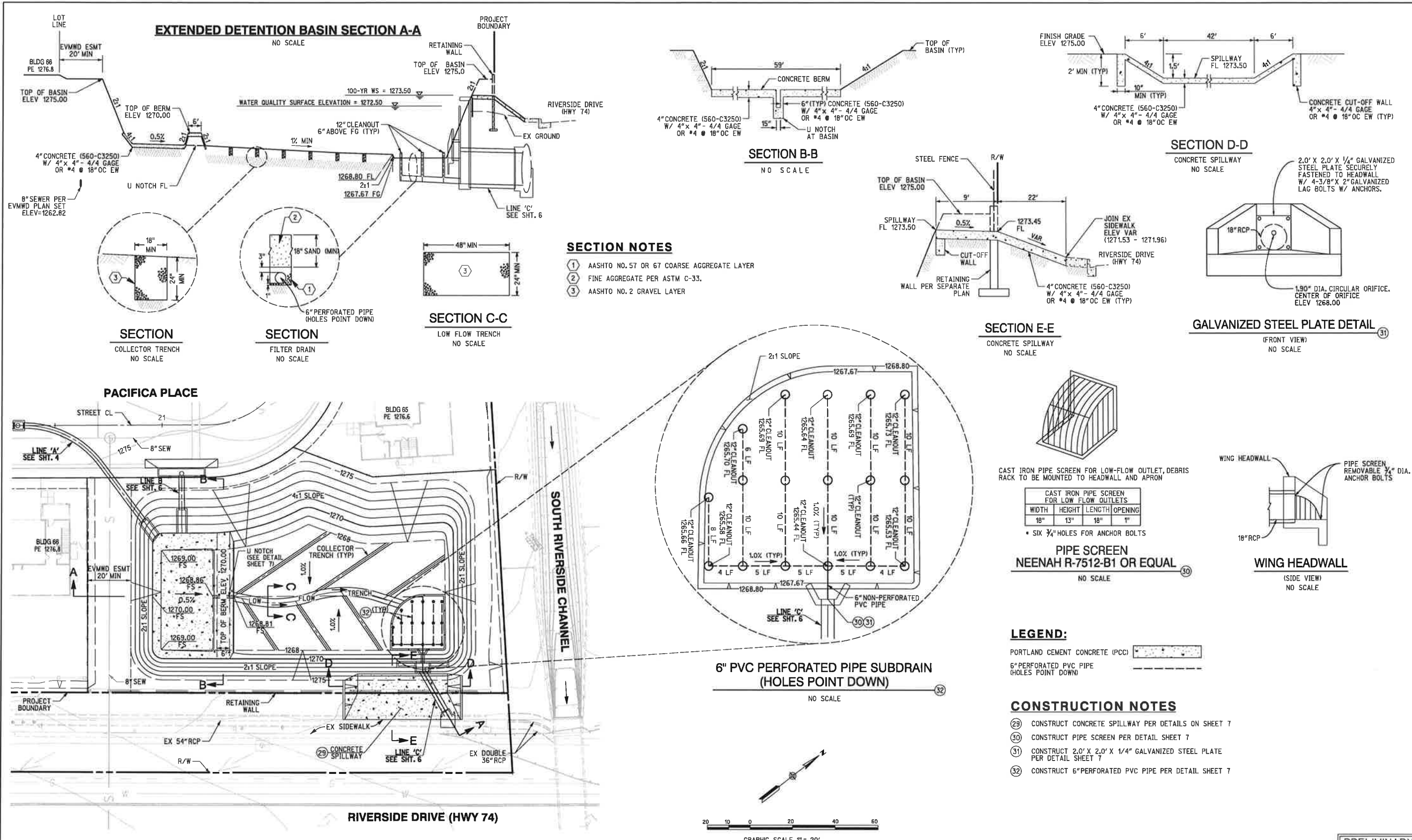
CITY OF LAKE ELSINORE
STORM DRAIN IMPROVEMENT
PLANS FOR WESTLAKE

LINE 'B', 'C'
PLAN & PROFILE

SHEET
6
OF
7
SHEETS
FILE NO.

0:181990-0 The Village of Lakeshore
0:181990-0 The Village of Lakeshore
13-JAN-2019 13:14

PLAN SET DATE: 10/26/2018



SECTION NOTES

- 1 AASHTO NO. 57 OR 67 COARSE AGGREGATE LAYER
- 2 FINE AGGREGATE PER ASTM C-33.
- 3 AASHTO NO. 2 GRAVEL LAYER

LEGEND:

- PORTLAND CEMENT CONCRETE (PCC)
- 6" PERFORATED PVC PIPE (HOLES POINT DOWN)

CONSTRUCTION NOTES

- 29 CONSTRUCT CONCRETE SPILLWAY PER DETAILS ON SHEET 7
- 30 CONSTRUCT PIPE SCREEN PER DETAIL SHEET 7
- 31 CONSTRUCT 2.0' X 2.0' X 1/4" GALVANIZED STEEL PLATE PER DETAIL SHEET 7
- 32 CONSTRUCT 6" PERFORATED PVC PIPE PER DETAIL SHEET 7

0:\18190-0 The Village of Lakeshore\18190-Sheets\32267-Civil\Sheets\32267-Civil.dgn
15-JAN-2019 13:44
TM 32267-Civil\18190-Sheets\32267-Civil.dgn
TM 32267-Civil\18190-Sheets\32267-Civil.dgn
15-JAN-2019 13:44

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REVISIONS	APPRV	DATE

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CITY ENGINEER

SEAL: **PROFESSIONAL ENGINEER**
BARRY J. COWAN
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36 DISCOVERY - SUITE 240
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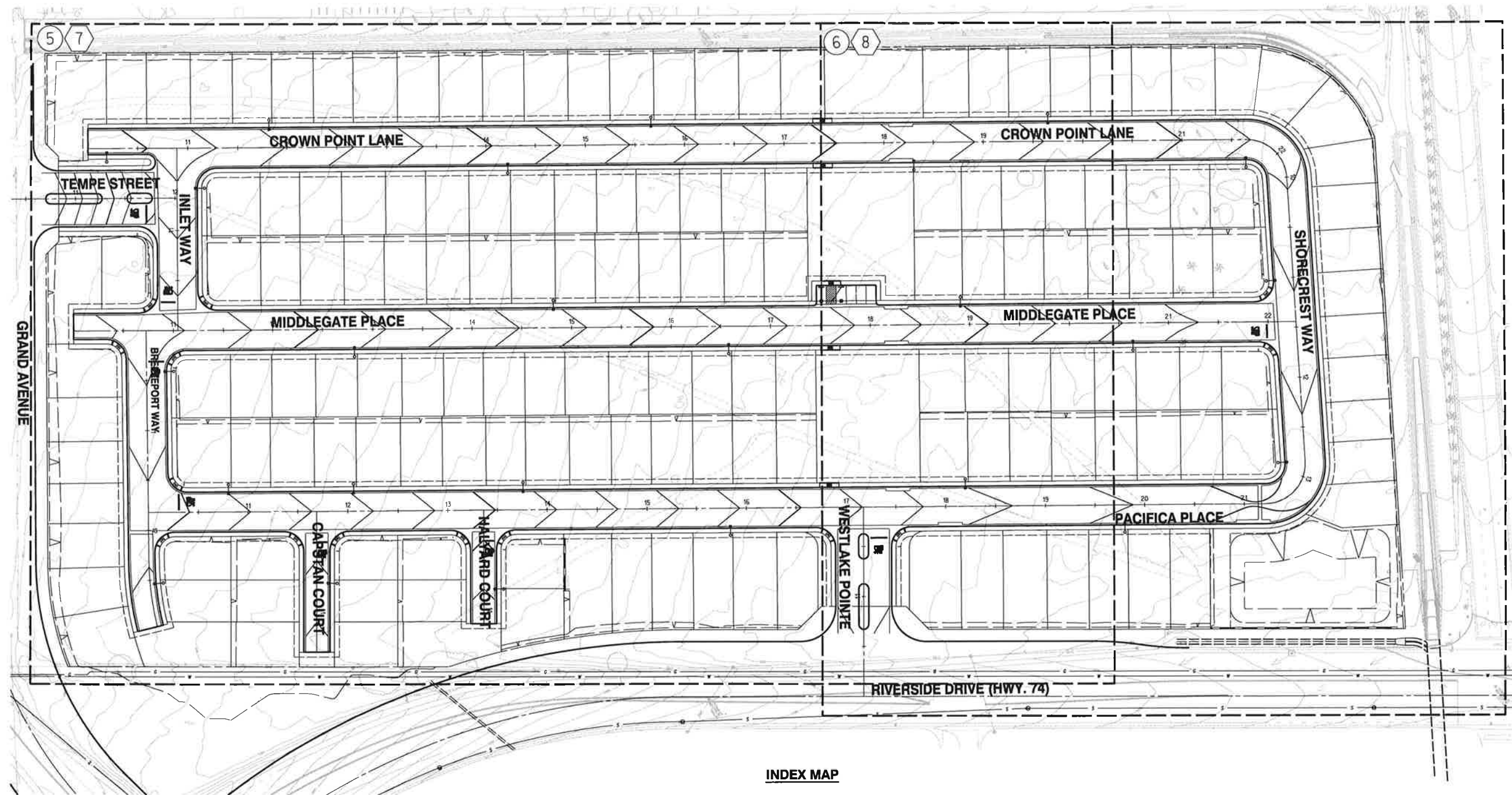
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SCALE: SHEET SPECIFIC
DATE:

CITY OF LAKE ELSINORE
STORM DRAIN PLANS FOR WESTLAKE - TM 32267
DETENTION BASIN DETAIL

PRELIMINARY
NOT FOR CONSTRUCTION

SHEET **7** OF **7**
SHEETS
FILE NO.

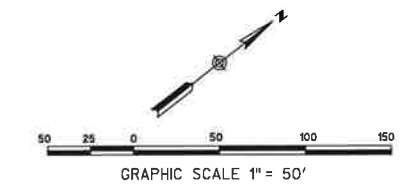
PLAN SET DATE: 01/27/2019
01/27/2019



INDEX MAP

INDEX MAP LEGEND

SHEET INDEX MAP



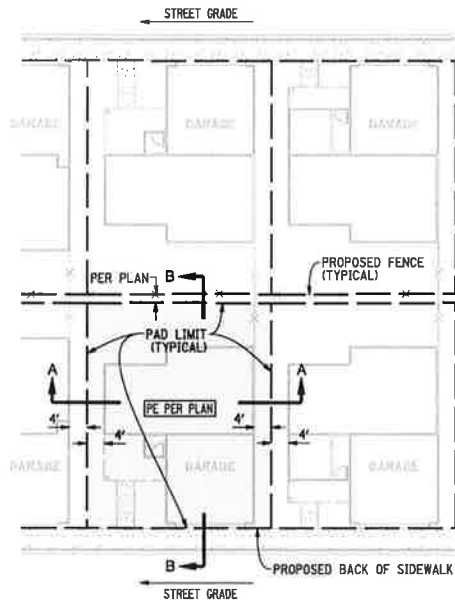
BENCH MARK:
CA DOT BM 13-B-93 LOCATION WESTERLY
CURB RIVERSIDE DRIVE OPPOSITE FIRE
HYDRANT AND 365 FEET NORTHERLY OF
JOY STREET.

REVISIONS		APPRV	DATE
DESIGNED BY:	DRAWN BY:	CHECKED BY:	

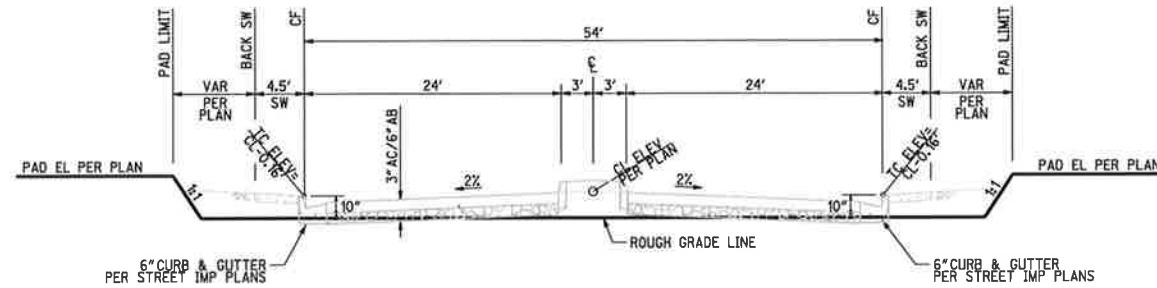
SEAL: 

CAUTION: LOCATION OF EXISTING UTILITIES ON THESE PLANS ARE APPROXIMATE AND SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.	
UNAUTHORIZED CHANGES:	
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SCALE: SHEET SPECIFIC	
DATE:	

INDEX MAP

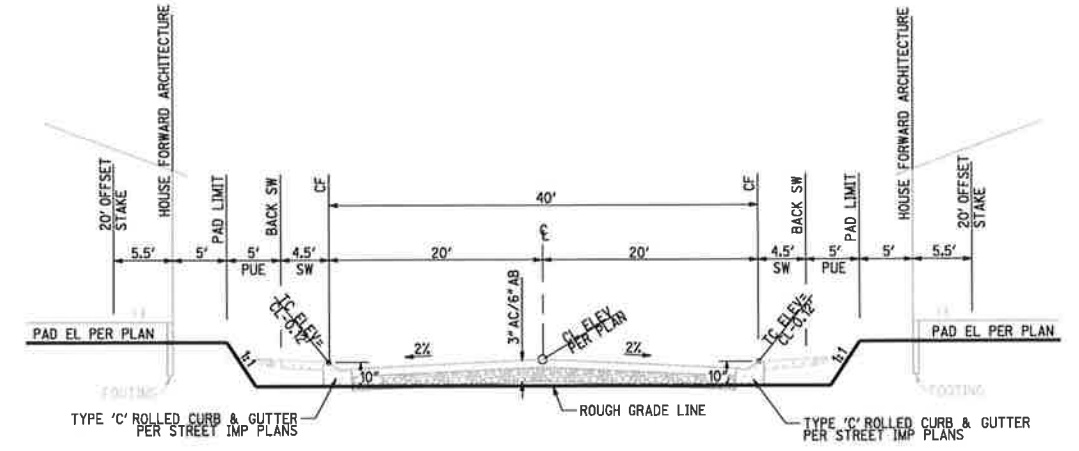


TYPICAL LOT GRADING



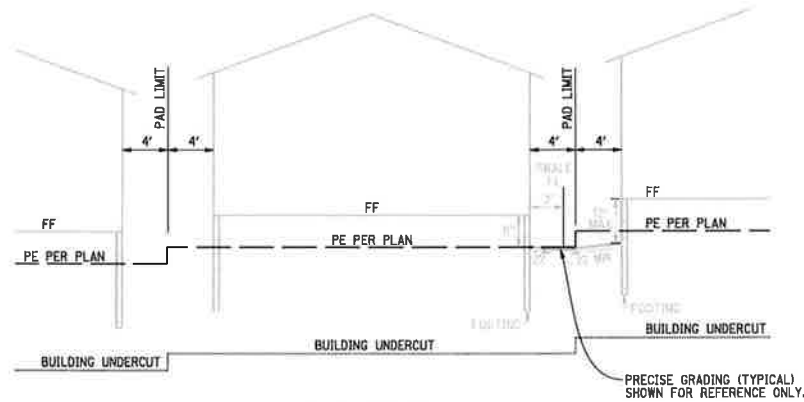
TYPICAL PRIVATE DRIVEWAY (54' CURB TO CURB)

NOTE: STREETS WILL BE PRIVATELY MAINTAINED.

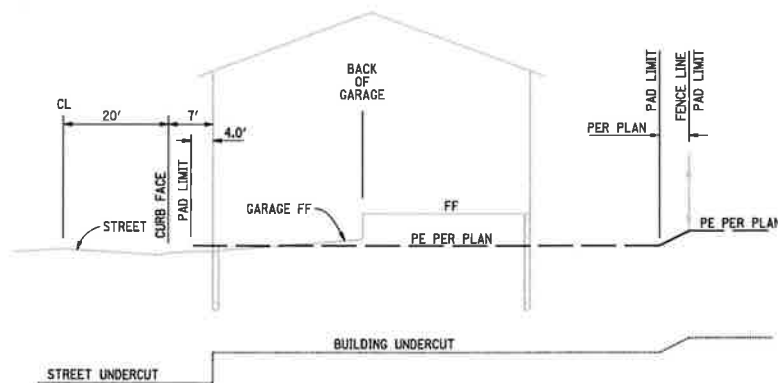


TYPICAL PRIVATE DRIVEWAY (40' CURB TO CURB)

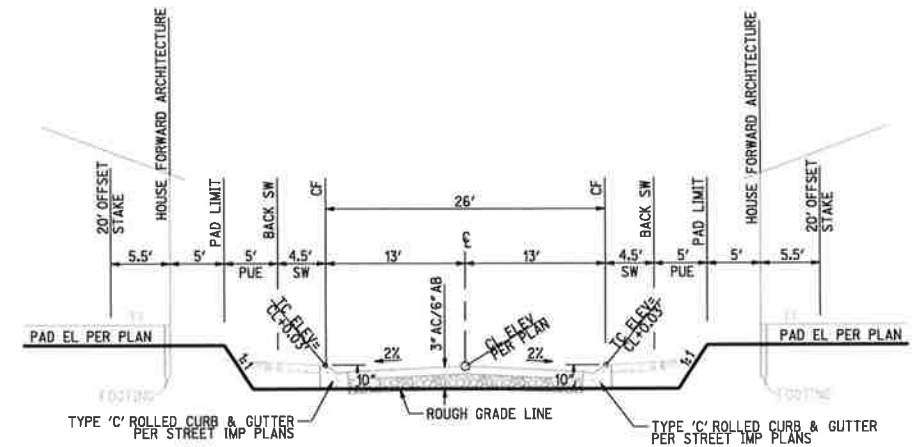
NOTE: STREETS WILL BE PRIVATELY MAINTAINED.



SECTION A-A



SECTION B-B



TYPICAL PRIVATE DRIVEWAY (26' CURB TO CURB)

NOTE: STREETS WILL BE PRIVATELY MAINTAINED.

BENCH MARK:

CA DOT BM 13-B-93 LOCATION WESTERLY CURB RIVERSIDE DRIVE OPPOSITE FIRE WDRANT AND 365 FEET NORTHERLY OF JOY STREET.

DIG ALERT



CALL BEFORE YOU DIG!

1-800-227-2600
UNDERGROUND SERVICE ALERT
Call at least 2 working days prior to excavating.

REVISIONS	APPRV	DATE
DESIGNED BY:	DRAWN BY:	CHECKED BY:

THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS, AND A PERMIT CAN BE ISSUED.

BRAD FAGRELL, RCE #43920
CITY ENGINEER

DATE

SEAL:



RICK
ENGINEERING COMPANY

36 DISCOVERY - SUITE 240
IRVINE, CA 92618
949-586-0707

J-18190

PREPARED UNDER THE DIRECTION OF:
BARRY J. COWAN, RCE #C46568

DATE

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SCALE: SHEET SPECIFIC
DATE:

CITY OF LAKE ELSINORE

ROUGH GRADING PLANS FOR WESTLAKE - TM 33267

ROUGH GRADING DETAILS

SHEET
3
OF
8
SHEETS
FILE NO.

ALL EROSION CONTROL PLANS SHALL BE IN ACCORDANCE WITH CITY OF LAKE
ELSNORE ORDINANCE NOS. 1237, 772, 529, 1004, CONSTRUCTION SITE
BEST MANAGEMENT PRACTICES (BMP'S) AND STANDARDS OUTLINED WITHIN THE LAKE
ELSNORE DESIGN MANUAL. NO GRADING PERMIT SHALL BE ISSUED WITHOUT
AN EROSION CONTROL PLAN APPROVED BY THE CITY ENGINEER. THE EROSION
CONTROL PLAN SHALL INCLUDE DETAILS OF PROTECTIVE MEASURES,
INCLUDING DESILTING BASINS OR OTHER TEMPORARY DRAINAGE OR CONTROL
MEASURES, OR BOTH, AS MAY BE NECESSARY TO PROTECT THE WATER QUALITY
OF RECEIVING WATER BODIES OR TO PROTECT ADJOINING PUBLIC AND PRIVATE
PROPERTY FROM DAMAGE FROM EROSION, FLOODING OR THE DEPOSITION OF MUD
OR DEBRIS WHICH MAY ORIGINATE FROM THE SITE OR RESULT FROM SUCH
GRADING OPERATIONS.

- A) DESILTING BASIN VOLUME BASED ON GRADIENT AND NATURE OF SOILS.
- B) THE EXTENT OF ALL GRADED AREAS AND IDENTIFICATION OF ANY TEMPORARY SOIL STABILIZATION MEASURES.
- C) SIZE OF DESILTING BASIN OUTLET PIPE AND OVERFLOW.
- D) DIKE REQUIREMENTS. SHOW MINIMUM WALL WIDTH, SLOPE OF WALLS, PERCENT COMPACTION, ETC.
- E) OUTLET CONDITIONS FROM THE DESILTING BASIN SHALL NOT EXCEED DOWNSTREAM LIMITATIONS, WITH THE EXCEPTION OF OVERFLOW, WHICH IS TO BE DESIGNED TO PROVIDE CAPACITY OF 1.5 TIMES THE MAXIMUM DESIGN FLOW.

- BENCH MARK:**
CA DOT BM 13-B-93 LOCATION WESTERLY
CURB RIVERSIDE DRIVE OPPOSITE FIRE
HYDRANT AND 365 FEET NORTHERLY OF
JOY STREET.

1-800-227-2600
UNDERGROUND SERVICE ALERT
Call at least 2 working days prior to excavating.

1. THE DEVELOPER AND HIS CONTRACTOR ARE RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF THE SWPPP-APPROVED, PRE-QUALIFIED BMP'S FROM THE CALIFORNIA STORM WATER QUALITY ASSOCIATION (CASQA) HANDBOOK / WEBSITE FOR CONSTRUCTION TO RETAIN SEDIMENTS FROM AREAS DISTURBED ONSITE TO THE MAXIMUM EXTENT PRACTICABLE. THE EROSION CONTROL MEASURES INCLUDE THOSE SHOWN ON THIS PLAN AND APPLICABLE SWPPP AS WELL AS ANY ADDITIONAL EROSION CONTROL MEASURES (E.G., HYDROSEEDING, MULCHING OF STRAW, GRAVEL-BAGGING, DIVERSION DITCHES, RETENTION BASINS, ETC.) DICTATED BY FIELD CONDITIONS TO PREVENT EROSION AND/OR THE INTRODUCTION OF DIRT, MUD OR DEBRIS INTO EXISTING PUBLIC STREETS AND/OR ONTO ADJACENT PROPERTIES DURING ANY PHASE OF CONSTRUCTION OPERATIONS.
2. STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE KEPT ON-SITE AND MADE AVAILABLE UPON REQUEST OF A REPRESENTATIVE OF THE REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) - SANTA ANA REGION AND/OR THE CITY OF LAKE ELSINORE.

12. STORM WATER RUNOFF SHALL NOT BE DIRECTED OVER ANY SLOPES WITHOUT PERMANENT DOWN DRAINS INSTALLED. EROSION AND SEDIMENT CONTROLS INCLUDING MAINTENANCE ARE REQUIRED ON ALL EXPOSED SLOPES UNTIL SUFFICIENT PERMANENT LANDSCAPING HAS BEEN ESTABLISHED. 100% SLOPE PROTECTION MUST BE IN PLACE PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.
13. VEGETATION CLEARING AND BRUSHING ACTIVITIES SHALL NOT BE INITIATED DURING THE WET SEASON ON ANY SITES WHICH ARE NOT ADEQUATELY PROTECTED WITH DESILTING BASINS OR OTHER TEMPORARY DRAINAGE OR CONTROL MEASURES.
14. STOCKPILES OF SOIL SHALL BE PROPERLY SECURED WITH BMP'S TO ELIMINATE OR REDUCE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND. STOCKPILES INACTIVE FOR A PERIOD OF 14 DAYS OR MORE SHALL BE COVERED; ACTIVE STOCKPILES SHALL BE COVERED PRIOR TO A FORECASTED RAIN.

15. SPECIAL ATTENTION SHALL BE GIVEN TO PREPARATION AND INSTALLATION OF THE RAIN EVENT ACTION PLAN (REAP) AS REQUIRED BASED ON SITE RISK LEVEL OR AS MANDATED BY THE SANTA ANA REGIONAL BOARD NPDES PERMIT, GENERAL PERMIT - CONSTRUCTION ACTIVITIES.
16. AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED OF IN TRASH OR RECYCLE BINS.

-

12" THICK - 3" TO 6" COARSE AGGREGATE

FILTER FABRIC

NATIVE

The diagram illustrates a cross-section of a filter fabric assembly. It consists of two corrugated steel panels, one on top and one on the bottom, which are joined together. A filter fabric is placed between the two panels. Below the filter fabric is a layer of native soil, and below that is a layer of coarse aggregate. The aggregate is 12 inches thick and has a size range of 3/8 inch to 6 inches. The filter fabric is labeled as 'NATIVE' and '12" THICK ~ 3" TO 6" COARSE AGGREGATE'.

1% MIN

DIVERSION RIDGE WHERE GRADE EXCEEDS 2%

PER TC-1 Type 2 (TR-1)
(www.cabmphandbooks.com) CASQA

NO SCALE

PREPARED UNDER THE DIRECTION OF:
BARRY J. COWAN, RCE *C4656B

ED UNDER THE DIRECTION OF:
J. COWAN, RCE *C46568

NOTE: TOP ELEVATIONS OF GRAVELBAGS
SHALL BE EQUAL TO ADJACENT
TOP OF CURB ELEVATION

The diagram shows a circular structure composed of small segments. Inside the circle, there are two concentric squares. A horizontal line from the center to the left edge of the circle is labeled "3' RADIUS". A diagonal line from the center to the top-right corner of the outer square is labeled "3' RADIUS". Another diagonal line from the center to the bottom-right corner of the outer square is also labeled "3' RADIUS". To the right of the circle, there are two vertical arrows pointing upwards, each labeled "D".

NO SCALE

SUBDIVISION BOUNDARY	
TACKIFIER	
SILT FENCE	
GRAVEL BAGS	
STABILIZED CONSTRUCTION ENTRANCE/EXIT	

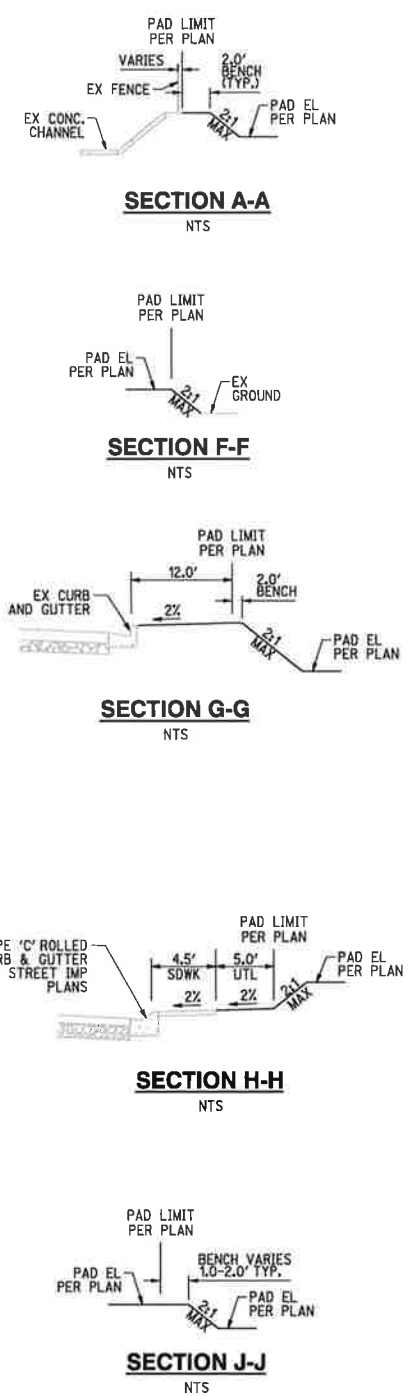
NO SCALE

STREET GRADE	INTERVAL
Less Than 2%	200'
2% to 4%	75'
4% to 6%	40'
6% to 8%	25'
8% to 10%	25'

PRELIMINARY
NOT FOR CONSTRUCTION

**ROUGH GRADING PLANS FOR
WESTLAKE - TM 33267**

SHEET
4
OF
8
SHEETS



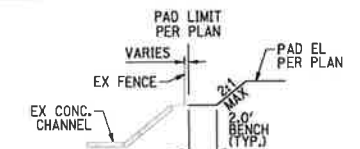
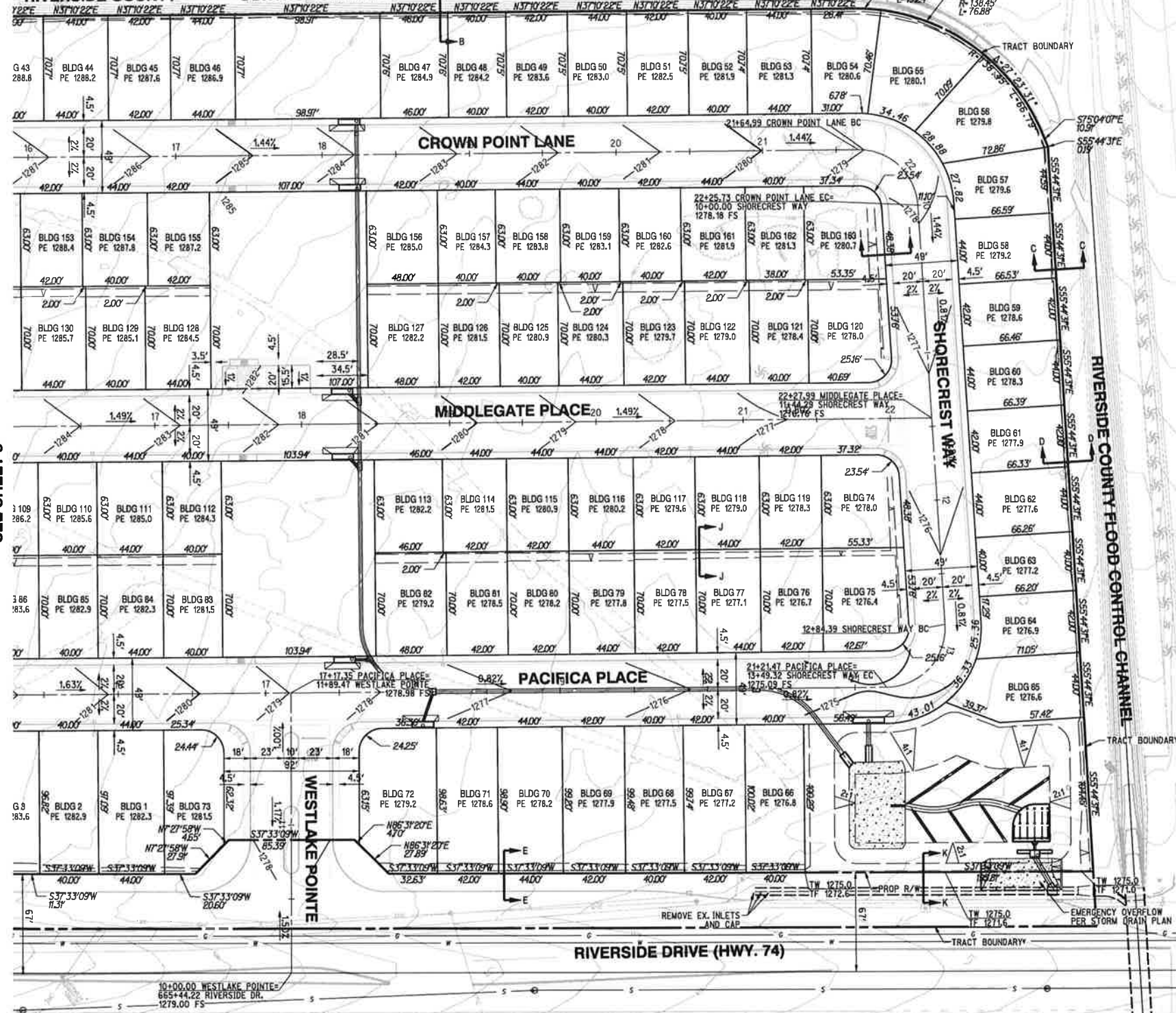
PRELIMINARY
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ROUGH GRADING

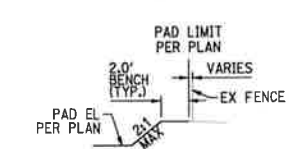
© 2018 B&B Engineering, Company PLAN SET DATE: 12/20/2018

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01/18190-0 The Village at Lakeshore 5%	TM 33267ACIV\1\Sheets_RoughGrading\ORN CorpsStd 2005.dwg
15-JAN-2019 13:42	

RIVERSIDE COUNTY FLOOD CONTROL CHANNEL



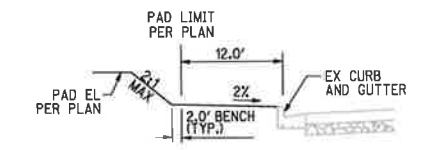
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NTS



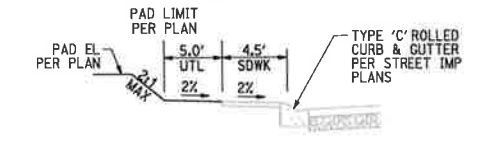
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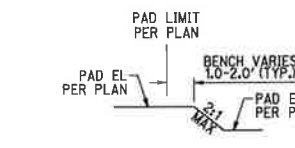
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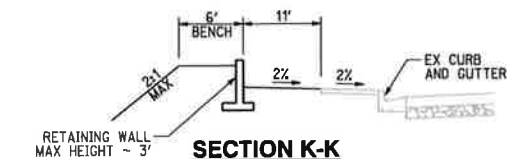
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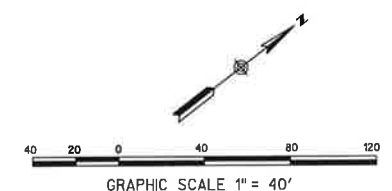
SECTION I-I
NTS



SECTION J-J
NTS



SECTION K-K
NTS



PRELIMINARY
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REVISIONS	APPROV	DATE

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BRAD FAGRELL, RCE #43920
CITY ENGINEER

DATE

SEAL: PROFESSIONAL ENGINEER

BARRY J. COWAN
No. 46568
CIVIL
STATE OF CALIFORNIA

RICK
ENGINEERING COMPANY

36 DISCOVERY - SUITE 240
IRVINE, CA 92618
949-588-0707

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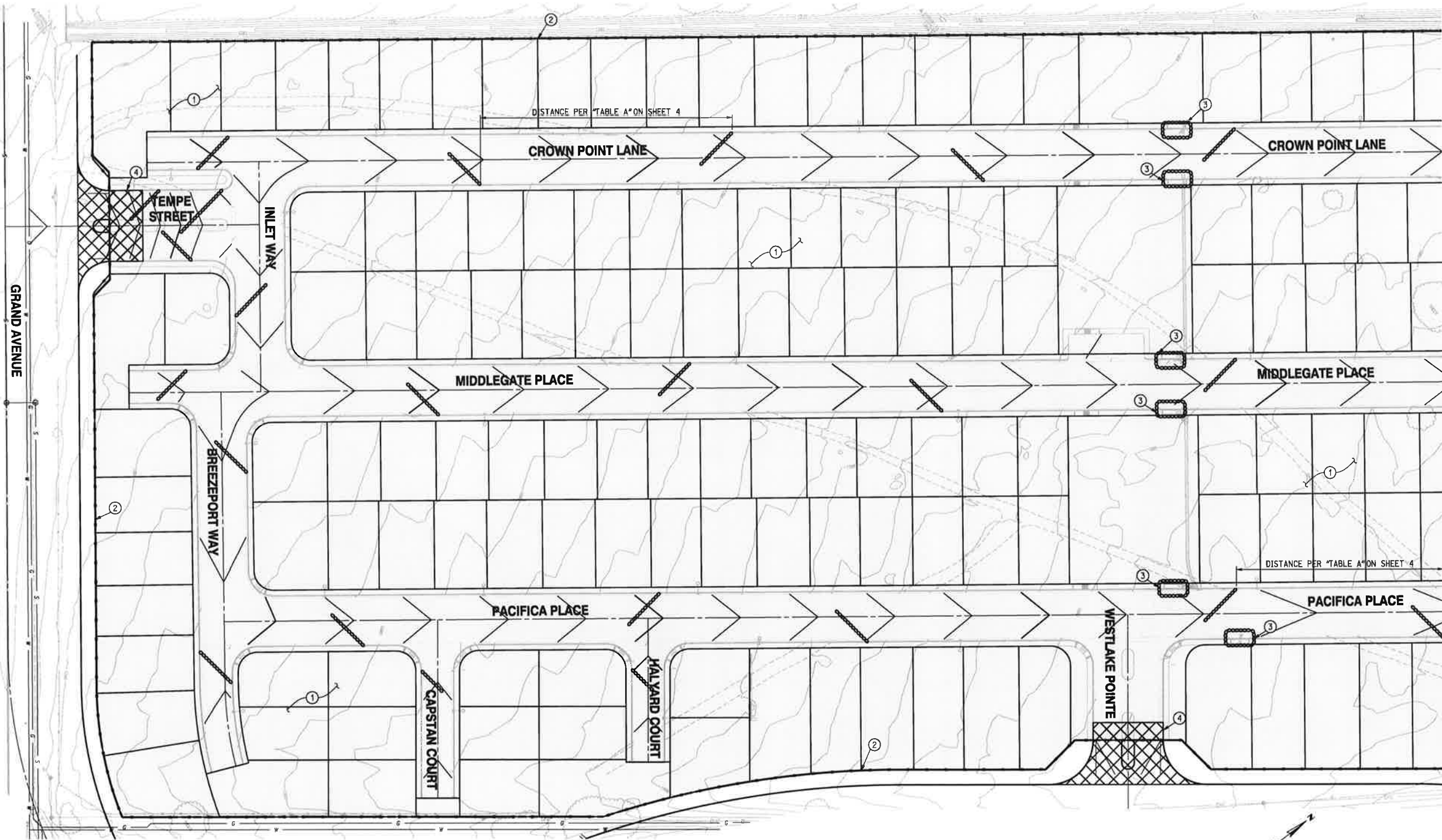
CITY OF LAKE ELSINORE

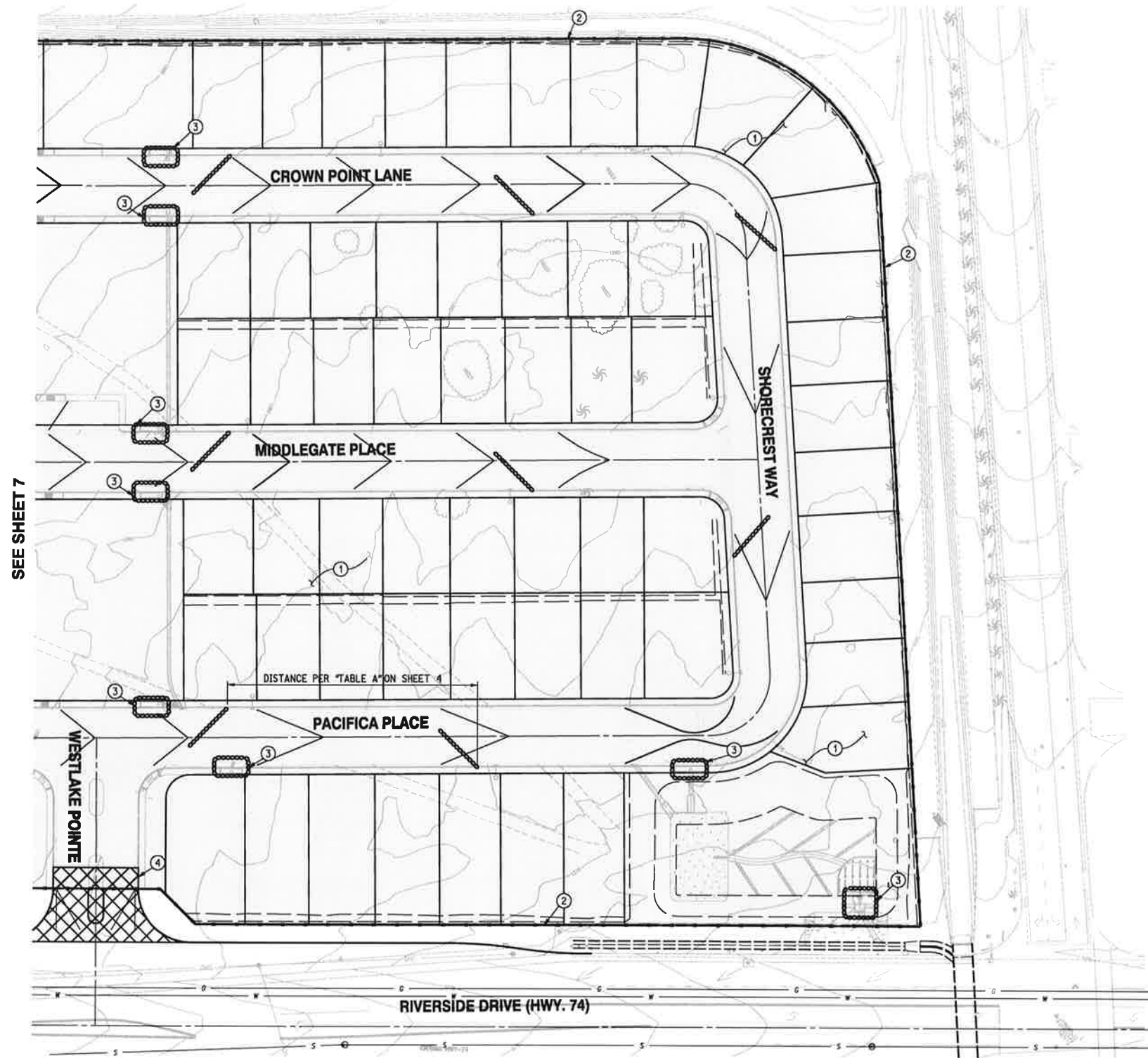
**ROUGH GRADING PLANS FOR
WESTLAKE - TM 33267**

ROUGH GRADING

SHEET
6
OF
8
SHEETS
FILE NO.

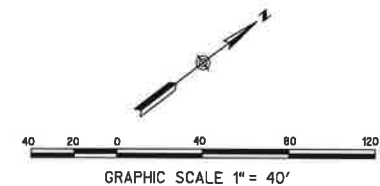
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15 JAN 2013 13:42
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CONSTRUCTION NOTES

- ① TACKIFIER
- ② SILT FENCE PER DETAIL ON SHEET 4
- ③ GRAVEL BAGS PER DETAIL ON SHEET 4
- ④ STABILIZED CONSTRUCTION ENTRANCE/EXIT PER DETAIL ON SHEET 4



PRELIMINARY
NOT FOR CONSTRUCTION

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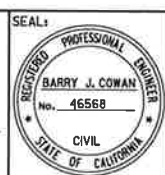
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CITY ENGINEER

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RICK
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36 DISCOVERY - SUITE 240
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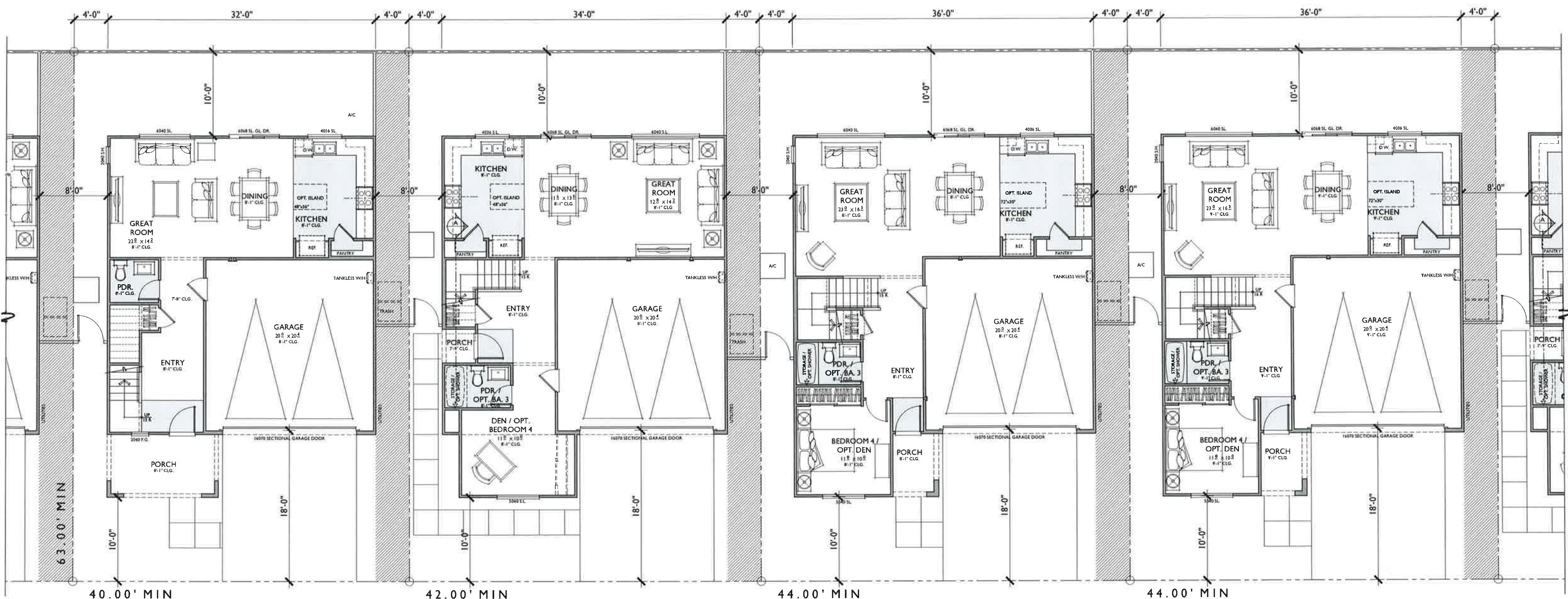
SCALE: SHEET SPECIFIC
DATE:

CITY OF LAKE ELSINORE

**ROUGH GRADING PLANS FOR
WESTLAKE - TM 33267**

EROSION CONTROL

SHEET
8
OF
8
SHEETS
FILE NO.



FIRST FLOOR

HATCH INDICATES RECIPROCAL USE EASEMENT

PLAN 1
1,793 SQ. FT.
TARGET: 1,789 SQ. FT.
3 BEDROOMS / 2.5 BATHS
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	714 SQ. FT.
2ND FLOOR	1,079 SQ. FT.
TOTAL LIVING	1793 SQ. FT.
2 - CAR GARAGE	422 SQ. FT.
PORCH	99 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

PLAN 2
2,021 SQ. FT.
TARGET: 2,000 SQ. FT.
3 BEDROOMS / 2.5 BATHS + LOFT + DEN / OPT.
BEDROOM 4 AND BATH 3
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	869 SQ. FT.
2ND FLOOR	1,152 SQ. FT.
TOTAL LIVING	2021 SQ. FT.
2 - CAR GARAGE	421 SQ. FT.
PORCH	16 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

PLAN 3
2,267 SQ. FT.
TARGET: 2,203 SQ. FT.
4 BEDROOMS / 2.5 BATHS + LOFT / OPT.
BEDROOM 5 + OPT. DEN
2 - CAR GARAGE

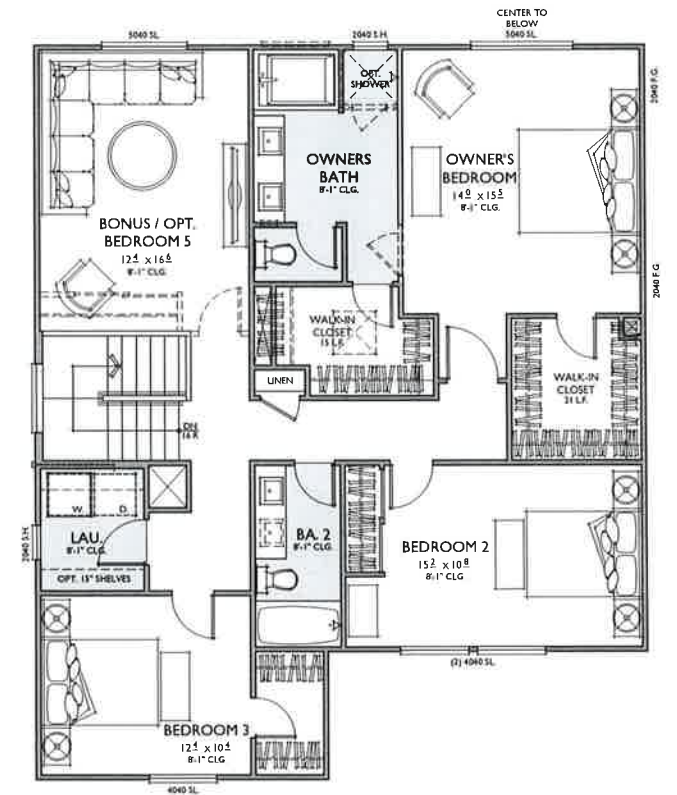
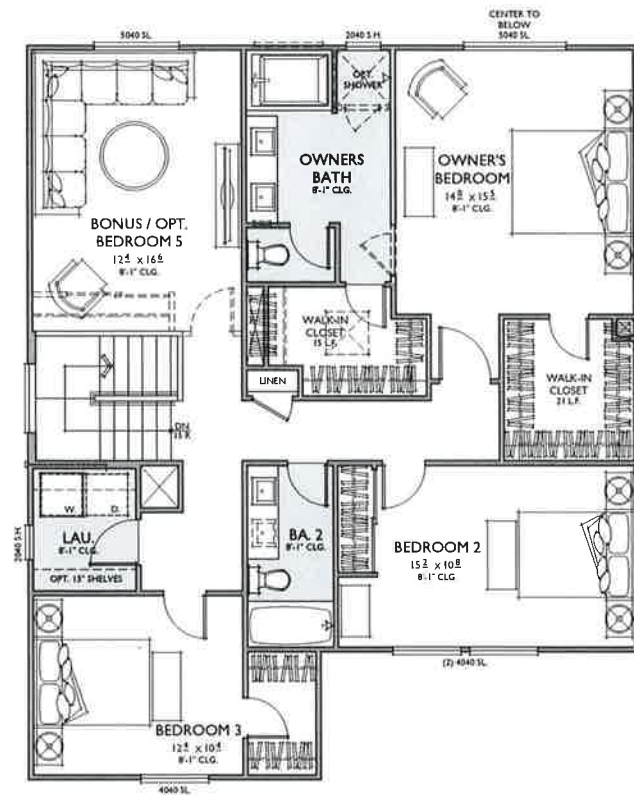
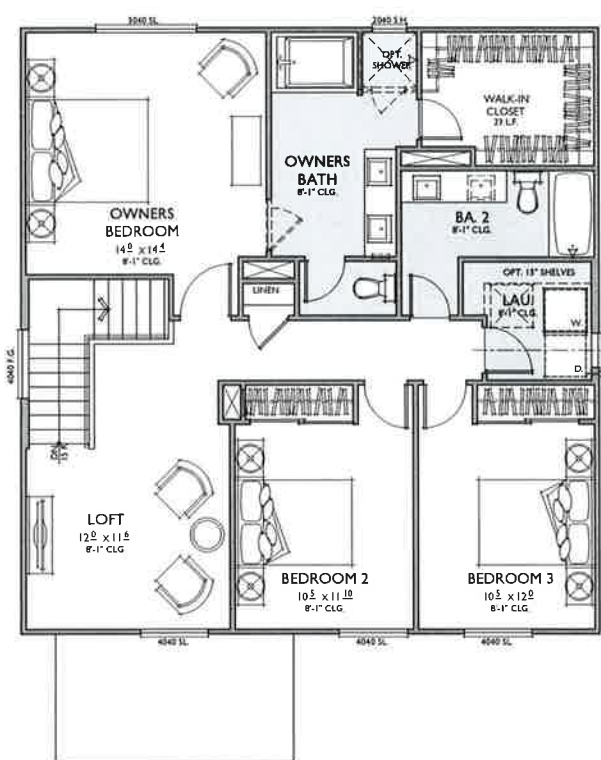
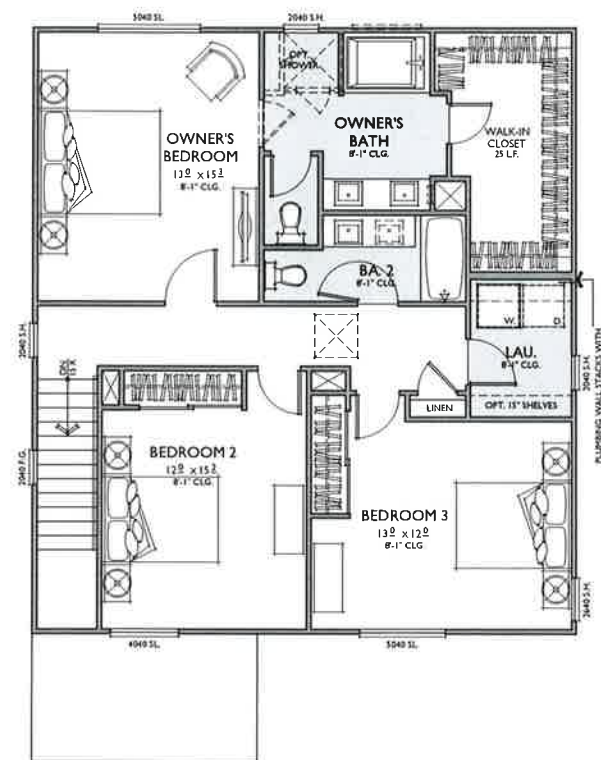
FLOOR AREA TABLE	
1ST FLOOR	944 SQ. FT.
2ND FLOOR	1,344 SQ. FT.
TOTAL LIVING	2267 SQ. FT.
2 - CAR GARAGE	422 SQ. FT.
PORCH	41 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

PLAN 4
2,267 SQ. FT.
TARGET: 2,203 SQ. FT.
4 BEDROOMS / 2.5 BATHS + LOFT / OPT.
BEDROOM 5 + OPT. DEN
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	944 SQ. FT.
2ND FLOOR	1,344 SQ. FT.
TOTAL LIVING	2267 SQ. FT.
2 - CAR GARAGE	422 SQ. FT.
PORCH	41 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION



SECOND FLOOR

PLAN I

1,793 SQ. FT.

TARGET: 1,789 SQ. FT.
3 BEDROOMS / 2.5 BATHS
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	714 SQ. FT.
2ND FLOOR	1,079 SQ. FT.
TOTAL LIVING	1793 SQ. FT.
2 - CAR GARAGE	422 SQ. FT.
PORCH	99 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

PLAN 2

2,021 SQ. FT.

TARGET: 2,000 SQ. FT.
3 BEDROOMS / 2.5 BATHS + LOFT + DEN / OPT.
BEDROOM 4 AND BATH 3
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	869 SQ. FT.
2ND FLOOR	1,152 SQ. FT.
TOTAL LIVING	2021 SQ. FT.
2 - CAR GARAGE	421 SQ. FT.
PORCH	16 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

PLAN 3

2,267 SQ. FT.

TARGET: 2,203 SQ. FT.
4 BEDROOMS / 2.5 BATHS + LOFT / OPT.
BEDROOM 5 + OPT. DEN
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	944 SQ. FT.
2ND FLOOR	1,344 SQ. FT.
TOTAL LIVING	2267 SQ. FT.
2 - CAR GARAGE	422 SQ. FT.
PORCH	41 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

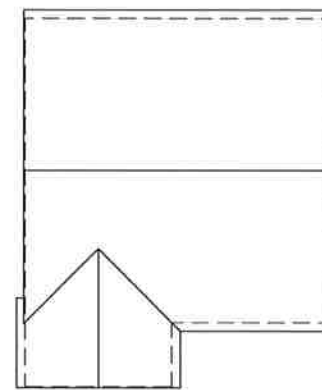
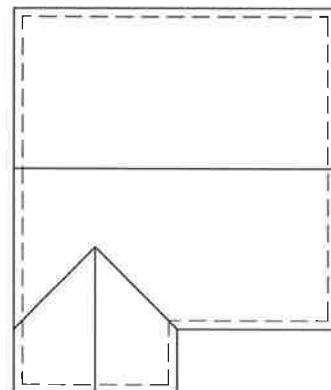
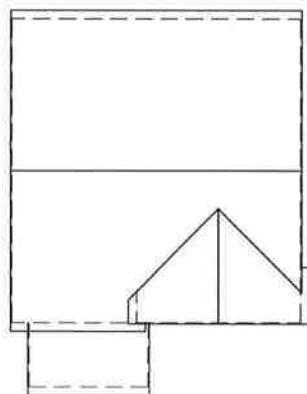
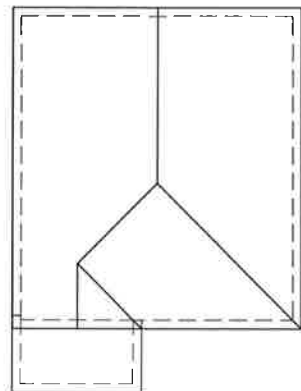
PLAN 4

2,267 SQ. FT.

TARGET: 2,203 SQ. FT.
4 BEDROOMS / 2.5 BATHS + LOFT / OPT.
BEDROOM 5 + OPT. DEN
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	944 SQ. FT.
2ND FLOOR	1,344 SQ. FT.
TOTAL LIVING	2267 SQ. FT.
2 - CAR GARAGE	422 SQ. FT.
PORCH	41 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

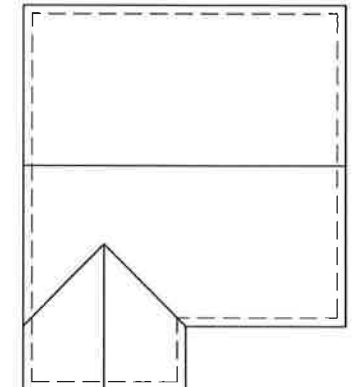
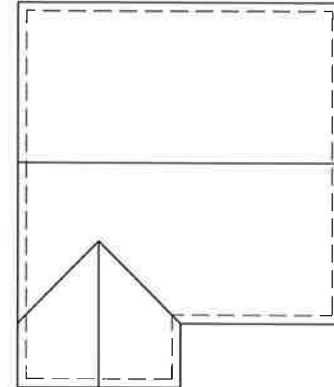
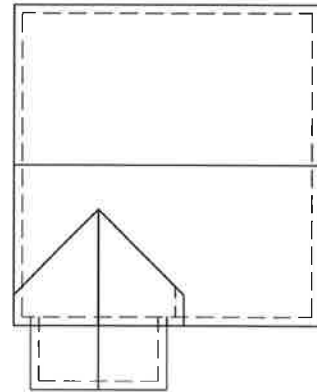
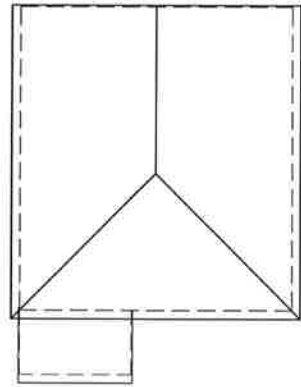


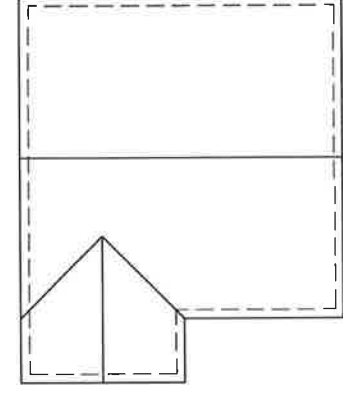
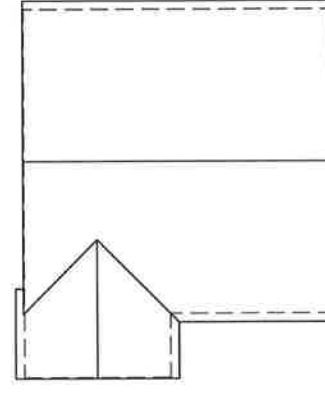
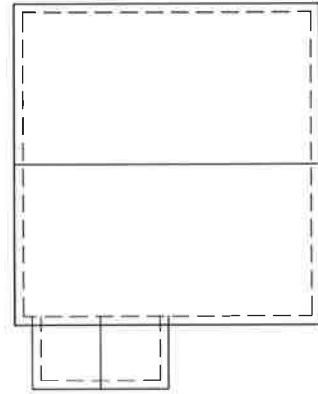
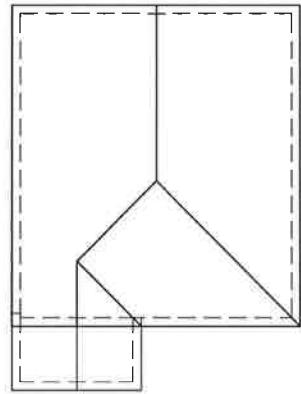
CONCEPTUAL STREET SCENE

WESTLAKE TRACT 33267

Lake Elsinore, Ca

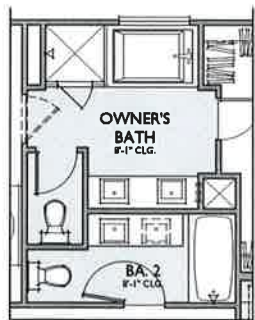
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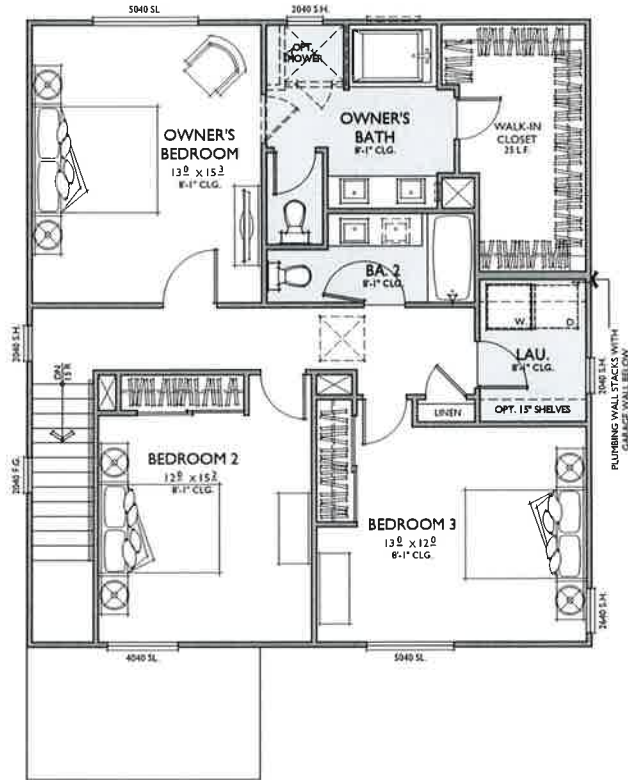




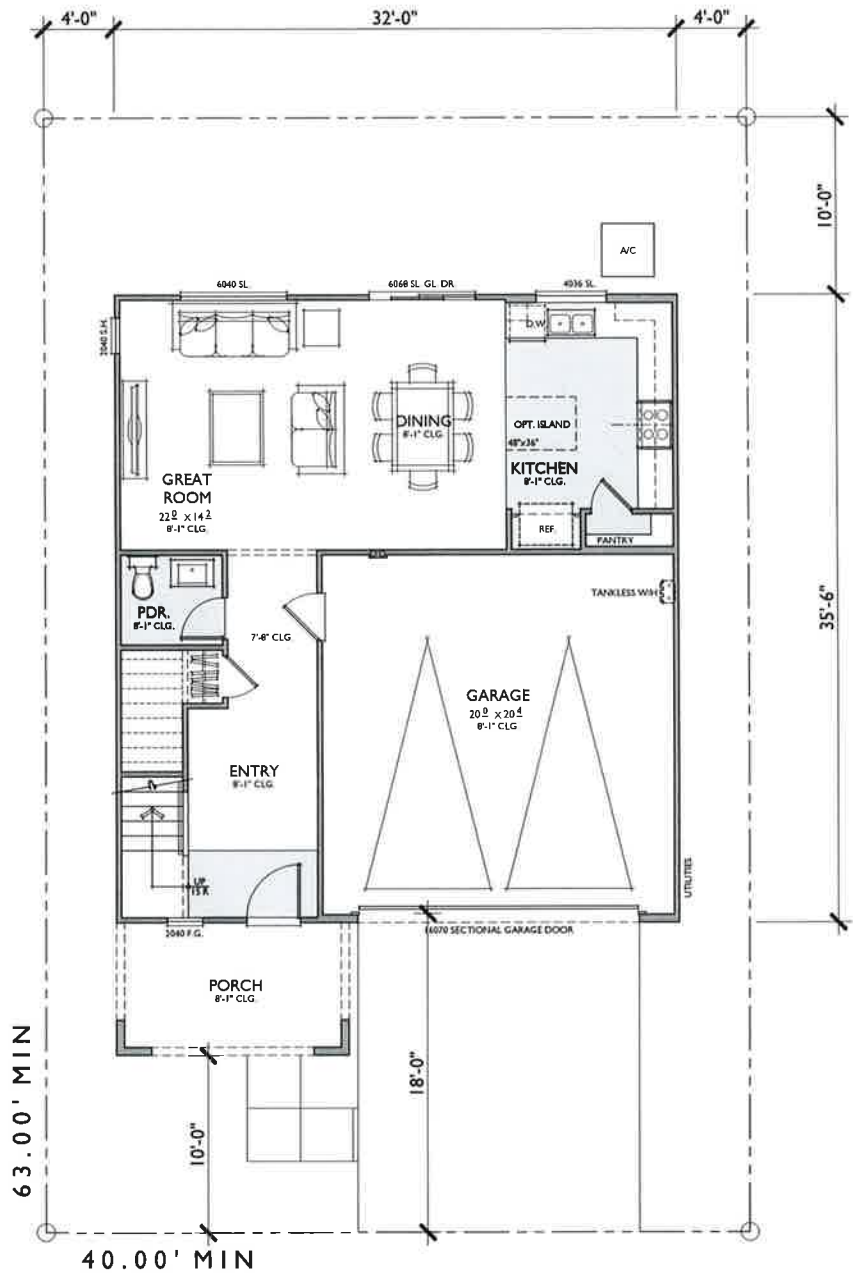




OPT. SHOWER
AT OWNER'S BATH



SECOND FLOOR



FIRST FLOOR

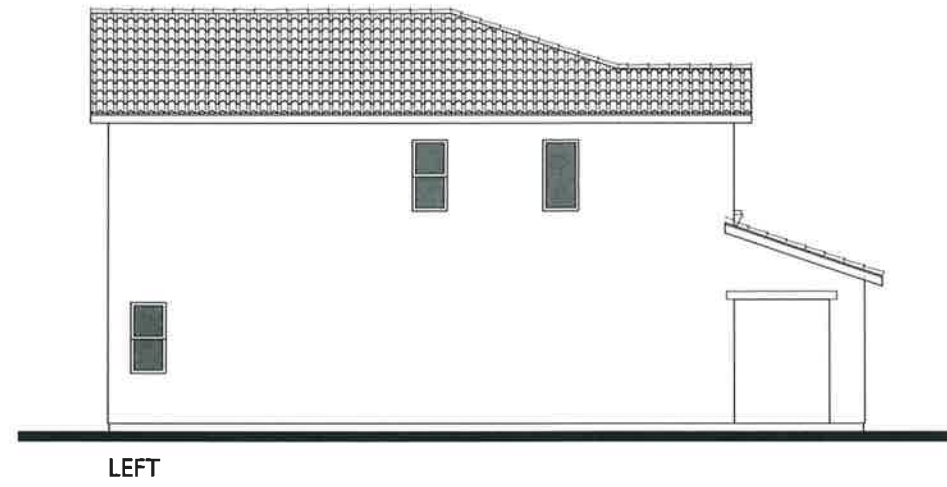
PLAN I
1,793 SQ. FT.
TARGET: 1,789 SQ. FT.
3 BEDROOMS / 2.5 BATHS
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	714 SQ. FT.
2ND FLOOR	1,079 SQ. FT.
TOTAL LIVING	1793 SQ. FT.
2 - CAR GARAGE	422 SQ. FT.
PORCH	99 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

WINDOW SCHEDULE	
2040 S.H.	4
2040 F.G.	2
2640 F.G.	1
4036 SL.	1
4040 SL.	1
5040 SL.	2
6040 SL.	1
TOTAL	13

LINEAR FEET OF KITCHEN CABS	
BASE CABINETS	17'-2"
UPPER CABINETS	14'-4"



LEFT

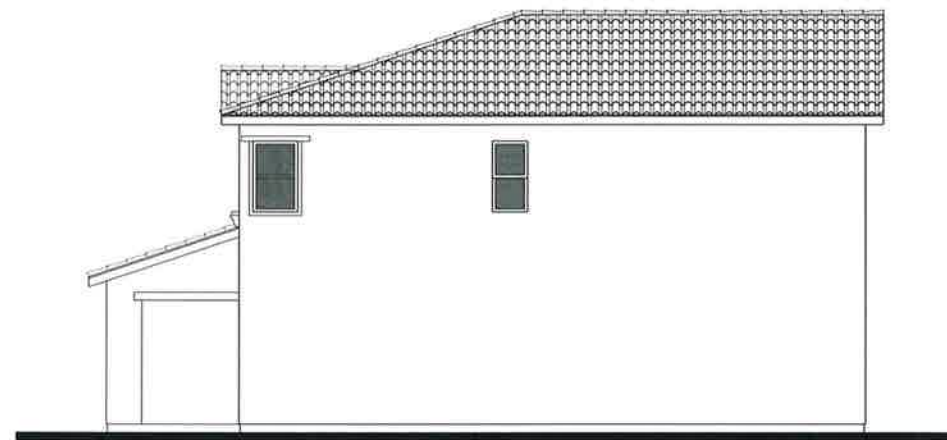


FRONT

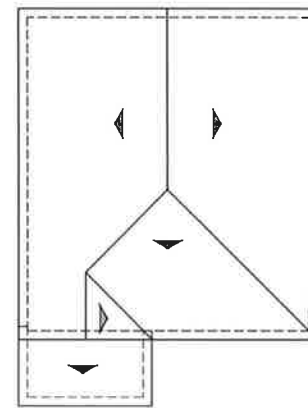
NOTE: OPTIONAL COACH LIGHT SHOWN

A - SPANISH COLONIAL

1/4" = 1'-0"



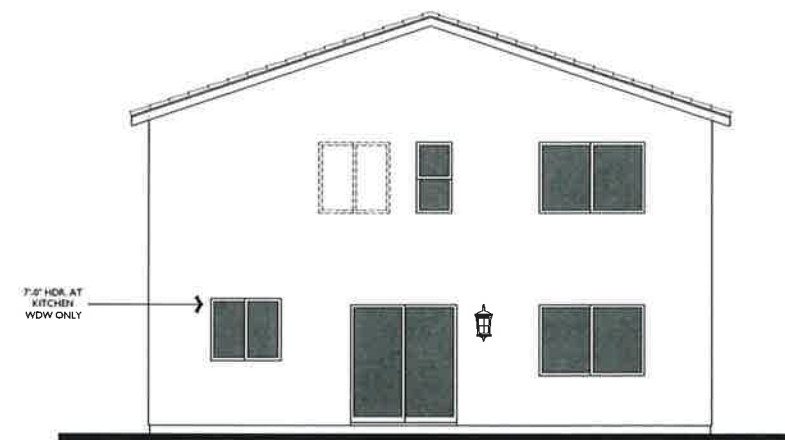
RIGHT



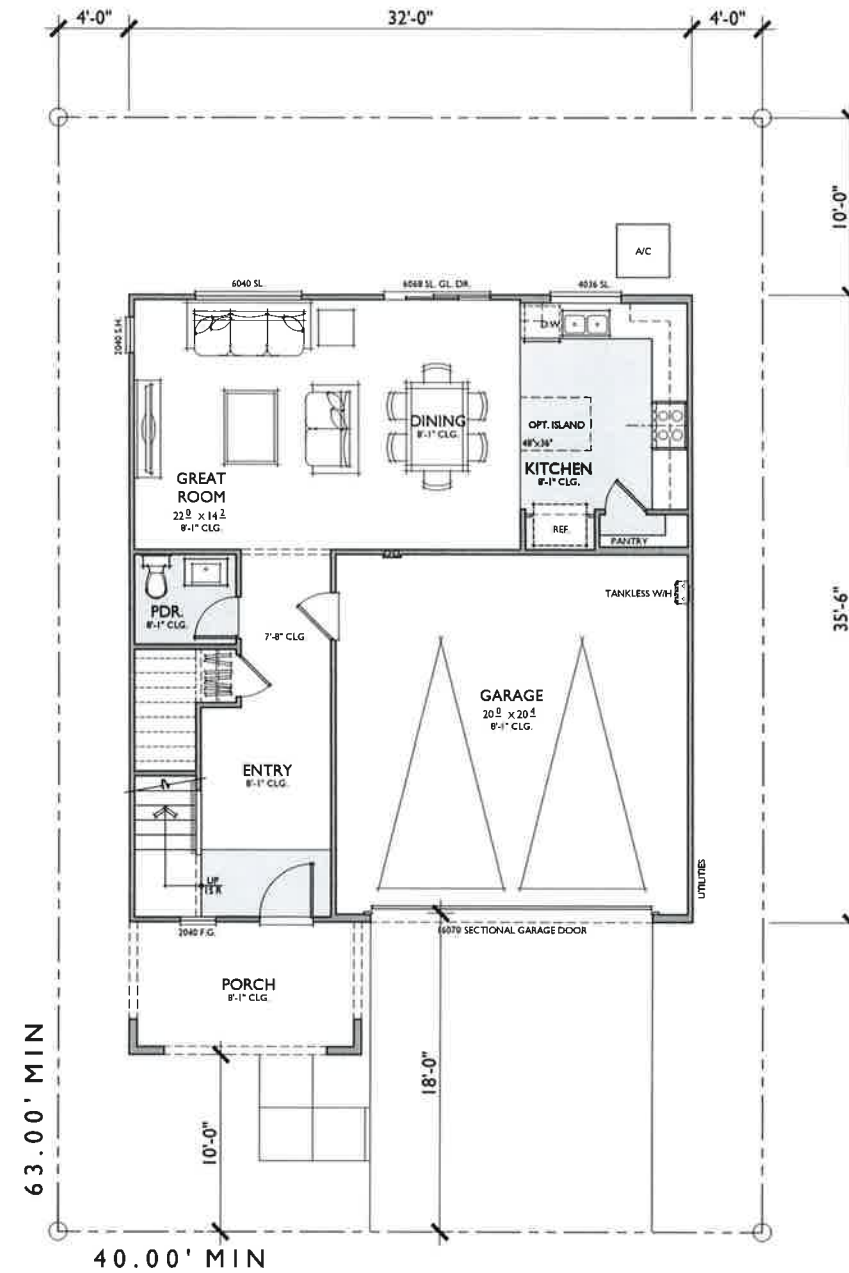
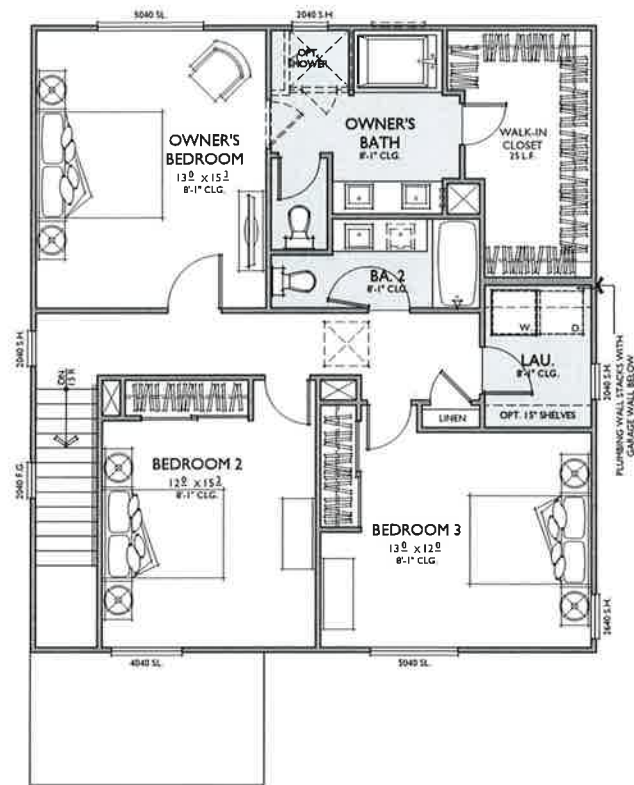
ROOF PLAN

A

PITCH: 4:12
RAKE: 12"
EAVE: 12"
ROOF MATERIAL: CONCRETE 'S' TILE



REAR



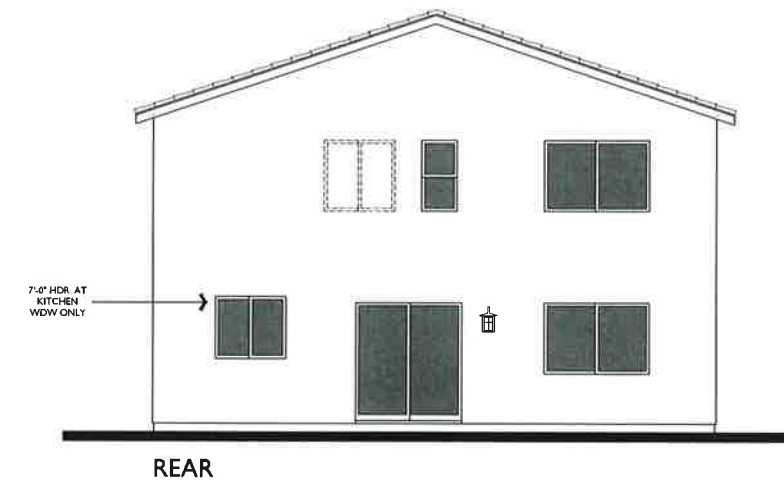
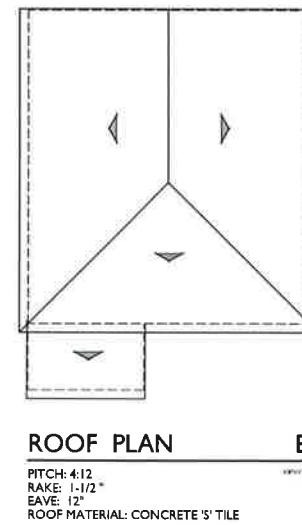
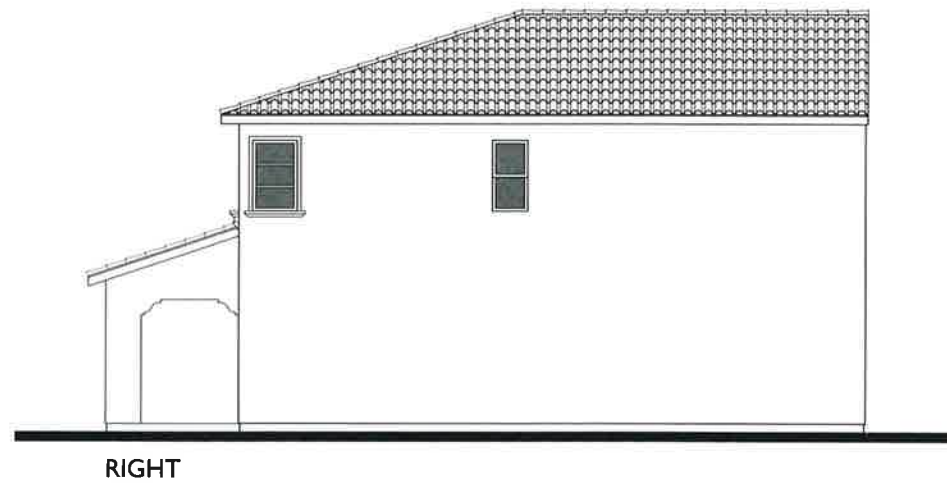
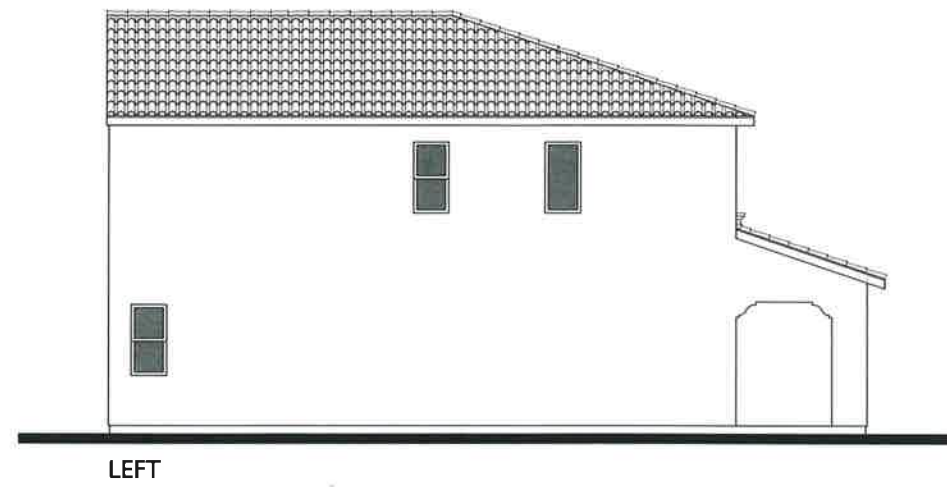
PLAN I
1,793 SQ. FT.
 TARGET: 1,789 SQ. FT.
 3 BEDROOMS / 2.5 BATHS
 2 - CAR GARAGE

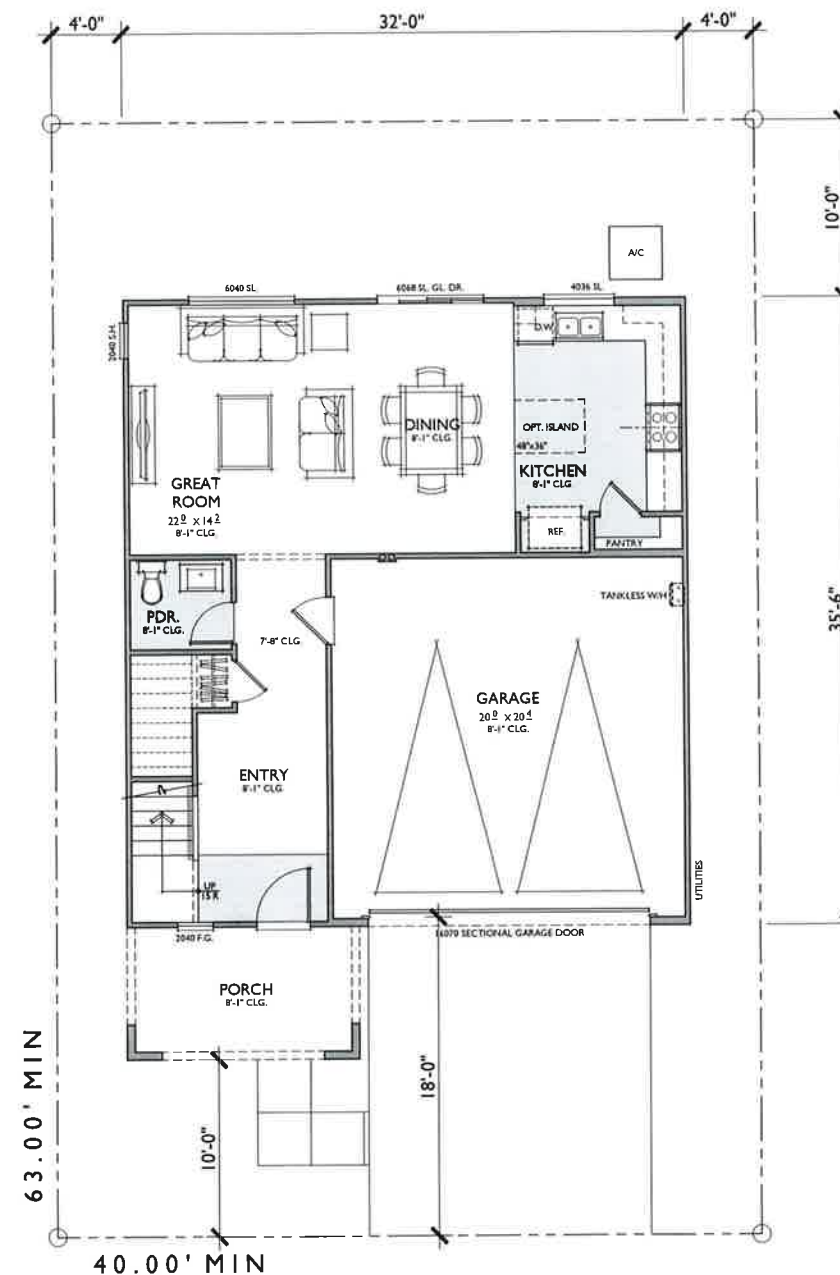
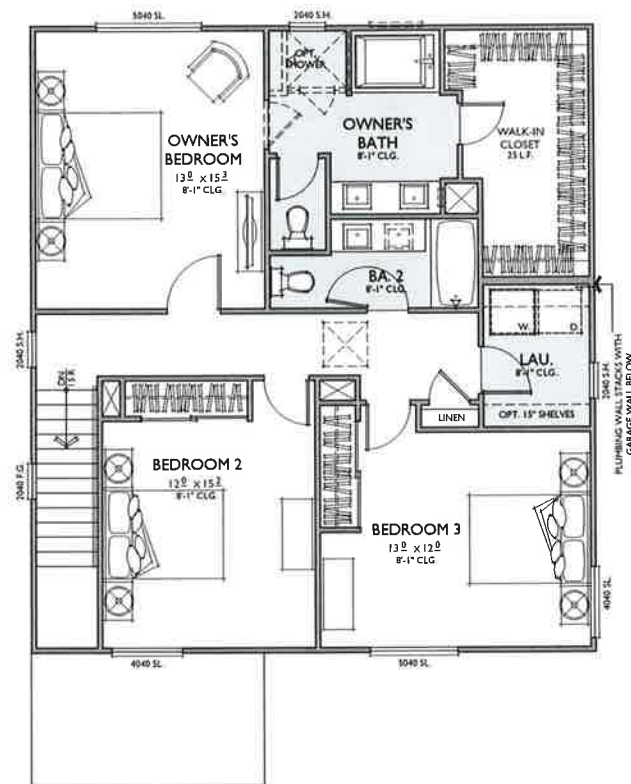
FLOOR AREA TABLE	
1ST FLOOR	714 SQ. FT.
2ND FLOOR	1,079 SQ. FT.
TOTAL LIVING	1793 SQ. FT.
2 - CAR GARAGE	422 SQ. FT.
PORCH	99 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

WINDOW SCHEDULE	
2040 S.H.	4
2040 F.G.	2
2640 F.G.	1
4036 SL.	1
4040 SL.	1
5040 SL.	2
6040 SL.	1
TOTAL	13

LINEAR FEET OF KITCHEN CABS	
BASE CABINETS	17'-2"
UPPER CABINETS	14'-4"





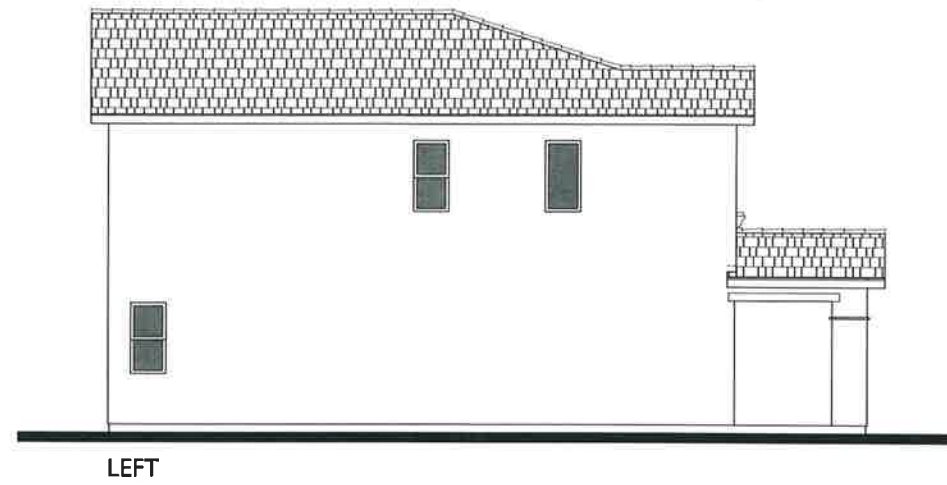
PLAN I
1,793 SQ. FT.
 TARGET: 1,789 SQ. FT.
 3 BEDROOMS / 2.5 BATHS
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	714 SQ. FT.
2ND FLOOR	1,079 SQ. FT.
TOTAL LIVING	1793 SQ. FT.
2 - CAR GARAGE	422 SQ. FT.
PORCH	99 SQ. FT.

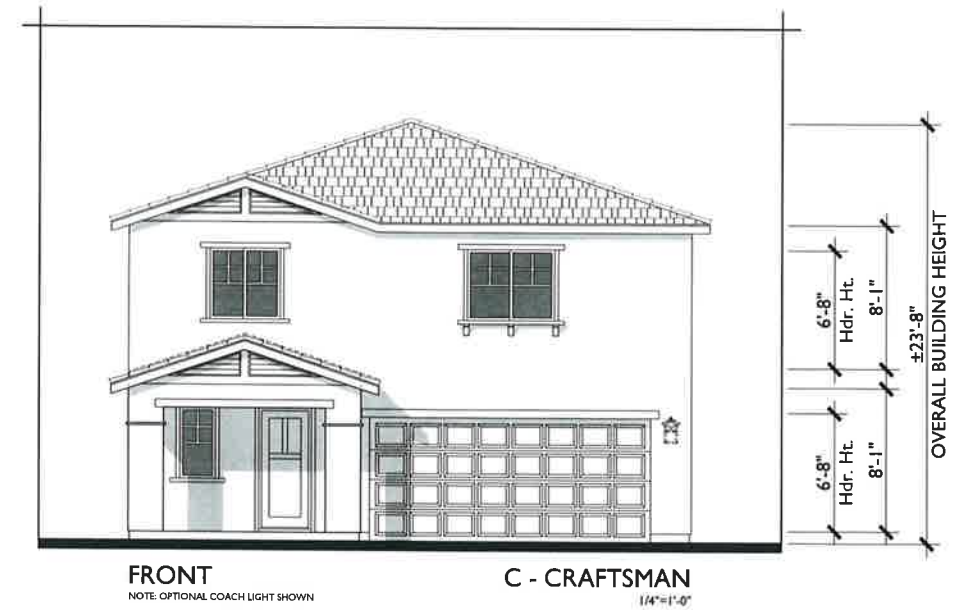
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

WINDOW SCHEDULE	
2040 S.H.	4
2040 F.G.	2
4036 SL	1
4040 SL	2
5040 SL	2
6040 SL	1
TOTAL	13

LINEAR FEET OF KITCHEN CABS	
BASE CABINETS	17'-2"
UPPER CABINETS	14'-4"



LEFT

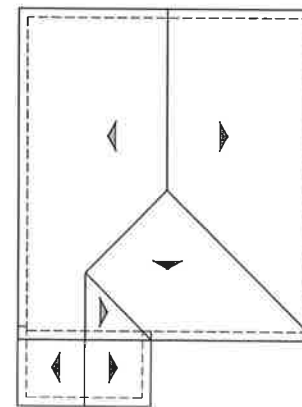


FRONT

NOTE: OPTIONAL COACH LIGHT SHOWN

C - CRAFTSMAN

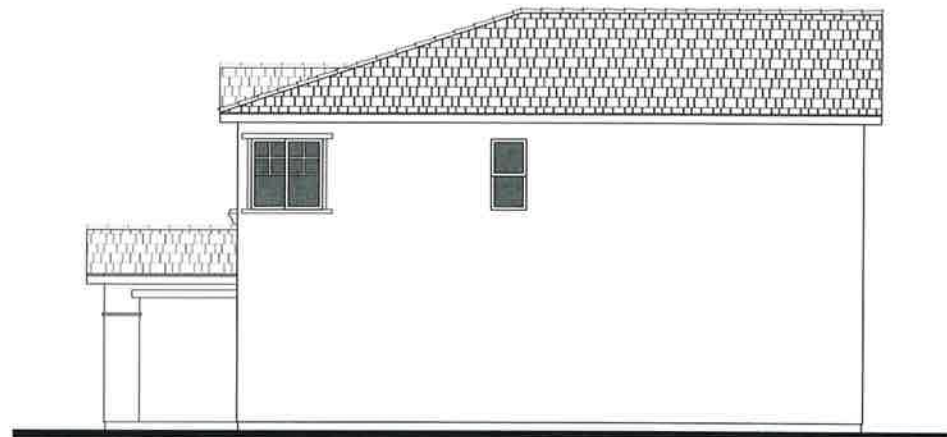
1/4"=1'-0"



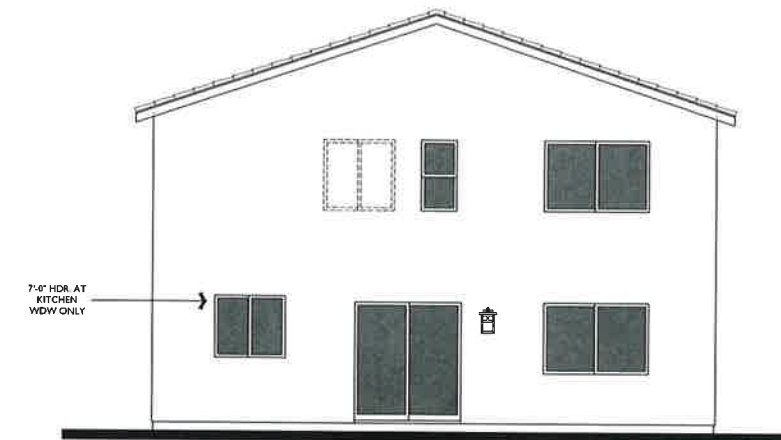
ROOF PLAN

C

PITCH: 4:12
RAKE: 12"
EAVE: 12"
ROOF MATERIAL: CONCRETE FLAT TILE



RIGHT

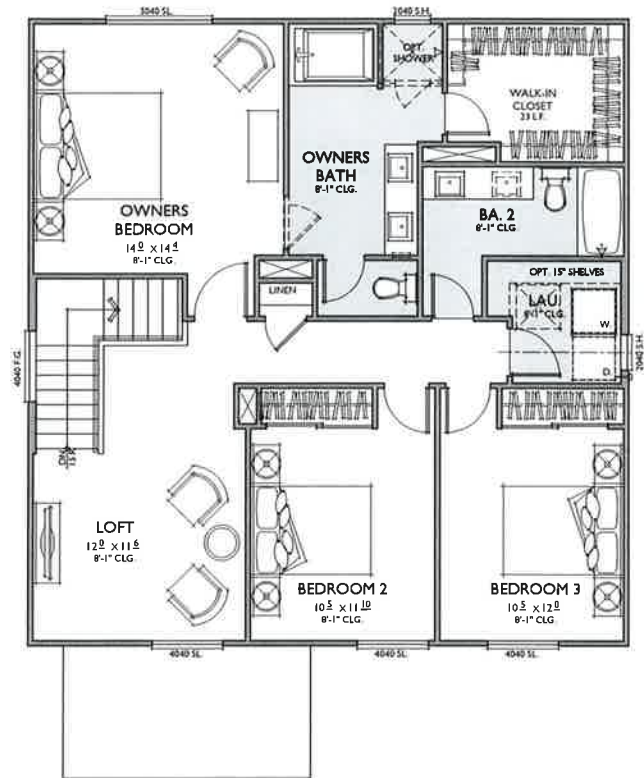


REAR

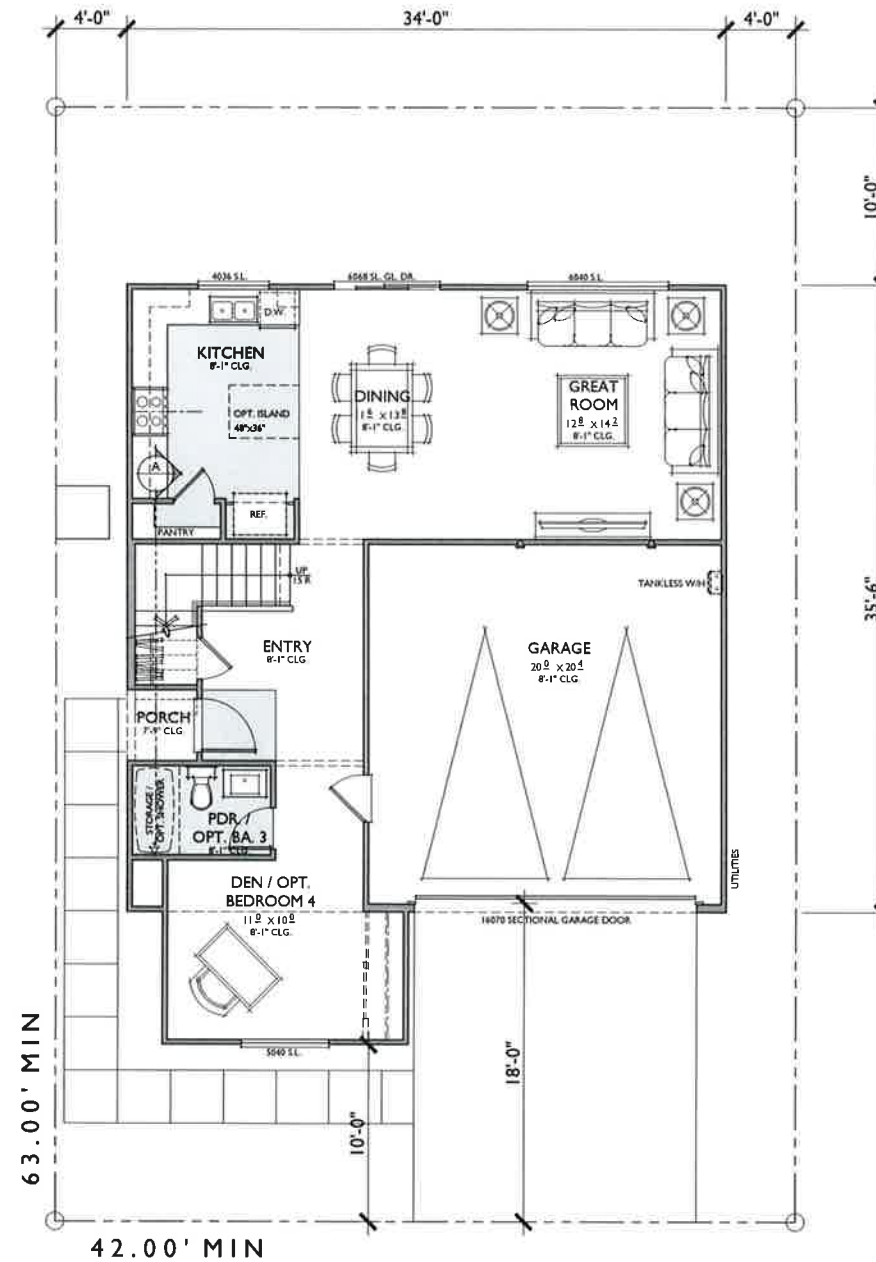




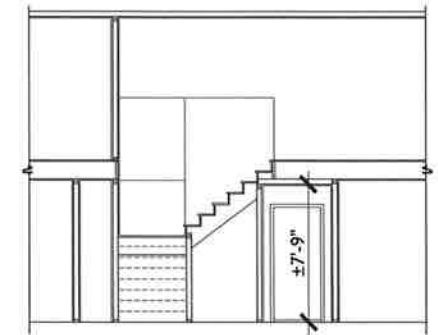
OPT. SHOWER
AT OWNERS BATH



SECOND FLOOR



FIRST FLOOR



SECTION A
AT STAIR OVER PORCH (3068 ENTRY DOOR SHOWN)

PLAN 2
2,021 SQ. FT.
TARGET: 2,000 SQ. FT.
3 BEDROOMS / 2.5 BATHS + LOFT + DEN / OPT.
BEDROOM 4 AND BATH 3
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	869 SQ. FT.
2ND FLOOR	1,152 SQ. FT.
TOTAL LIVING	2021 SQ. FT.
2 - CAR GARAGE	421 SQ. FT.
PORCH	16 SQ. FT.

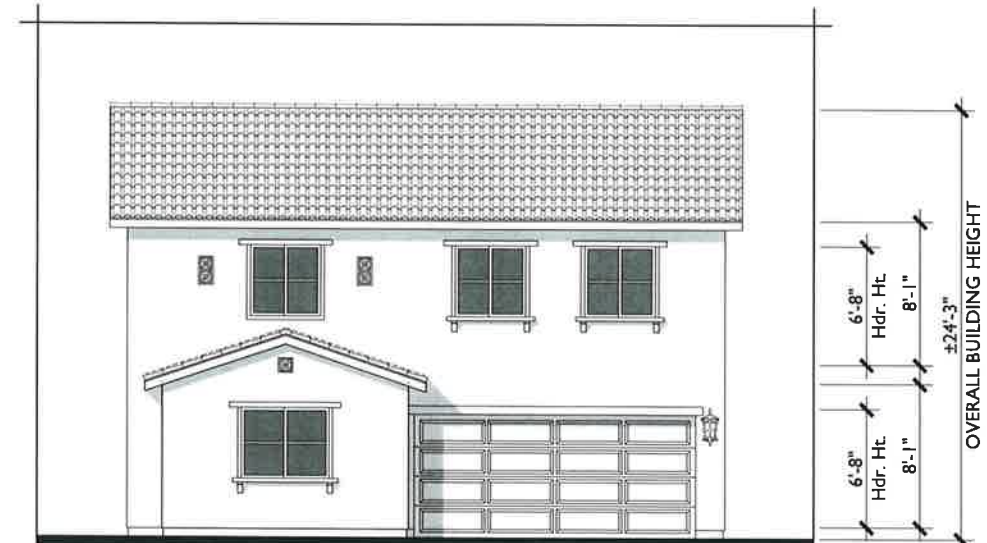
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

WINDOW SCHEDULE	
2040 S.H.	2
4040 F.G.	1
4036 SL.	1
4040 SL.	3
5040 SL.	2
6040 SL.	1
TOTAL	11

LINEAR FEET OF KITCHEN CABS	
BASE CABINETS	17'-4"
UPPER CABINETS	14'-4"

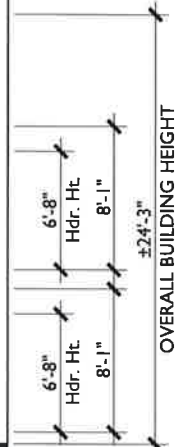


LEFT
NOTE: OPTIONAL COACH LIGHT SHOWN

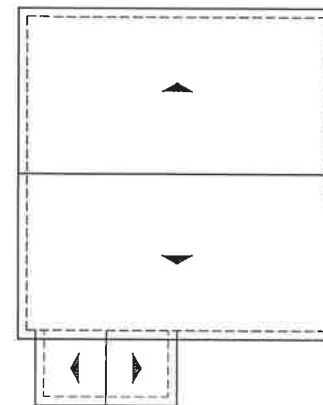


FRONT
NOTE: OPTIONAL COACH LIGHT SHOWN

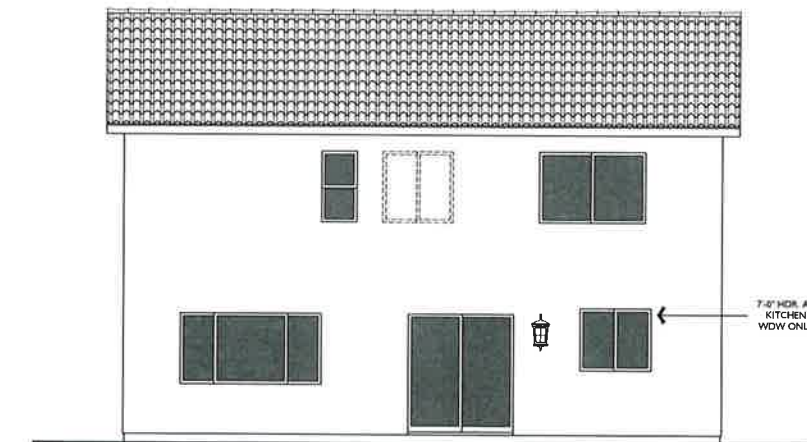
A - SPANISH COLONIAL
1/4"=1'-0"



RIGHT

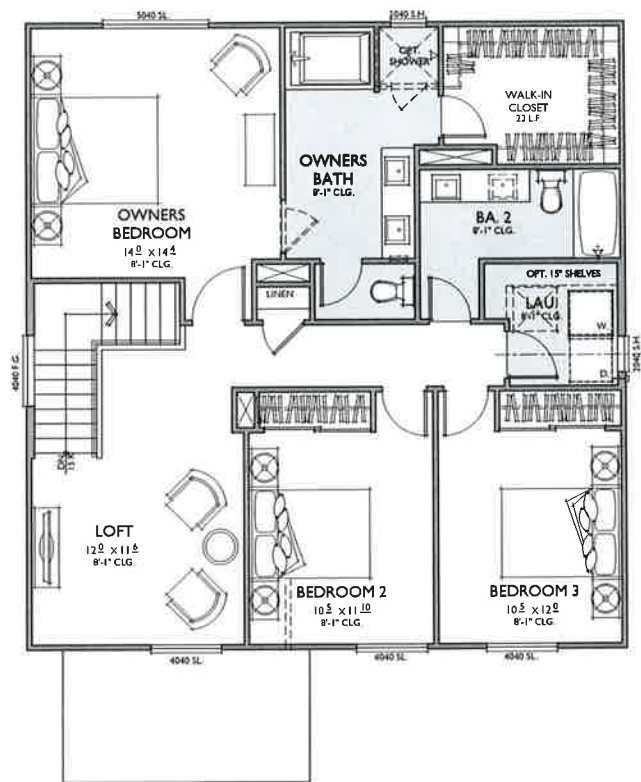


ROOF PLAN
PITCH: 4:12
RAKE: 12"
EAVE: 12"
ROOF MATERIAL: CONCRETE 'S' TILE
A

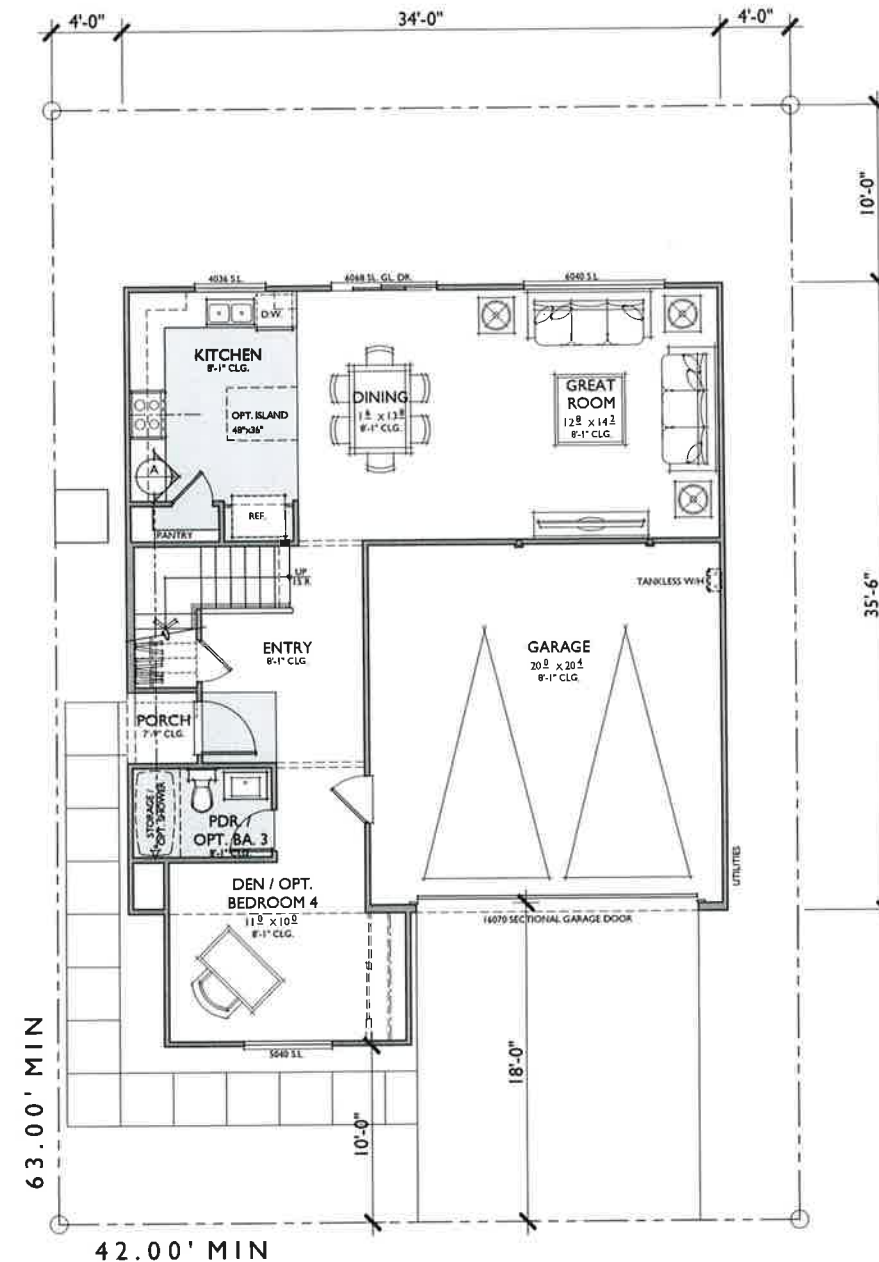


REAR

7'-0" HDR. AT
KITCHEN
WDW ONLY



SECOND FLOOR



FIRST FLOOR

PLAN 2 2,021 SQ. FT.

TARGET: 2,000 SQ. FT.
3 BEDROOMS / 2.5 BATHS + LOFT + DEN / OPT.
BEDROOM 4 AND BATH 3
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	869 SQ. FT.
2ND FLOOR	1,152 SQ. FT.
TOTAL LIVING	2021 SQ. FT.
2 - CAR GARAGE	421 SQ. FT.
PORCH	16 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

WINDOW SCHEDULE	
2040 S.H.	2
4040 F.G.	1
4036 S.L.	1
4040 S.L.	3
5040 S.L.	2
6040 S.L.	1
TOTAL	11

LINEAR FEET OF KITCHEN CABS	
BASE CABINETS	17'-4"
UPPER CABINETS	14'-4"

PLAN 2 B

Reflects Santa Barbara Elevation

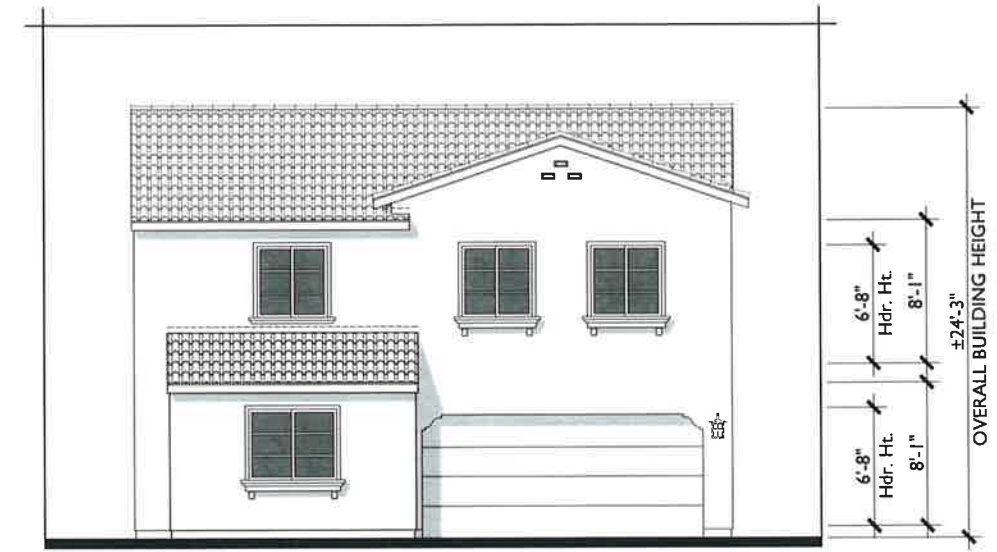
WESTLAKE (VILLAGES AT LAKESHORE) – SFD

Lake Elsinore, Ca

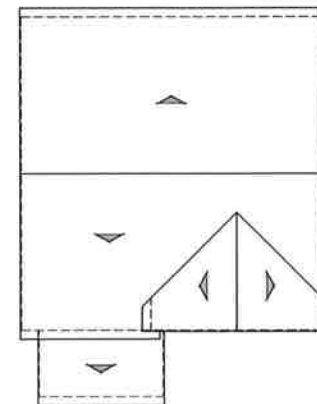
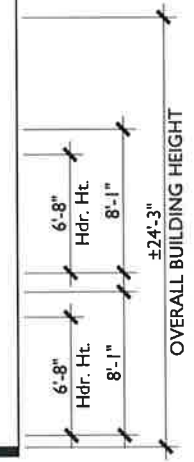
0 2 4 8 023.18157



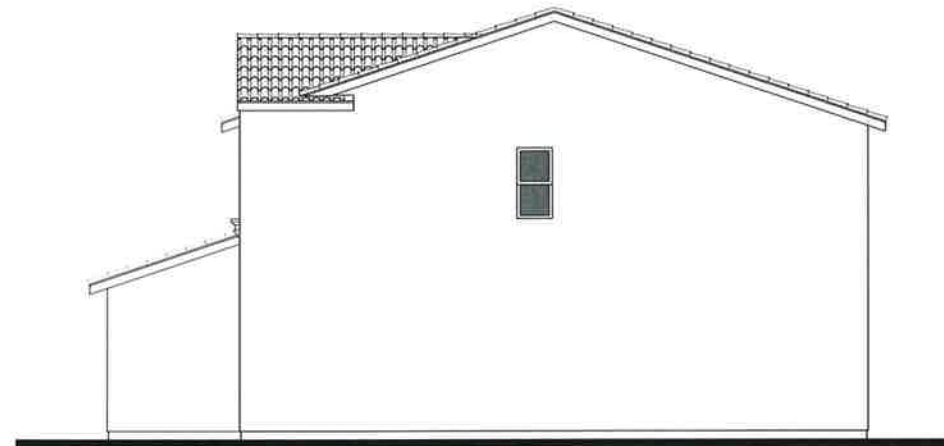
LEFT
NOTE: OPTIONAL COACH LIGHT SHOWN



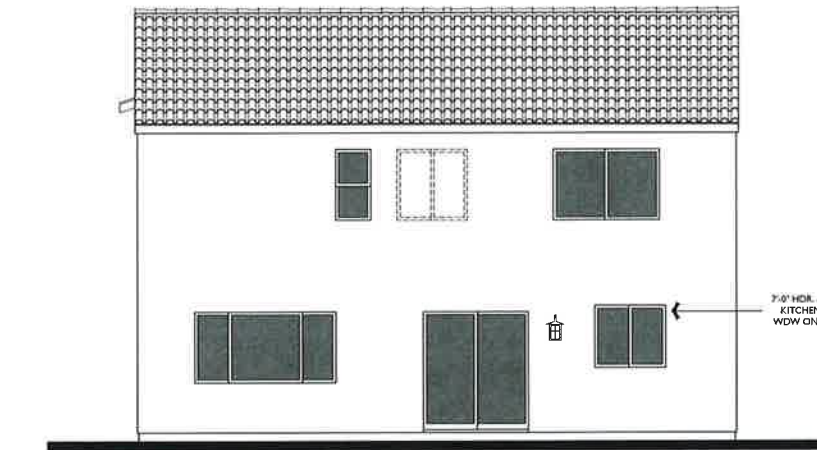
FRONT
NOTE: OPTIONAL COACH LIGHT SHOWN
B - SANTA BARBARA
1/4"=1'-0"



ROOF PLAN
PITCH: 4:12
RAKE: TIGHT
EAVE: 12"
ROOF MATERIAL: CONCRETE 'S' TILE
B

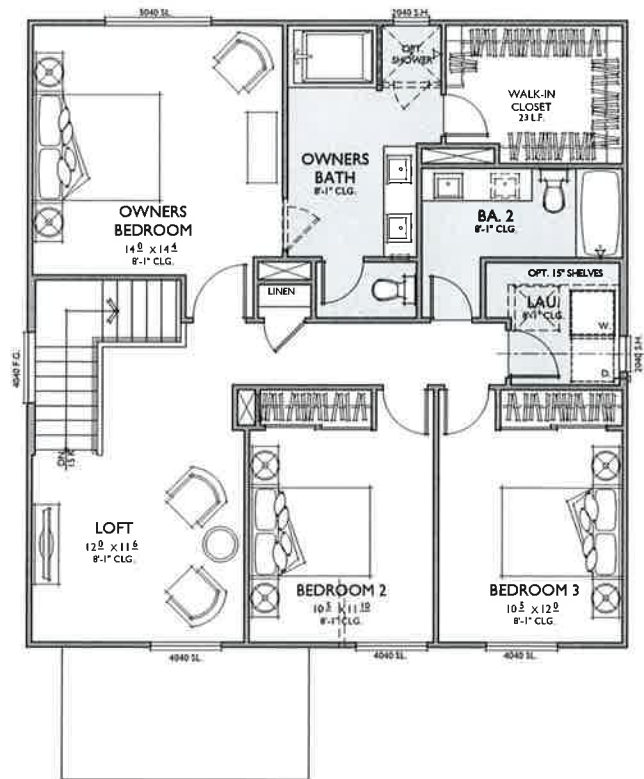


RIGHT

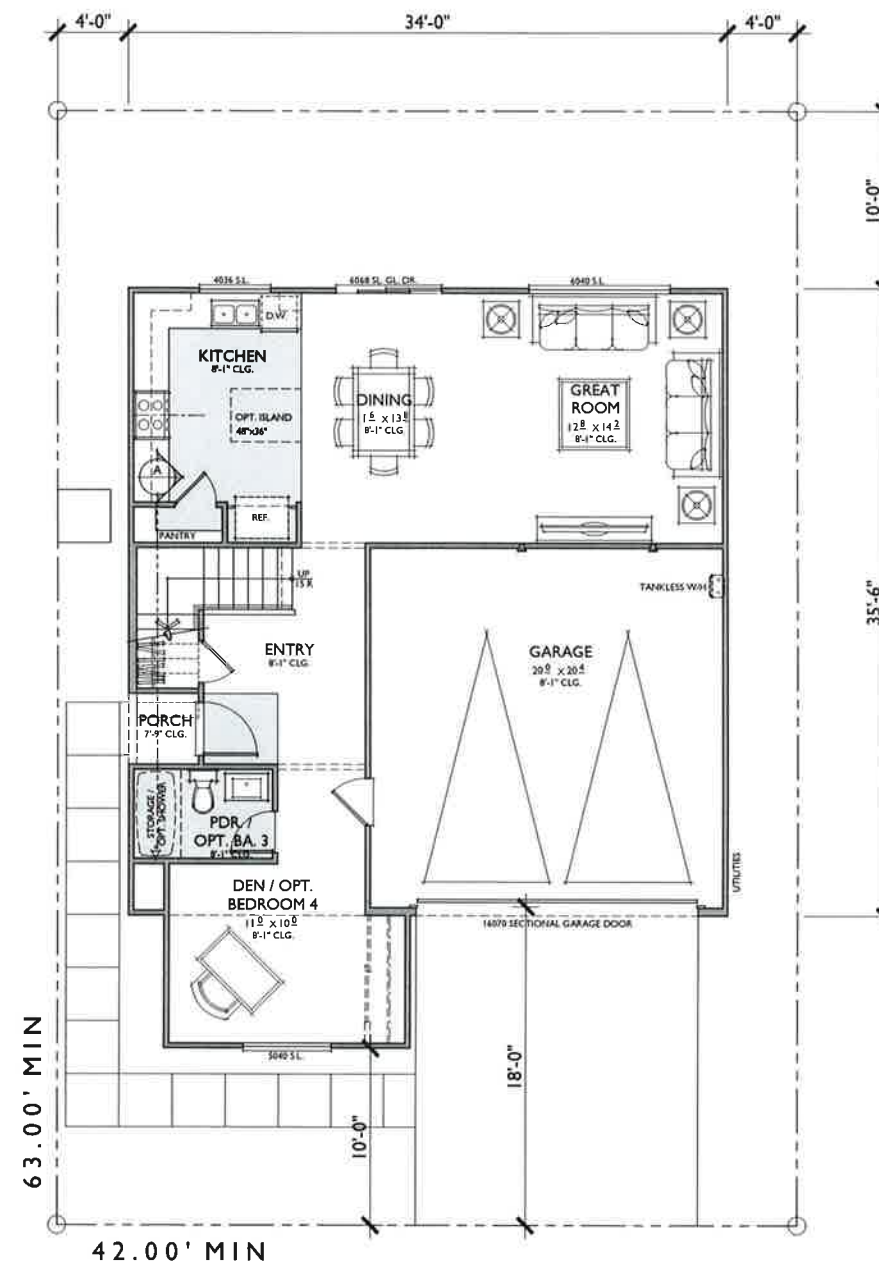


REAR

7'-0" HOR. AT
KITCHEN
WDW ONLY



SECOND FLOOR



FIRST FLOOR

PLAN 2 2,021 SQ. FT.

TARGET: 2,000 SQ. FT.
3 BEDROOMS / 2.5 BATHS + LOFT + DEN / OPT.
BEDROOM 4 AND BATH 3
2 - CAR GARAGE

FLOOR AREA TABLE

1ST FLOOR	869 SQ. FT.
2ND FLOOR	1,152 SQ. FT.
TOTAL LIVING	2021 SQ. FT.
2 - CAR GARAGE	421 SQ. FT.
PORCH	16 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

WINDOW SCHEDULE

2040 S.H.	2
4040 F.G.	1
4036 SL.	1
4040 SL.	3
5040 SL.	2
6040 SL.	1
TOTAL	11

LINEAR FEET OF KITCHEN CABS

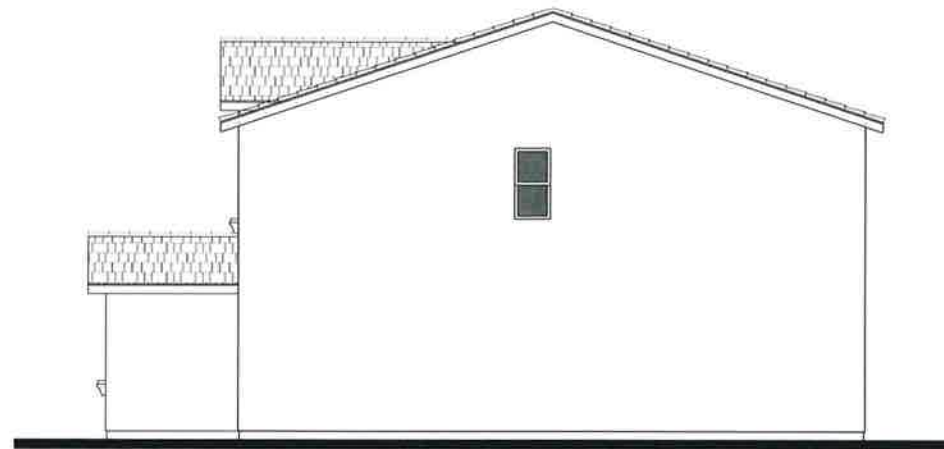
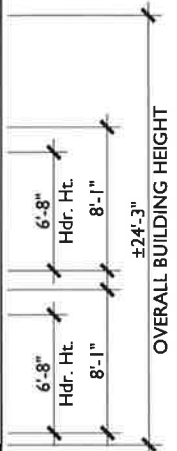
BASE CABINETS	17'-4"
UPPER CABINETS	14'-4"



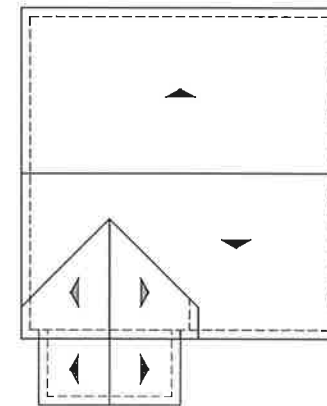
LEFT
NOTE: OPTIONAL COACH LIGHT SHOWN



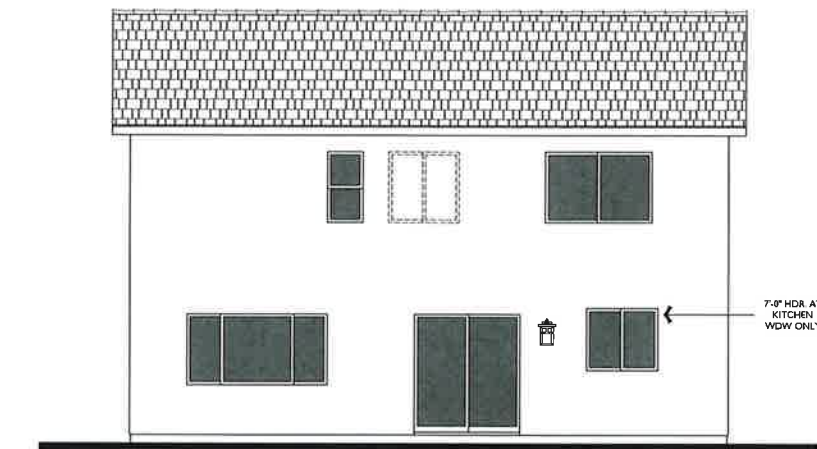
FRONT
NOTE: OPTIONAL COACH LIGHT SHOWN
C - CRAFTSMAN
1/4" = 1'-0"



RIGHT



ROOF PLAN
PITCH: 4:12
RAKE: 12"
EAVE: 12"
ROOF MATERIAL: CONCRETE FLAT TILE
C



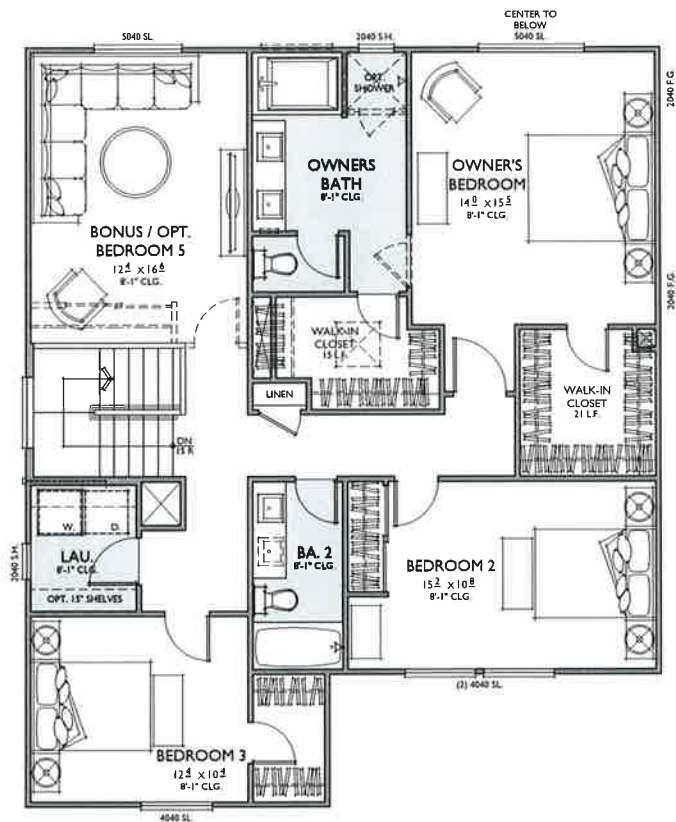
REAR

7'-0" HDR AT
KITCHEN
WDW ONLY

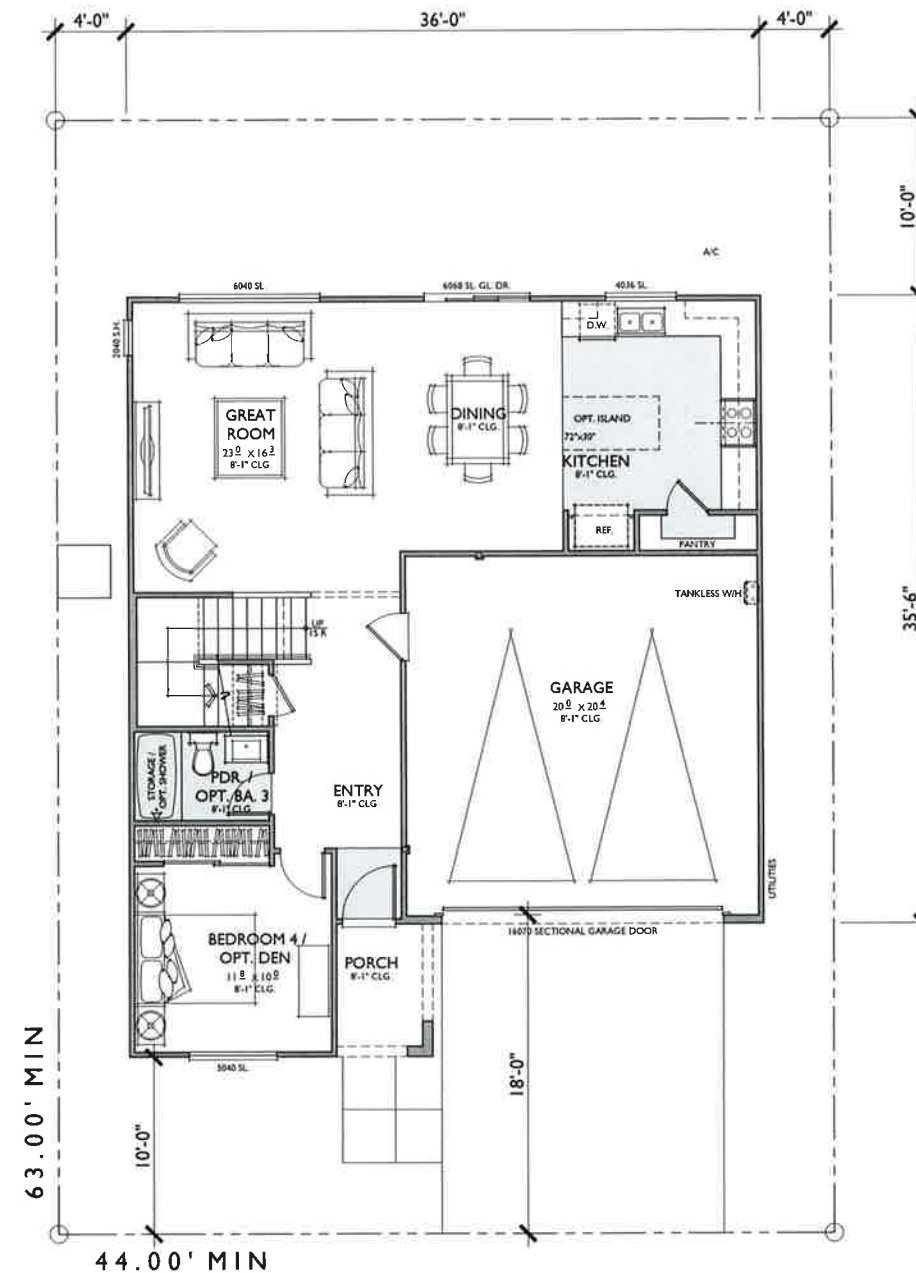




OPT. SHOWER
AT OWNERS BATH



SECOND FLOOR



FIRST FLOOR

PLAN 3
2,267 SQ. FT.

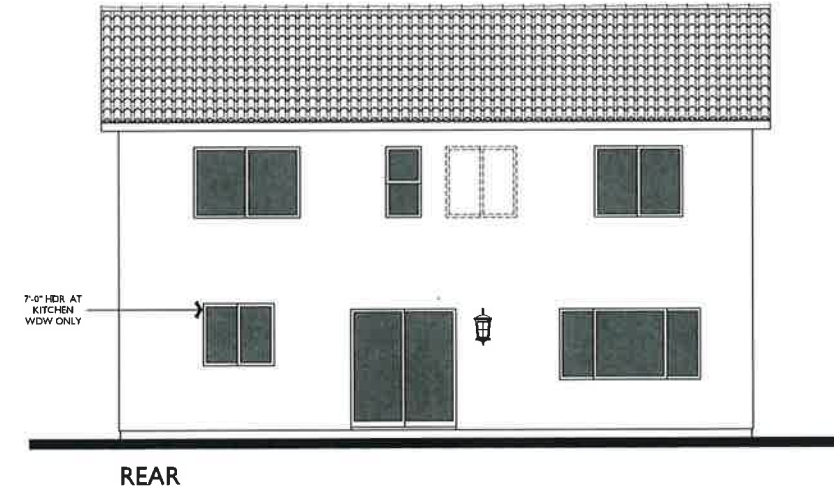
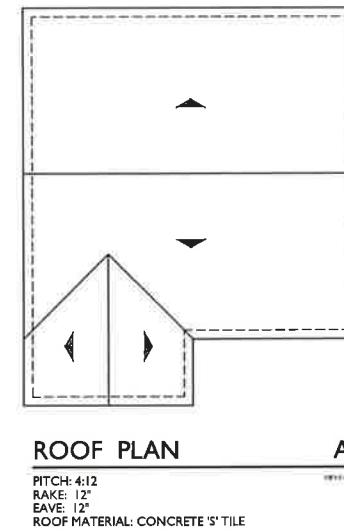
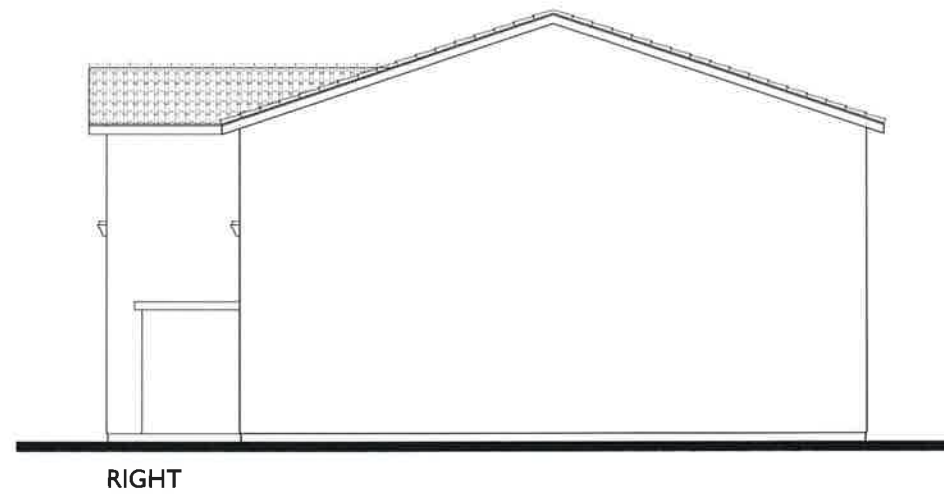
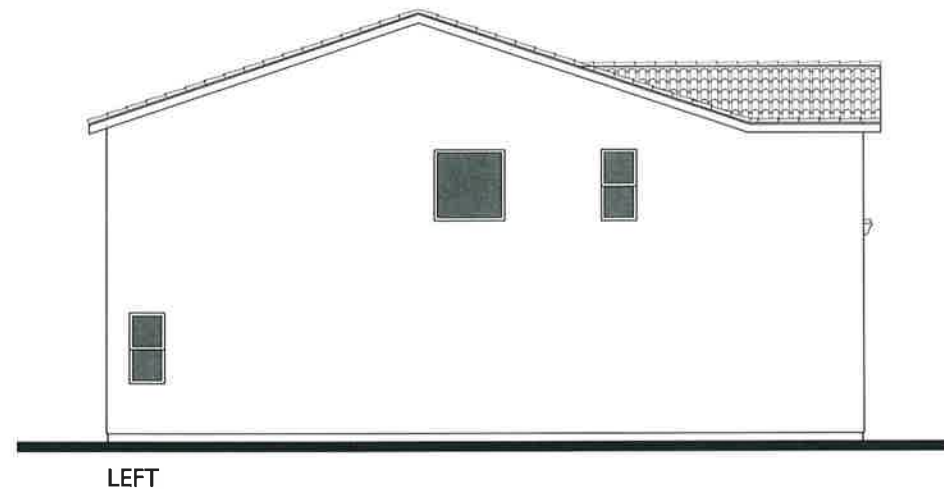
TARGET: 2,203 SQ. FT.
4 BEDROOMS / 2.5 BATHS + LOFT / OPT.
BEDROOM 5 + OPT. DEN
2 - CAR GARAGE

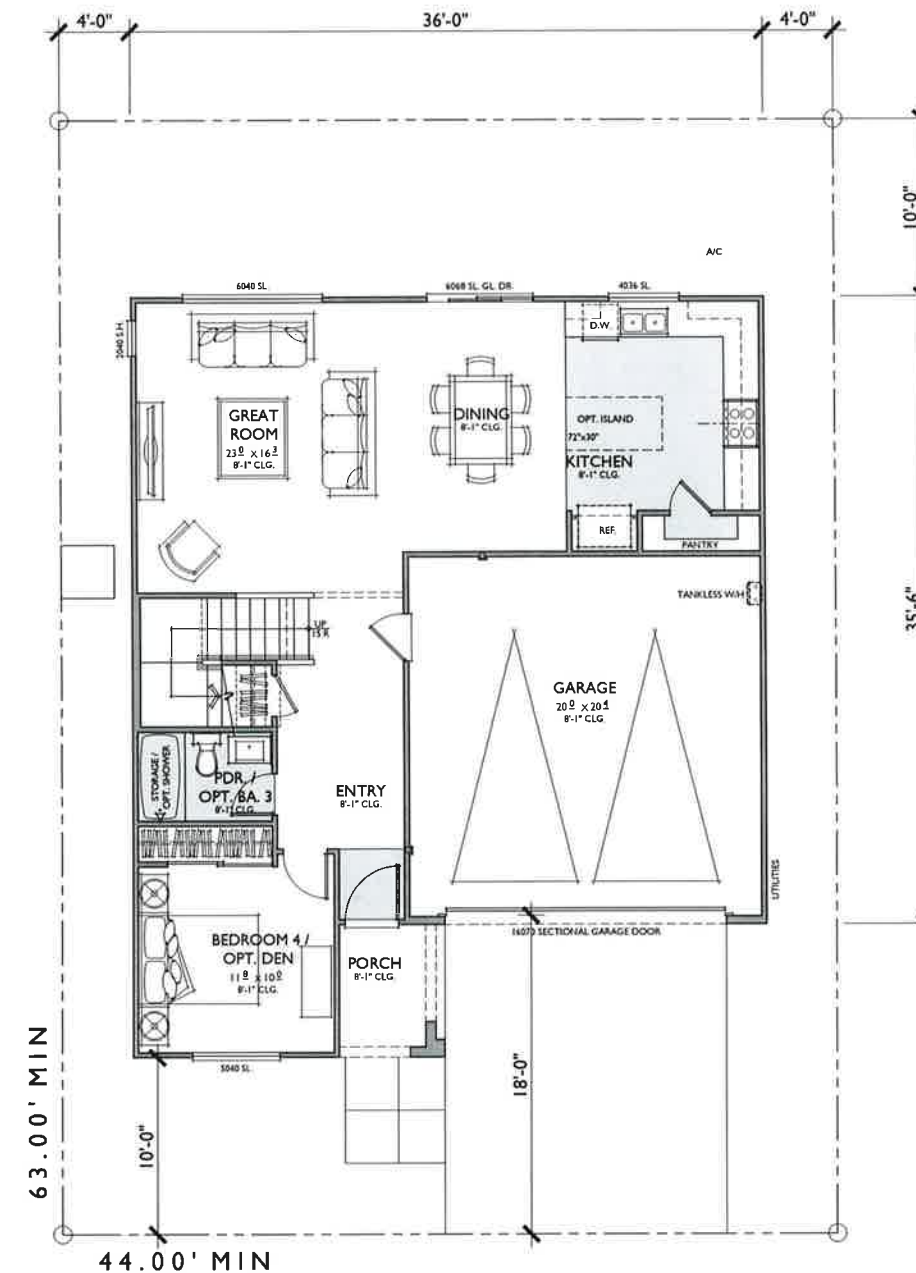
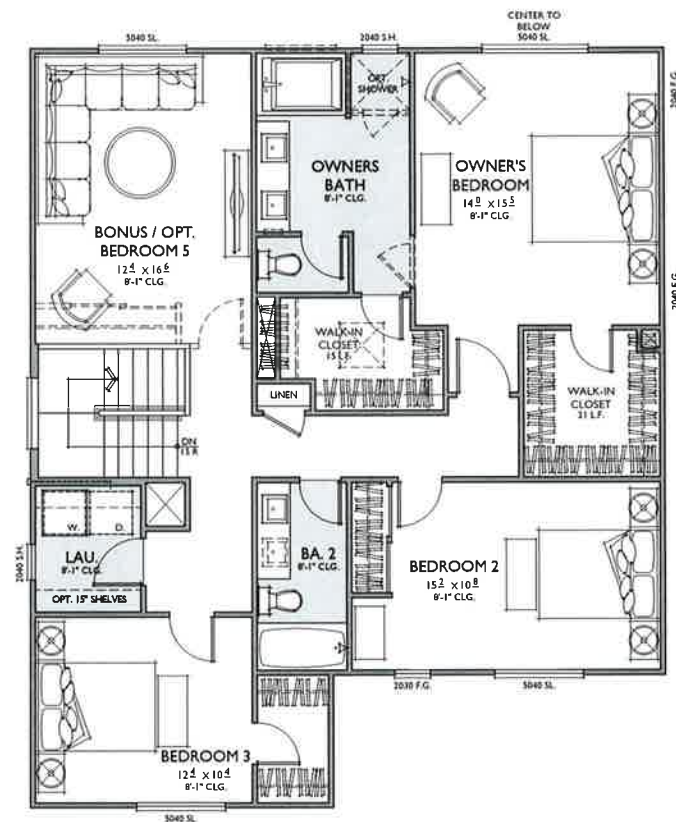
FLOOR AREA TABLE	
1ST FLOOR	944 SQ. FT.
2ND FLOOR	1,344 SQ. FT.
TOTAL LIVING	2267 SQ. FT.
2 - CAR GARAGE	422 SQ. FT.
PORCH	41 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

WINDOW SCHEDULE	
2040 S.H.	3
2040 F.G.	2
4040 F.G.	1
4036 SL.	1
4040 SL.	3
5040 SL.	3
6040 SL.	1
TOTAL	14

LINEAR FEET OF KITCHEN CABS	
BASE CABINETS	18'-10"
UPPER CABINETS	15'-10"





PLAN 3
2,270 SQ. FT.

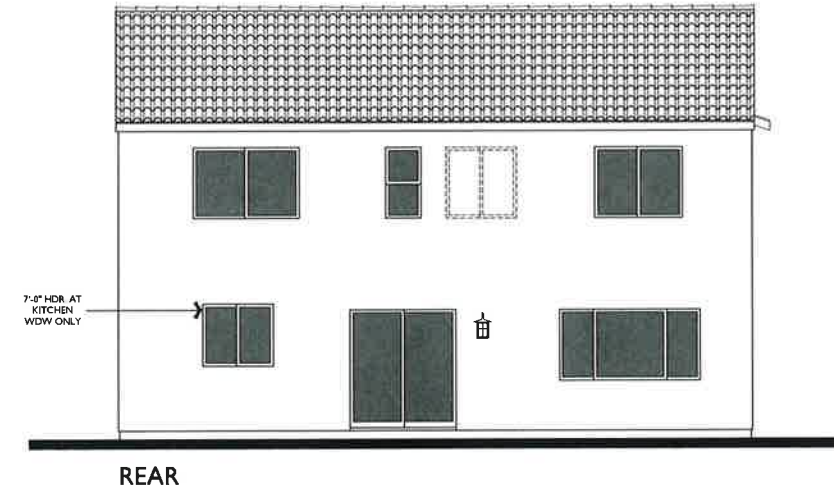
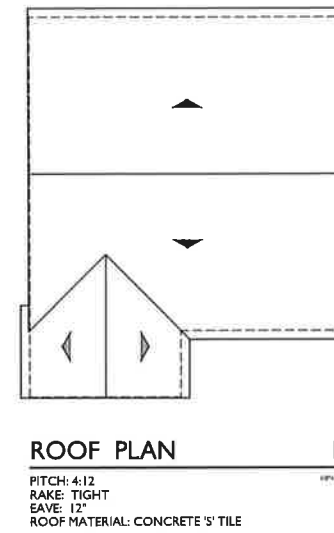
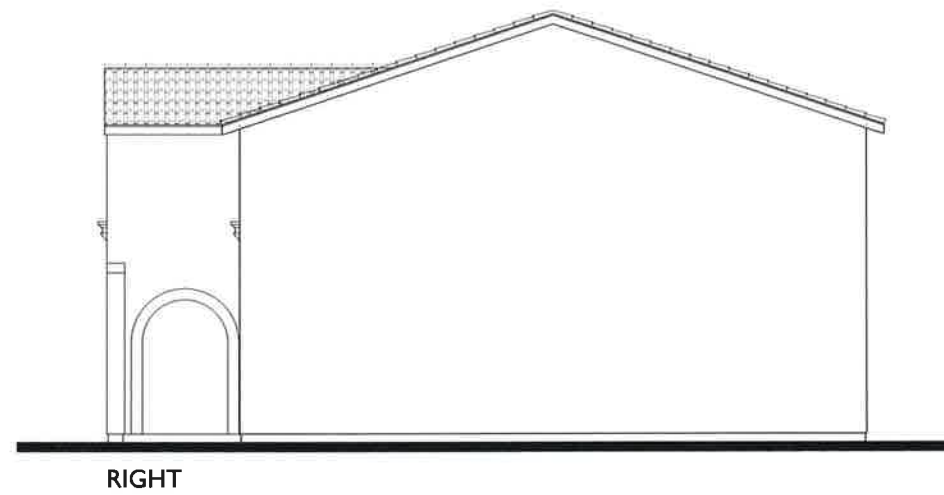
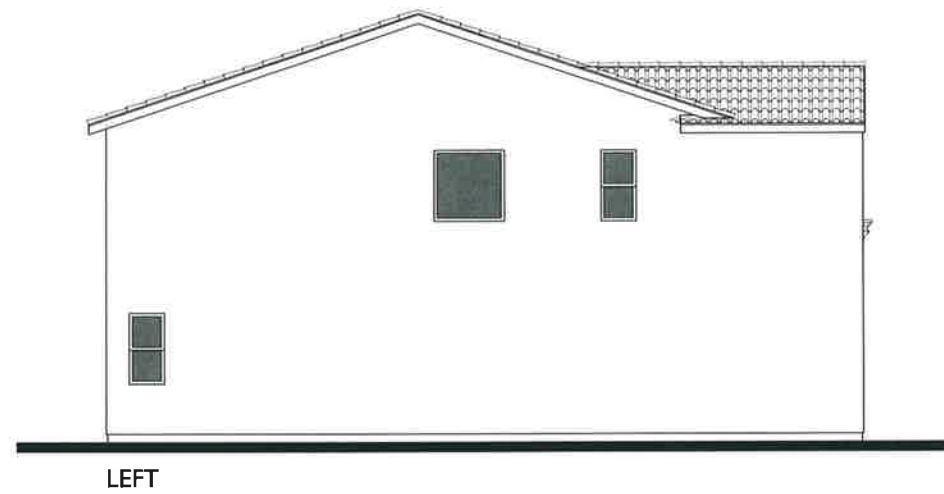
TARGET: 2,203 SQ. FT.
4 BEDROOMS / 2.5 BATHS + LOFT / OPT.
BEDROOM 5 + OPT. DEN
2 - CAR GARAGE

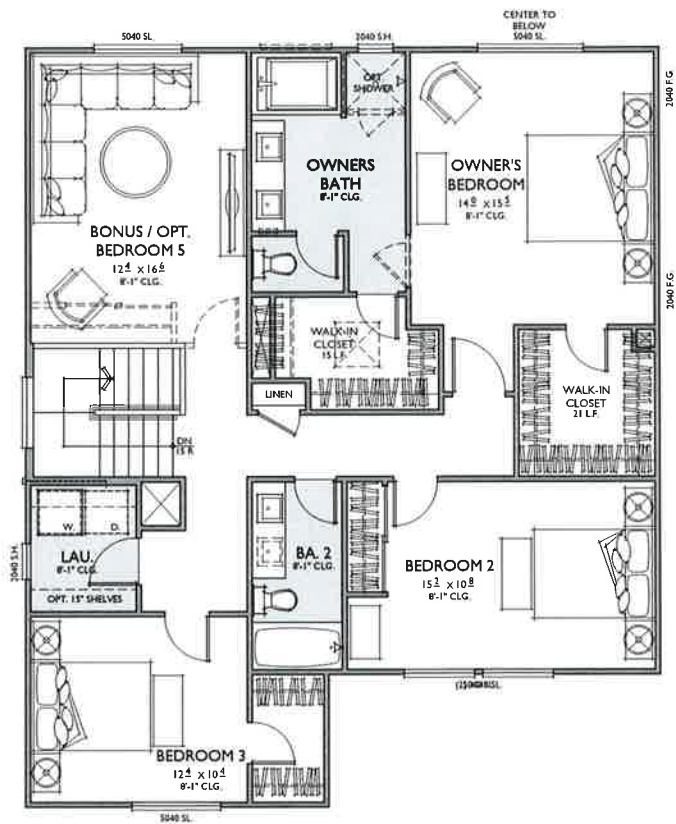
FLOOR AREA TABLE	
1ST FLOOR	944 SQ. FT.
2ND FLOOR	1,346 SQ. FT.
TOTAL LIVING	2270 SQ. FT.
2 - CAR GARAGE	422 SQ. FT.
PORCH	41 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

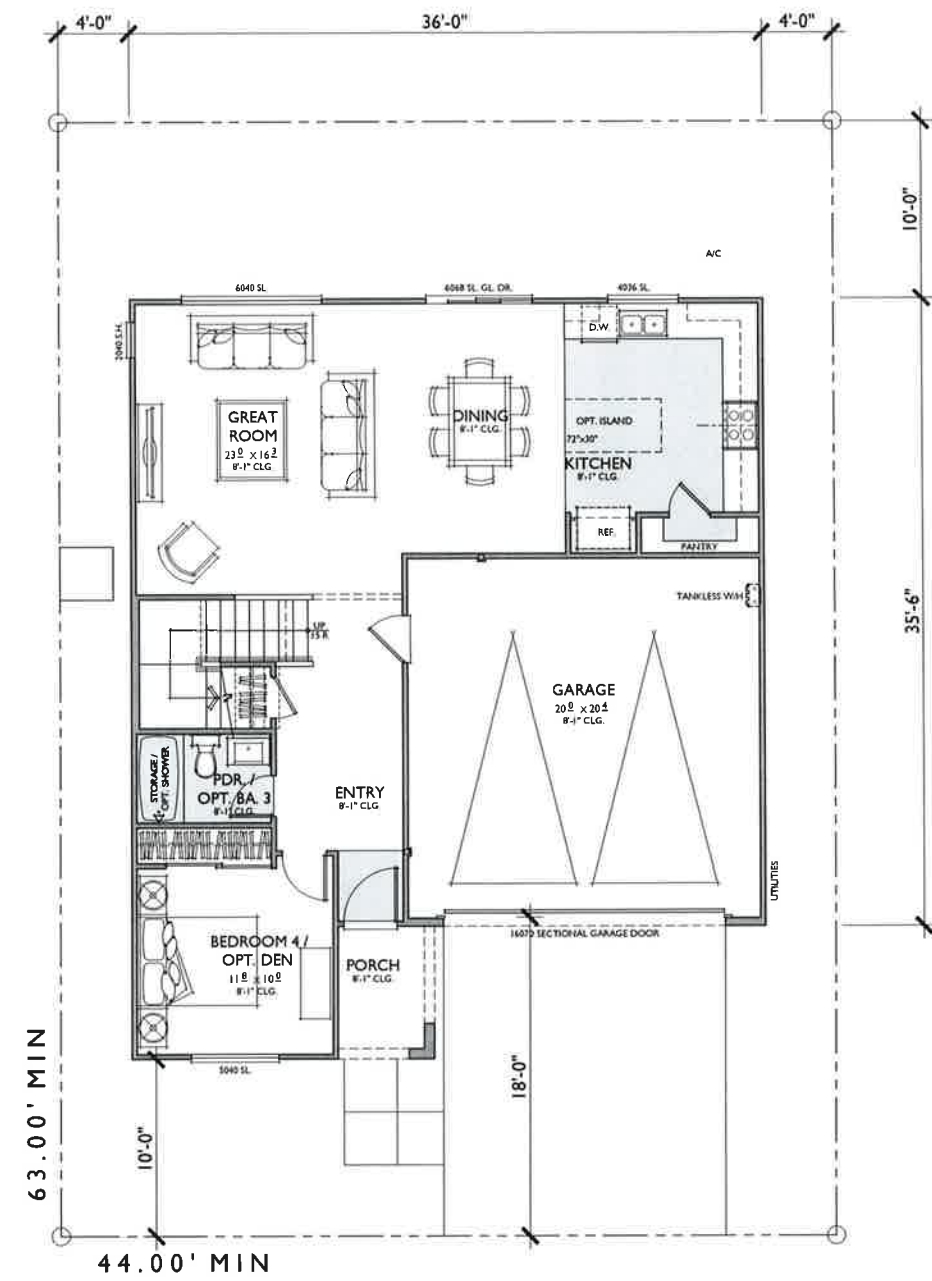
WINDOW SCHEDULE	
2040 S.H.	1
2040 F.G.	2
4040 F.G.	1
4036 SL.	1
2030 F.G.	1
5040 SL.	5
6040 SL.	1
TOTAL	14

LINEAR FEET OF KITCHEN CABS	
BASE CABINETS	18'-10"
UPPER CABINETS	15'-10"





SECOND FLOOR



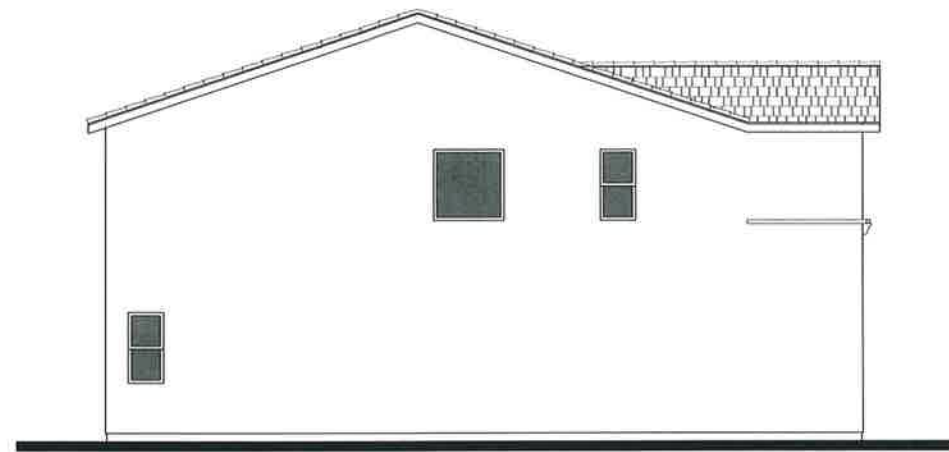
FIRST FLOOR

PLAN 3
2,270 SQ. FT.
 TARGET: 2,203 SQ. FT.
 4 BEDROOMS / 2.5 BATHS + LOFT / OPT.
 BEDROOM 5 + OPT. DEN
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	944 SQ. FT.
2ND FLOOR	1,346 SQ. FT.
TOTAL LIVING	2270 SQ. FT.
2 - CAR GARAGE	422 SQ. FT.
PORCH	41 SQ. FT.

WINDOW SCHEDULE	
2040 S.H.	3
2040 F.G.	2
4040 F.G.	1
4036 SL.	1
5040 SL.	5
6040 SL.	1
TOTAL	13

LINEAR FEET OF KITCHEN CABS	
BASE CABINETS	18'-10"
UPPER CABINETS	15'-10"



LEFT

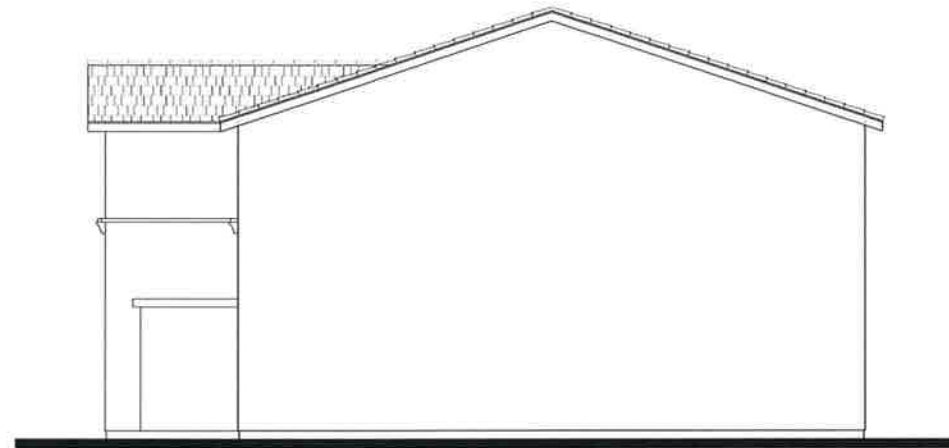
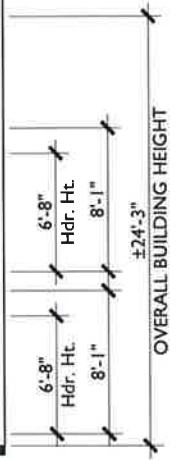


FRONT

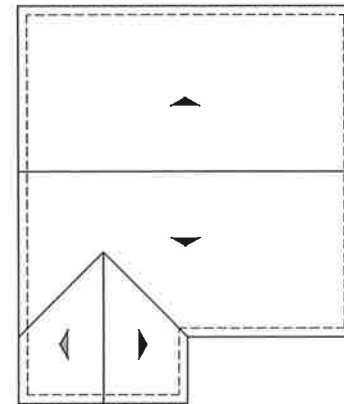
NOTE: OPTIONAL COACH LIGHT SHOWN

C - CRAFTSMAN

1/4"=1'-0"



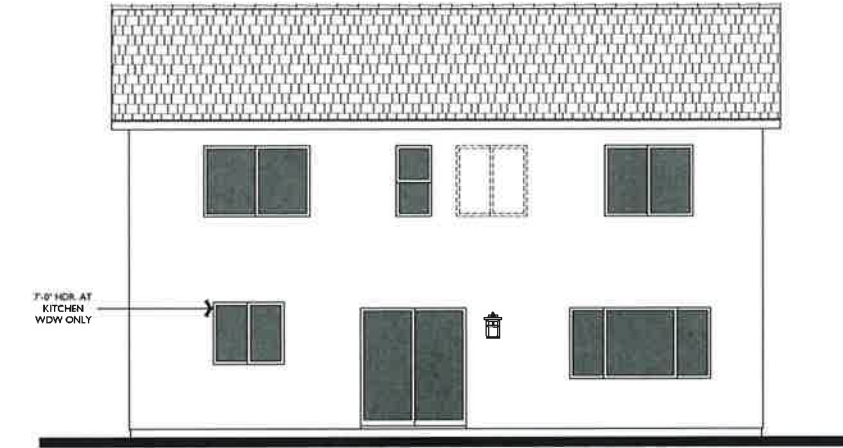
RIGHT



ROOF PLAN

C

PITCH: 4:12
RAKE: 12"
EAVE: 12"
ROOF MATERIAL: CONCRETE FLAT TILE

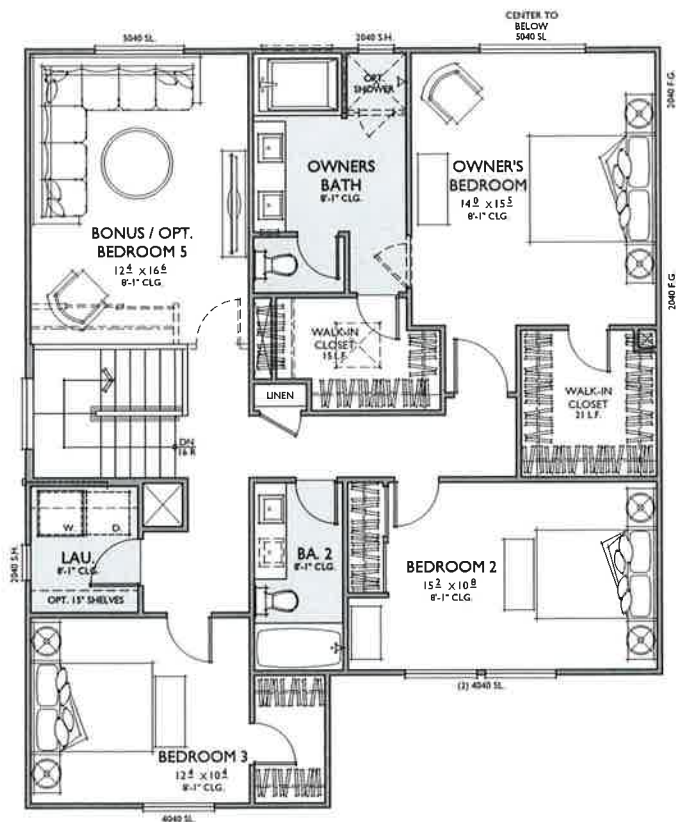


REAR

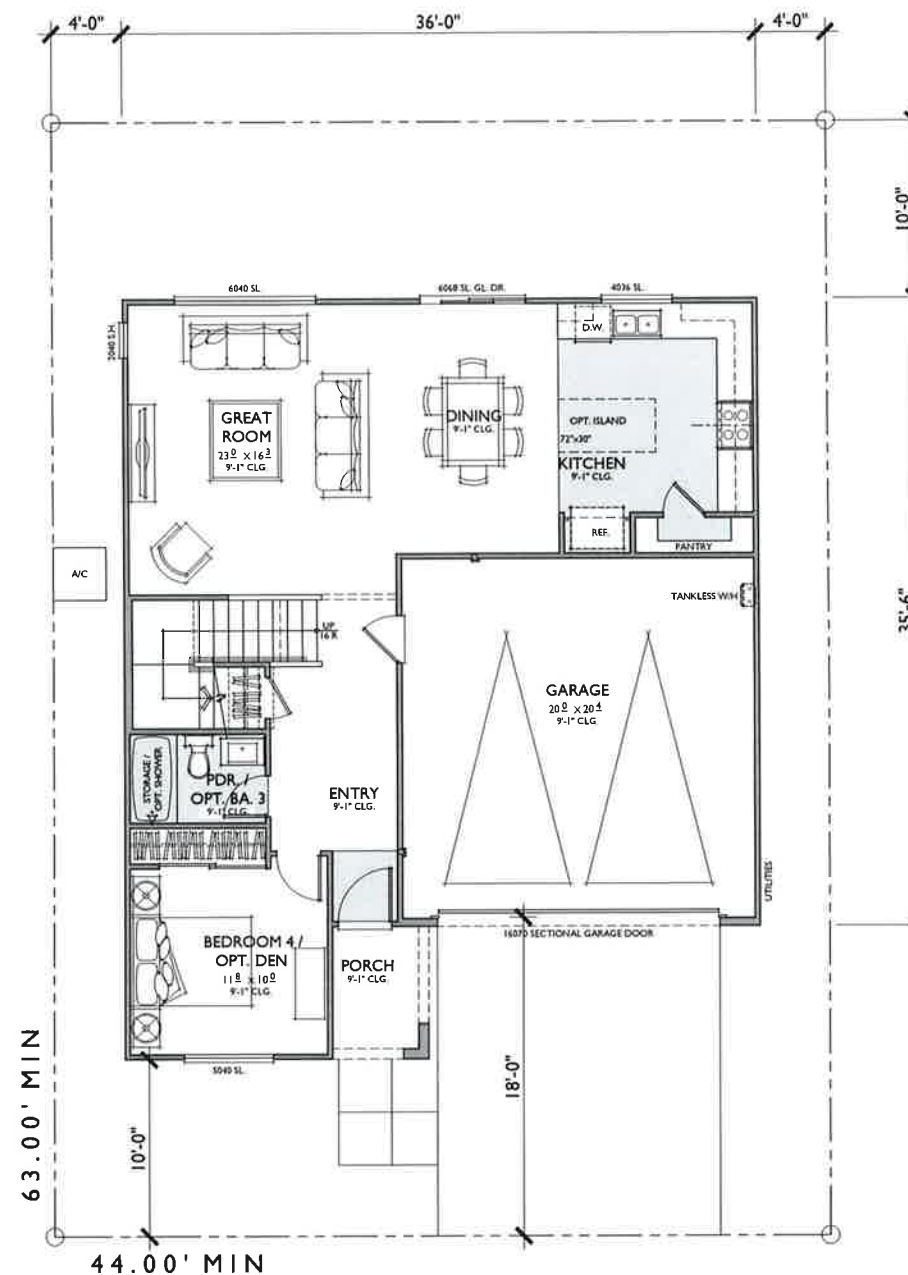




OPT. SHOWER
AT OWNERS BATH



SECOND FLOOR



FIRST FLOOR

PLAN 4
2,267 SQ. FT.

TARGET: 2,203 SQ. FT.
4 BEDROOMS / 2.5 BATHS + LOFT / OPT.
BEDROOM 5 + OPT. DEN
2 - CAR GARAGE

FLOOR AREA TABLE

1ST FLOOR	944 SQ. FT.
2ND FLOOR	1,344 SQ. FT.
TOTAL LIVING	2267 SQ. FT.
2 - CAR GARAGE	422 SQ. FT.
PORCH	41 SQ. FT.

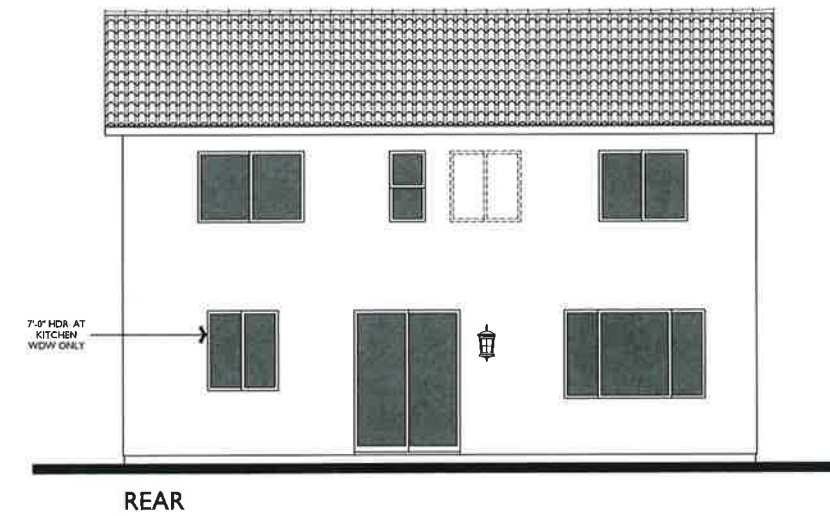
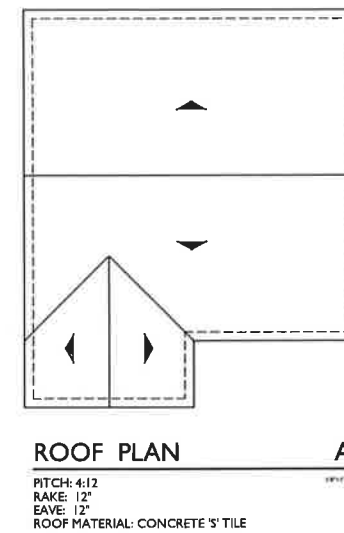
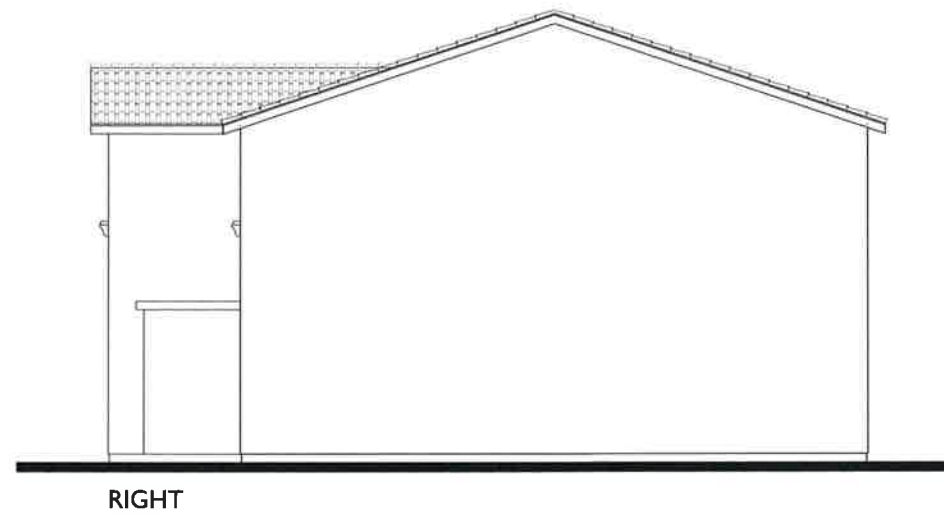
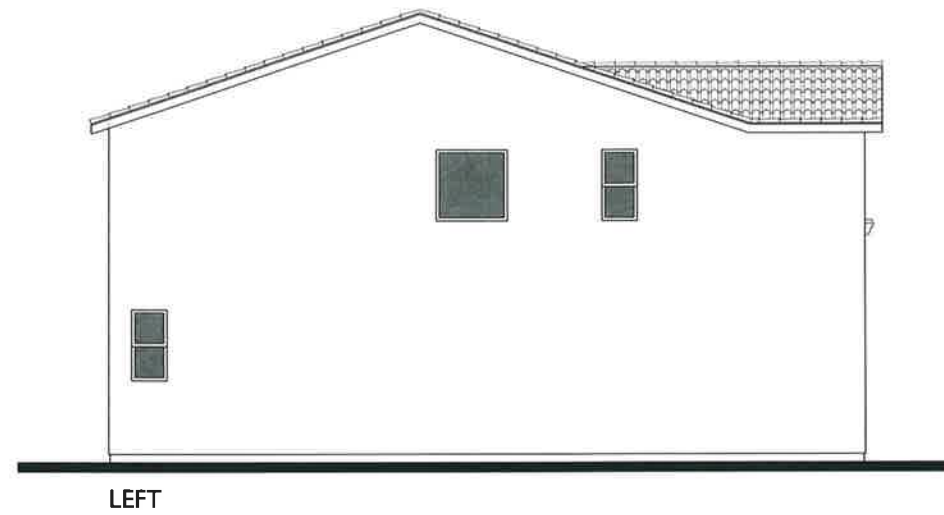
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

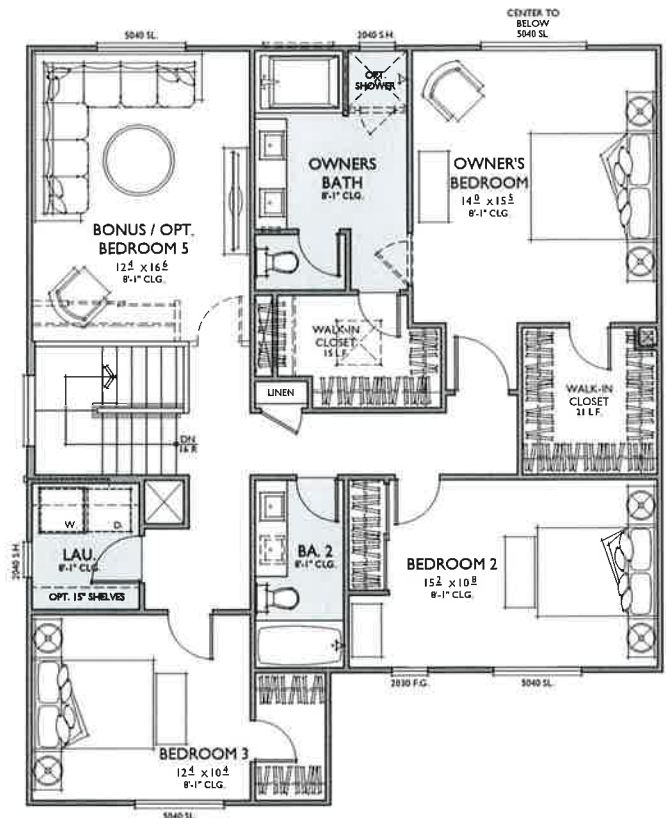
WINDOW SCHEDULE

2040 S.H.	3
2040 F.G.	2
4040 F.G.	1
4036 SL.	1
4040 SL.	3
5040 SL.	3
6040 SL.	1
TOTAL	14

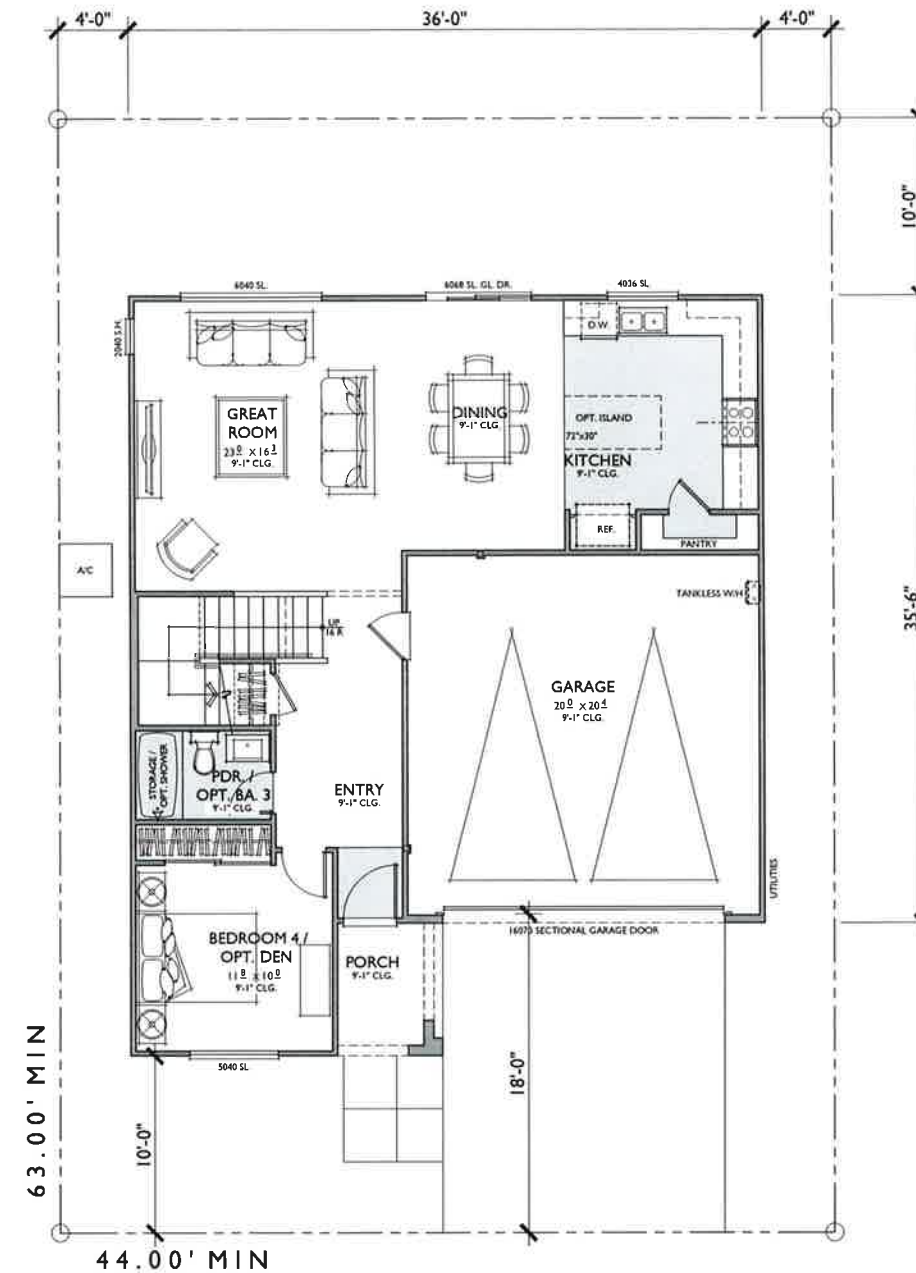
LINEAR FEET OF KITCHEN CABS

BASE CABINETS	18'-10"
UPPER CABINETS	15'-10"





SECOND FLOOR



FIRST FLOOR

PLAN 4 2,267 SQ. FT.

TARGET: 2,203 SQ. FT.
4 BEDROOMS / 2.5 BATHS + LOFT / OPT.
BEDROOM 5 + OPT. DEN
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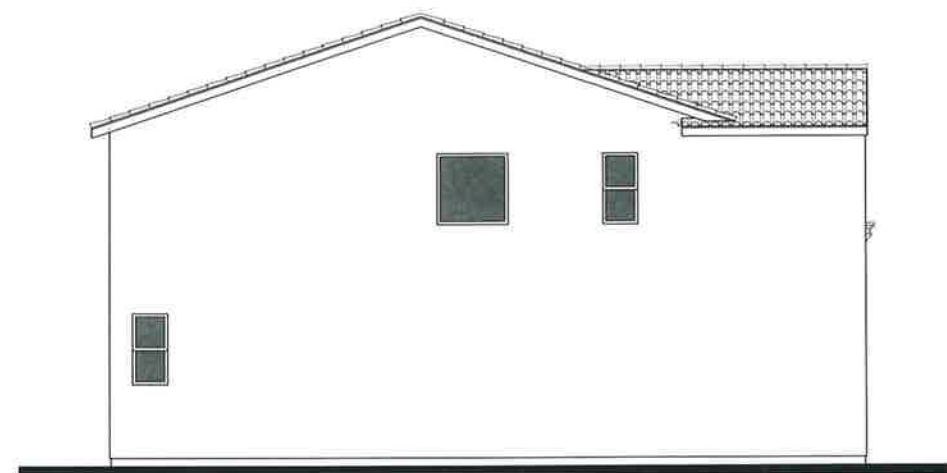
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

WINDOW SCHEDULE

2040 S.H.	1
2040 F.G.	2
4040 F.G.	1
4036 S.L.	1
2030 F.G.	1
5040 S.L.	5
6040 S.L.	1
TOTAL	14

LINEAR FEET OF KITCHEN CABS

BASE CABINETS	18'-10"
UPPER CABINETS	15'-10"



LEFT

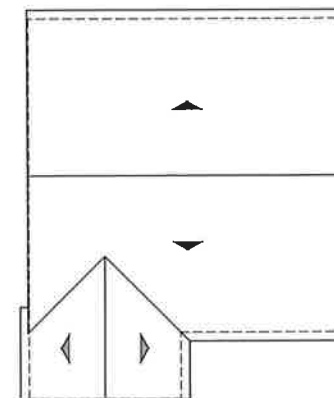


FRONT

NOTE: OPTIONAL COACH LIGHT SHOWN

B - SANTA BARBARA

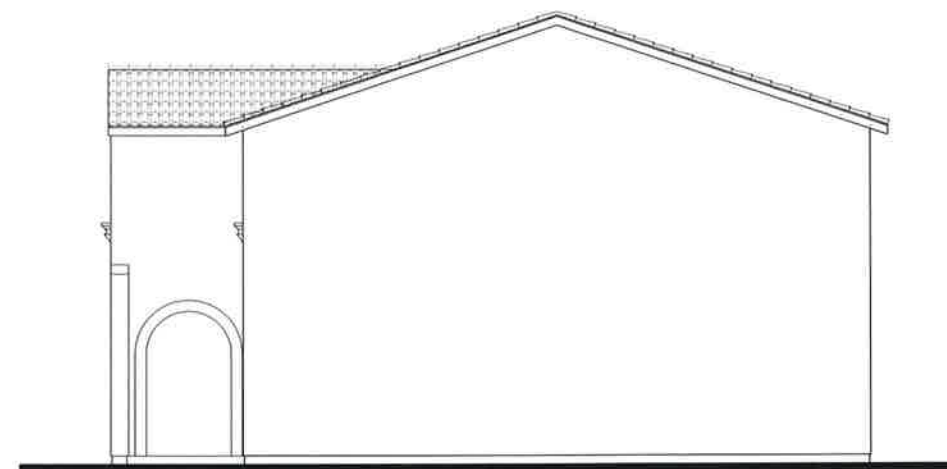
1/4" = 1'-0"



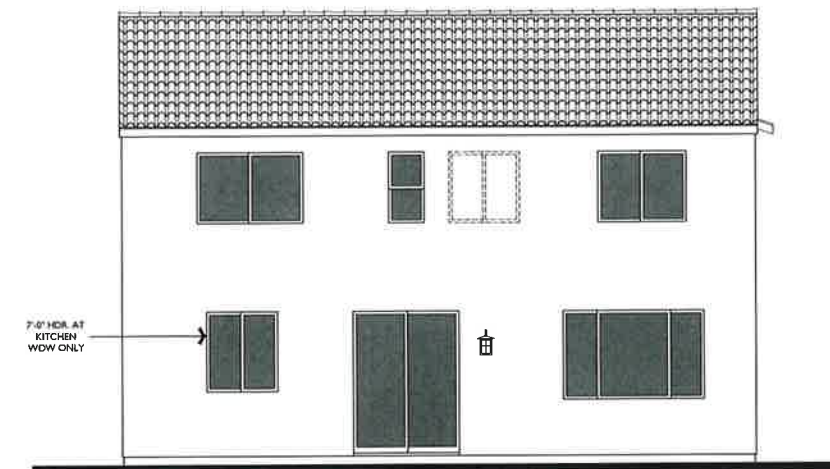
ROOF PLAN

B

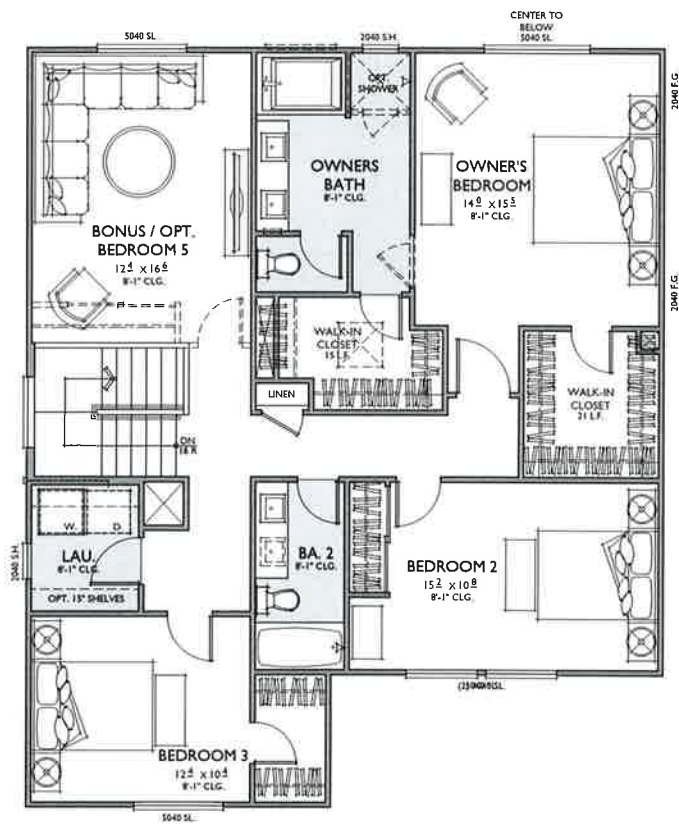
PITCH: 4:12
RAKE: TIGHT
EAVE: 12"
ROOF MATERIAL: CONCRETE 'S' TILE



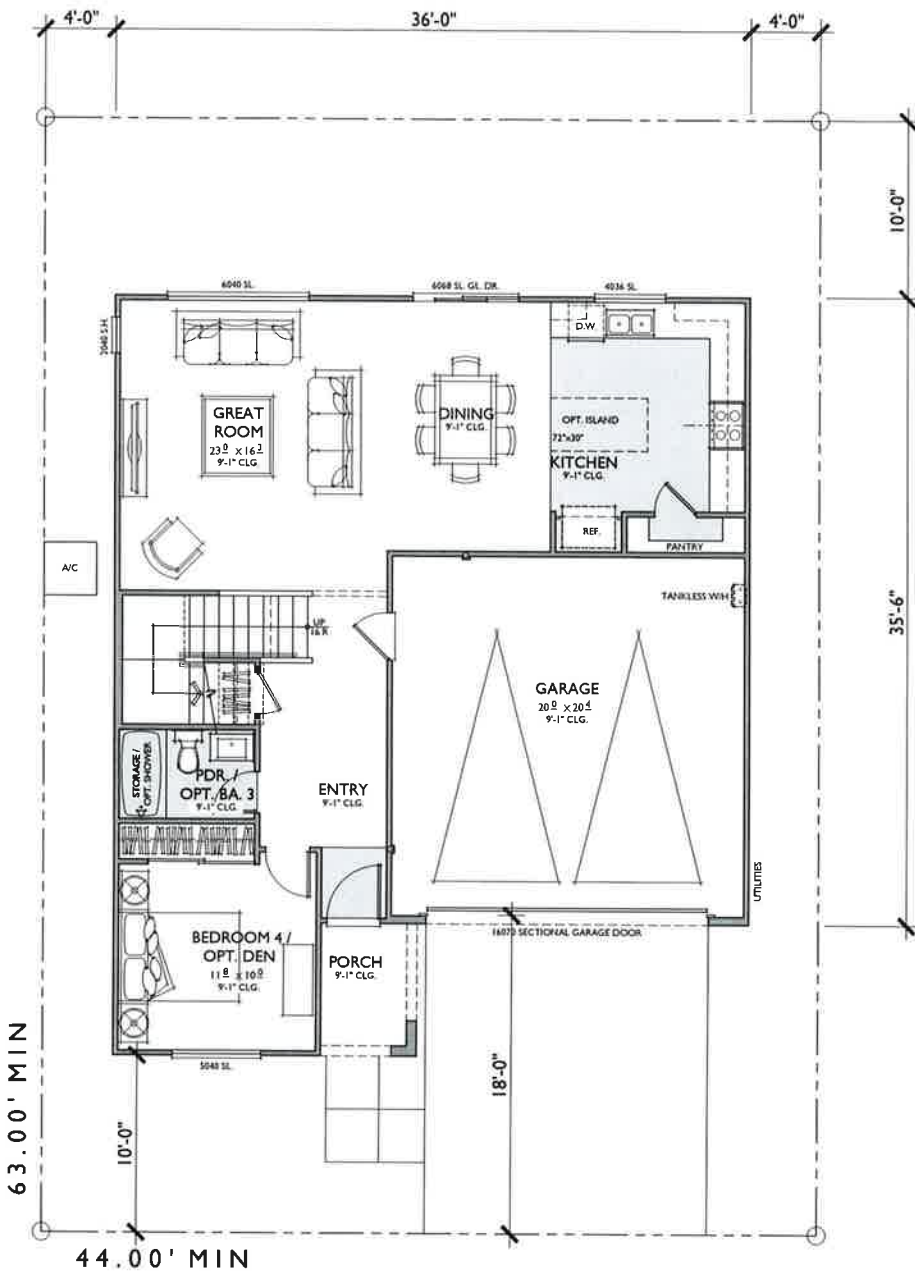
RIGHT



REAR



SECOND FLOOR



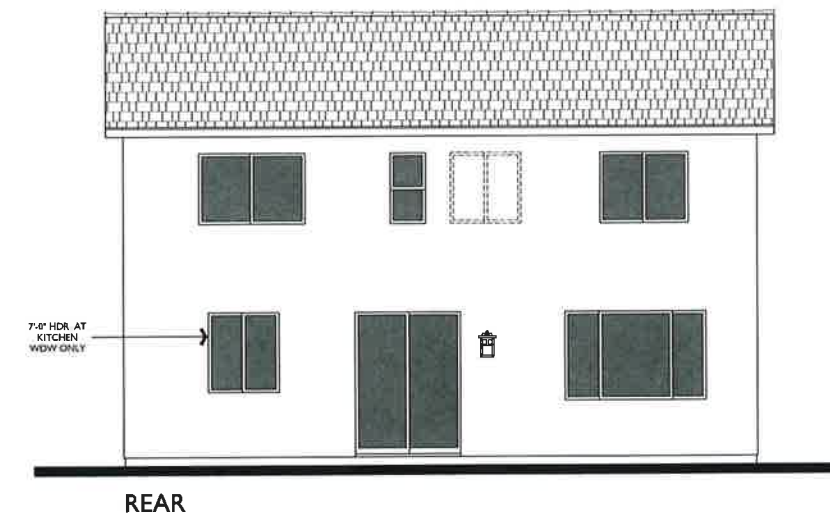
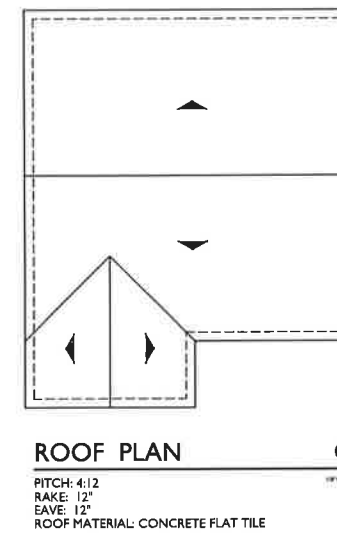
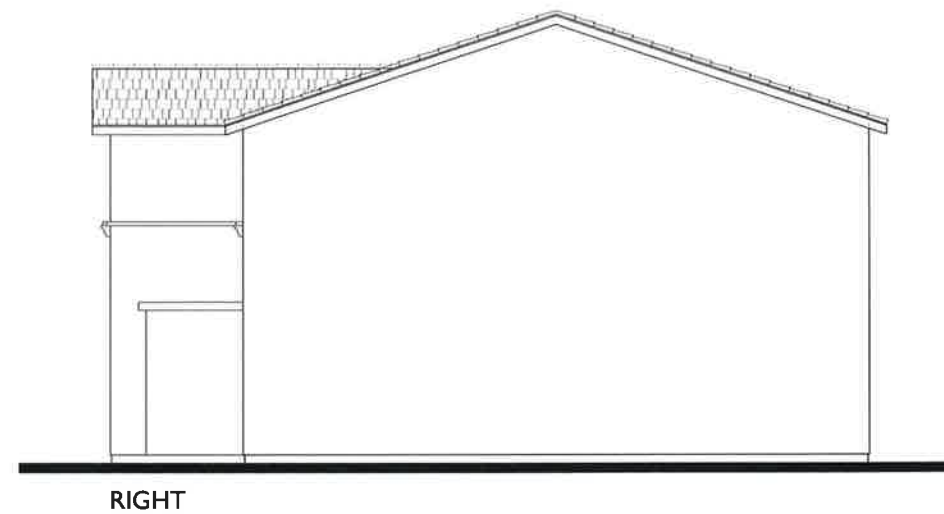
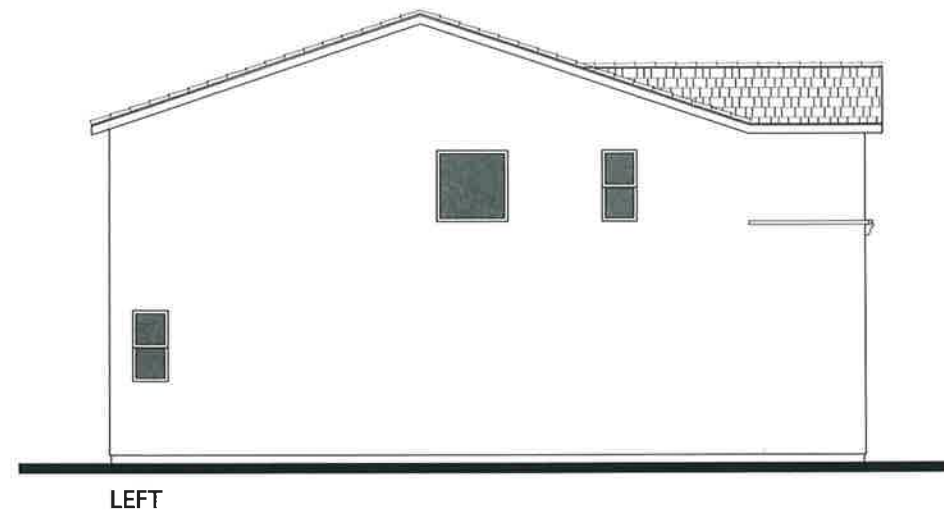
FIRST FLOOR

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TOTAL	13

LINEAR FEET OF KITCHEN CABS	
BASE CABINETS	18'-10"
UPPER CABINETS	15'-10"



WESTLAKE
City of Lake Elsinore, California
Conceptual Dry Utility
Composite Exhibit



TRANSFORMER LOADING		
25KVA	50KVA	75KVA
4 CUST	6 CUST	12 CUST

- LEGEND**
- 3" SCE PME-S (4" x 6")
 - 3" SCE 30 ELEC PAD (2' x 3' x 4')
 - 3" SCE ELEC PAD BOX (2' x 3' x 4')
 - 3" SCE 40 ELEC PAD (4' x 5')
 - 3" SCE ELEC HANDHOLE (17" x 30')
 - 3" TELEPHONE HANDHOLE (17" x 30')
 - 3" CABLE TV HANDHOLE (17" x 30')
 - JOINT PRIMARY TRENCH
 - JOINT SERVICE TRENCH



SCALE: 1:40

REVISIONS	
No.	Description

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NOT FOR CONSTRUCTION**
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E4 Utility Design is prohibited.

DESIGNED BY: J.R.
PROJECT NUMBER:
DATE: 01/25/10
PROJECT MANAGER: R.B.
SHEET: **DU-1**

EL SINORE VALLEY MUNICIPAL WATER DISTRICT
WESTLAKE - TM 33267
WATER & SEWER IMPROVEMENT PLANS
IN THE CITY OF LAKE ELSINORE, COUNTY OF RIVERSIDE

GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE ELSINORE VALLEY MUNICIPAL WATER DISTRICT (EVMWD) DESIGN AND CONSTRUCTION STANDARDS FOR WATER, RECYCLED WATER AND SANITARY SEWER FACILITIES.
- CONSTRUCTION MATERIALS TESTING AND INSPECTION SHALL COMPLY WITH STANDARDS AND SPECIFICATIONS AND SHALL MEET OR EXCEED THE REQUIREMENTS OF THE GOVERNING AGENCY, THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ("GREEN BOOK") AND THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) STANDARDS. FAILURE TO MEET ANY OF THE ABOVE REQUIREMENTS SHALL BE CAUSE FOR REJECTION.
- THE CONTRACTOR SHALL NOTIFY EVMWD (5) FIVE WORKING DAYS PRIOR TO BEGINNING WORK (951) 674-3146.
- DEPTH AND LOCATION OF EXISTING UNDERGROUND FACILITIES SHALL BE DETERMINED BY THE CONTRACTOR BY POT-HOLING AND A FIELD SURVEY OF ELEVATIONS AND SHALL BE GIVEN TO THE INSPECTOR PRIOR TO TRENCHING. THE CONTRACTOR SHALL ALSO CONTACT UNDERGROUND SERVICE ALERT (811) PRIOR TO ANY EXCAVATION WORK.
- ALL CONSTRUCTION AND OPERATIONS BY THE CONTRACTOR SHALL BE IN ACCORDANCE WITH CAL-OSHA REQUIREMENTS.
- THE CONTRACTOR SHALL KEEP A COMPLETE RECORD OF ALL CONSTRUCTION CHANGES AND SHALL MAKE INFORMATION AVAILABLE TO THE INSPECTOR FOR PREPARATION OF "AS BUILT" DRAWINGS. THE "AS BUILT" DRAWINGS SHALL BE SUBMITTED TO EVMWD FOR REVIEW PRIOR TO FINAL REVIEW AND ACCEPTANCE OF THE PROJECT.
- WHERE THE WATER MAIN AND SEWER CROSS STORM DRAINS, OTHER PIPELINES, TELEPHONE AND ELECTRIC DUCTS, OR SIMILAR INSTALLATIONS, A MINIMUM OF 12 INCHES OF VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN THE MAIN OR SEWER AND OTHER INSTALLATIONS UNLESS OTHERWISE DIRECTED BY EVMWD PERSONNEL.
- SEPARATION OF SEWER AND WATER LINES MUST COMPLY WITH EVMWD STANDARD PLANS S-3 OR W-2 AND SHALL MEET OR EXCEED THE REQUIREMENTS OF THE STATE OF CALIFORNIA, DEPARTMENT OF PUBLIC HEALTH TITLE 22, CHAPTER 16, ARTICLE 4, SECTION 64572.
- CONNECTIONS TO EXISTING EVMWD SEWER OR WATER LINES SHALL BE IN ACCORDANCE WITH STANDARD EVMWD PROCEDURES AND SHALL NOT BE MADE UNLESS EVMWD INSPECTOR IS PRESENT.
- UNLESS WAIVED BY EVMWD AN INSULATED COPPER SOLID CORE 10 GAGE TRACER WIRE SHALL BE PLACED WITH EACH SEWER MAIN TO ASSIST WITH FUTURE LOCATION. WARNING TAPE SHALL BE PLACED AT LEAST 6" ABOVE SEWER MAIN & SEWER LATERALS, BUT NOT DEEPER THAN 24" BELOW THE EXISTING FINISHED GRADE. WATER MAINS SHALL ALSO HAVE TRACER WIRE AND WARNING TAPE INSTALLED IN THE TRENCH.
- THE LENGTH OF OPEN TRENCH AT ANY ONE TIME SHALL BE LIMITED TO 600 FEET ALONG ROAD RIGHT-OF-WAY UNLESS OTHERWISE AGREED TO IN WRITING BY EVMWD. TRENCH SHALL BE BACKFILLED AND COMPACTED AT THE CONCLUSION OF EACH DAY. OPEN TRENCH LIMITS ARE SUBJECT TO CITY REQUIREMENTS.
- SURFACE IMPROVEMENTS DAMAGED OR REMOVED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE RECONSTRUCTED BY THE CONTRACTOR TO THE LOCAL GOVERNING AGENCY'S REQUIREMENTS AT THE CONTRACTOR'S EXPENSE.
- ALL REVISIONS TO THESE DRAWINGS MUST BE APPROVED BY EVMWD ENGINEERING MANAGER.
- IT IS THE PROJECT ENGINEER'S RESPONSIBILITY TO TIE OUT ANY EXISTING STREET MONUMENTATION EITHER VISIBLE OR BURIED, PRIOR TO CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ANY STREET MONUMENTATION IN PLACE. IF ANY MONUMENT IS DISTURBED OR DESTROYED, THE CONTRACTOR WILL BE REQUIRED TO CONTRACT WITH A REGISTERED LAND SURVEYOR FOR THE RE-ESTABLISHMENT AND MAPPING OF THE DESTROYED MONUMENT AT THE CONTRACTOR'S EXPENSE.
- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF EVMWD KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT ON RECORD OR NOT SHOWN ON THESE PLANS OR MARKED ON THE GROUND BY UNDERGROUND SERVICE ALERT.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OR CONTRACTOR TO APPLY FOR ANY NECESSARY ENCROACHMENT PERMIT FROM ALL GOVERNING AGENCIES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER TO STAMP A 2" HIGH "S", "W" OR "TW" ON THE CURB FACE FOR ALL SEWER, WATER, AND IRRIGATION LATERALS AT THE LOCATION WHERE THE LATERAL PASSES BENEATH THE CURB. A "V" SHALL BE STAMPED ON THE CURB FACE AT ALL VALVES.
- A STEEL ROD OR STAKE 6" ABOVE THE GROUND OR 10 GAGE COPPER WIRE WITH 2" COPPER TAG, SHALL BE INSTALLED AT THE END OF EACH SEWER LATERAL TO ASSIST IN LOCATING AT A LATER DATE. IN NEW TRACT DEVELOPMENT A 3"x8" PVC PIPE OR 2"x4"x8" BOARD SHALL BE USED TO MARK THE ENDS OF LATERALS.

GENERAL NOTES (CONT.)

- ALL SEWERS SHALL BE BALLED, AIR TESTED, MANDREL TESTED AND CCTV INSPECTED PRIOR TO ACCEPTANCE BY THE DISTRICT. AIR TEST SHALL BE PER UNI-B-6; MANDREL TEST SHALL BE IN ACCORDANCE WITH SECTION 306-1.2.12 OF THE STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION AND CLOSED CIRCUIT TELEVISION INSPECTION PER DISTRICT STANDARDS.
- A PROPERTY LINE CLEANOUT WILL BE INSTALLED 5'-1/2' DEEP MINIMUM, OUTSIDE OF RIGHT-OF-WAY LINE. THE 1/4" BEND AND 45° WYE CONNECTION SHALL BE POLYVINYL CHLORIDE (PVC) OR ACRYLONITRILE BUTADIENE STYRENE (ABS).
- PROTECT PIPE, JOINTS, LINING AND COATING, AND BED PIPE CAREFULLY TO PROVIDE CONTINUOUS BEARING AND PREVENT UNEVEN SETTLEMENT. PIPE SHALL BE PROTECTED AGAINST FLOTATION AT ALL TIMES. OPEN ENDS OF THE INSTALLED SEWER PIPE SHALL BE SEALED AT ALL TIMES WHEN CONSTRUCTION IS NOT IN PROCESS.
- PIPE JOINTS SHALL NOT BE DEFLECTED GREATER THAN 80% OF THE MAXIMUM ANGLE RECOMMENDED BY THE PIPE MANUFACTURER.
- SEWER AND WATER PIPE TRENCH BACKFILL SHALL BE IN ACCORDANCE WITH EVMWD STANDARD DRAWINGS S-1 & W-3 AND THE GOVERNING AGENCY. A FULL TIME SOILS TECHNICIAN MUST BE ON SITE DURING BACKFILLING AND COMPACTION.
- ALL SERVICE LATERALS SHALL BE LOCATED AT RIGHT ANGLES TO THE MAIN UNLESS OTHERWISE INDICATED ON THE PLANS AND ACCEPTED BY EVMWD. MATERIALS FOR LATERALS SHALL MEET EVMWD SPECIFICATIONS. SEWER ELEVATIONS SHOWN ARE FLOWLINE (CONDUIT INVERT).
- MINIMUM COVER FOR ALL WATER MAINS LESS THAN 12 INCHES IN DIAMETER SHALL BE 3.5 FEET. WATER MAINS 12 INCHES AND GREATER SHALL HAVE A MINIMUM COVER OF 4 FEET. MAXIMUM COVER FOR WATER MAINS SHALL BE 8 FEET, UNLESS ACCEPTED BY THE EVMWD ENGINEERING MANAGER.
- WHEREVER VALVES ARE TO BE INSTALLED, THE INVERT SLOPE OF THE MAIN SHALL NOT EXCEED SIX PERCENT. VALVES SHALL BE LOCATED SO THAT THERE WILL BE A MINIMUM CLEARANCE OF 6 INCHES BETWEEN THE TOP OF THE VALVE AND THE BOTTOM OF THE VALVE BOX COVER AT STREET SECTIONS.
- THE MINIMUM CLEARANCE BETWEEN FIRE HYDRANTS AND UTILITY POLES, LIGHT STANDARDS AND SIGN POSTS SHALL BE 3 FEET.
- NO WATER METER BOXES SHALL BE INSTALLED IN DRIVEWAYS OR SIDEWALKS. METER BOXES SHALL BE SET AT HIGH GRADE TO ELIMINATE WATER RUNOFF. INSTALL REDUCED PRESSURE PRINCIPLE OR BACK FLOW DEVICE AFTER IRRIGATION METER. INSTALL A PRESSURE REGULATOR ON HOMES OR BUSINESSES IF THE PRESSURE IS OVER 80 PSI. A PRESSURE REGULATOR SHALL BE INSTALLED PRIOR TO ENTERING IN THE PIPING THE HOUSE/BUILDING PLUMBING.
- ANY CHANGE IN FLOW DIRECTION (BENDS, TEES, FIRE HYDRANTS, ETC.) SHALL UTILIZE RESTRAINED DUCTILE IRON PIPE AND FITTINGS, IN LIEU OF THRUST BLOCKS.
- AIR VALVES SHALL BE INSTALLED AT HIGH POINTS AND BLOWOFFS AT ALL LOW POINTS ON THE LINE AS PER EVMWD STANDARD DRAWINGS W-16 AND W-17.
- IF REQUIRED, A RESERVOIR AND BOOSTER PUMP STATION WILL HAVE TO BE CONSTRUCTED AND IN SERVICE BEFORE ANY SERVICE CAN BE PROVIDED TO THE UNITS CONSTRUCTED WITHIN THIS SUBDIVISION.
- PRIOR TO PAVING THE STREET SECTION, ALL UNDERGROUND FACILITIES WITH LATERALS, INCLUDING BUT NOT LIMITED TO SEWER, WATER, TELEPHONE, ELECTRIC POWER, GAS, CABLE TELEVISION AND DRAINAGE FACILITIES SHALL BE IN PLACE, TESTED AND ACCEPTED BY THE RESPONSIBLE UTILITY/AGENCY.
- HOUSE SLAB ELEVATIONS THAT ARE LOWER THAN THE UPSTREAM MANHOLE RIM ELEVATION SHALL BE EQUIPPED WITH BACKWATER VALVES. THE PROJECT ENGINEER SHALL INDICATE ON THE SEWER LATERAL TABLE WHICH LOTS ARE INVOLVED.
- PRIOR TO THE CONSTRUCTION OF ANY BACKFLOW PROTECTION DEVICE, THE CONTRACTOR SHALL NOTIFY THE DISTRICT BACKFLOW ASSEMBLY INSPECTOR 24 HOURS PRIOR TO THE CONSTRUCTION OF ASSEMBLY. THE DISTRICT BACKFLOW INSPECTOR SHALL PROVIDE FINAL INSPECTION, TESTING AND ACCEPTANCE PRIOR TO TURNING ON THE WATER SUPPLY.
- SURVEY STAKING FOR WATER PIPELINES IS AT 50-FOOT INTERVALS PLUS ALL APPURTENANCES, HORIZONTAL ALIGNMENT CHANGES, SURVEY STAKING FOR SEWER PIPELINES IS AT 25-FOOT INTERVALS PLUS ALL LATERALS, MANHOLES IN AND OUT, APPURTENANCES, CLEANOUTS, HORIZONTAL & VERTICAL ALIGNMENT CHANGES.
- ALL WATER VALVES IN UNPAVED AREAS SHALL BE SURROUNDED BY AN ASPHALT PAD INSTALLED IN ACCORDANCE WITH EVMWD STANDARD DRAWING W-27. A VALVE MARKER SHALL BE INSTALLED IN UNPAVED AREAS IN ACCORDANCE WITH EVMWD STANDARD DRAWING W-28.
- ALL MANHOLES INSTALLED IN UNPAVED AREAS SHALL BE SURROUNDED BY AN ASPHALT PAD INSTALLED IN ACCORDANCE WITH EVMWD STANDARD DRAWING S-10.
- ALL FACILITIES LOCATED DOWNSTREAM OF THE WATER METER AND FIRE DETECTOR CHECK METER ARE PRIVATE AND ARE TO BE MAINTAINED BY THE OWNER.
- INTERIOR OF SEWER MANHOLES SHALL RECEIVE SPRAY-ON EPOXY COATING OR POLYURETHANE LINING. REFER TO ACCEPTED MATERIALS GUIDELINE LIST OF APPROVED MANUFACTURERS.

SHEET INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	INDEX MAP AND CONSTRUCTION NOTES
3	DATA TABLES
4	LATERAL DATA TABLES
5	WESTLAKE POINTE CAPSTAN COURT
6	PACIFICA PLACE STA 10+00.00 TO 17+50.00
7	PACIFICA PLACE STA 17+50.00 TO 21+21.47 TEMPE STREET
8	MIDDLEGATE PLACE STA 10+00.00 TO 17+50.00
9	MIDDLEGATE PLACE STA 17+50.00 TO 22+27.99 BASIN SEWER LINE
10	CROWN POINT LANE STA 10+00.00 TO 17+50.00
11	CROWN POINT LANE STA 17+50.00 TO 22+25.73
12	SHORECREST WAY, HALYARD COURT
13	BREEZEPORT WAY, INLET WAY

ASSESSOR'S PARCEL NUMBERS

379-050-006, 379-050-034

LEGAL DESCRIPTION

THAT PORTION OF LOTS 1 AND 2 IN BLOCK "C" OF THE LA LAGUNA RANCH, INT. E. CITY OF LAKE ELSINORE, AS SHOWN BY MAP ON FILE IN BOOK 1 PAGE(S) 36 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA

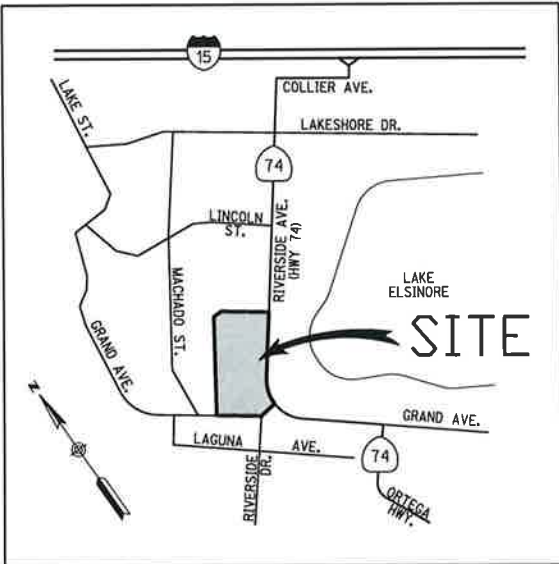
WATER RIGHTS STATEMENT

AS A CONDITION OF SERVICE, THE APPLICANT SHALL EXECUTE A NOTARIZED GRANT DEED CONVEYING TO THE DISTRICT ALL RIGHTS TO WATER, INCLUDING SURFACE AND GROUNDWATER RIGHTS OVER, UPON AND UNDER THE PROPERTY AND WHICH ARE APPURTENANT THERETO OR ARE OTHERWISE ASSOCIATED WITH THE PROPERTY. THE DISTRICT SHALL PROVIDE THE APPLICANT WITH A GRANT DEED, THE GRANT DEED SHALL BE COMPLETED AND RETURNED TO THE DISTRICT, AND SHALL BE RECORDED WITH THE COUNTY RECORDER'S OFFICE.

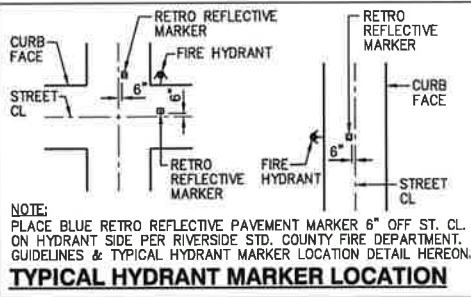
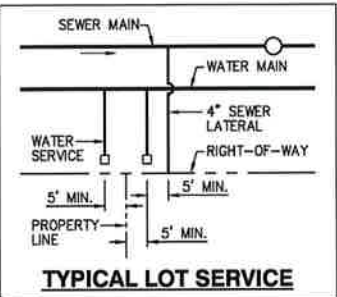
RECORDED DOCUMENT # _____

NOTIFICATIONS

NOTE: THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES FORTY-EIGHT (48) HOURS PRIOR TO STARTING CONSTRUCTION OR EXCAVATION.
CITY OF LAKE ELSINORE 1-951-674-3124
EL SINORE VALLEY MUNICIPAL WATER DISTRICT 1-951-674-3146
VERIZON TELEPHONE 1-951-225-3617
SOUTHERN CALIFORNIA GAS COMPANY 1-909-335-7530
SOUTHERN CALIFORNIA EDISON COMPANY 1-714-796-9920
ADELPHIA CABLEVISION 1-909-652-0020
UNDERGROUND SERVICE ALERT (U.S.A.) 1-800-227-2600



VICINITY MAP
NOT TO SCALE



Underground Service Alert  TWO WORKING DAYS BEFORE YOU DIG		THE DESIGN AND CONSTRUCTION OF THE PROJECT AS WELL AS THE ACCURACY OF FIGURES, ARE THE RESPONSIBILITY OF THE DESIGN ENGINEER. PLAN CHECK SERVICES BY E.V.M.W.D. WILL BE LIMITED TO ADHERENCE OF THE DISTRICT'S STANDARDS, MATERIALS, QUANTITIES AND SIZE OF FACILITIES, AS THEY RELATE TO THE SERVICE DEMANDS OR THE APPROVED MASTER PLAN.		RIVERSIDE COUNTY FIRE DEPARTMENT APPROVED BY: _____ DATE: _____		I CERTIFY THAT THE DESIGN OF THE WATER SYSTEM IS IN ACCORDANCE WITH THE REQUIREMENTS PRESCRIBED BY THE RIVERSIDE COUNTY FIRE DEPARTMENT BARRY J. COWAN DATE: _____		BENCHMARK ELEVATION: XX DATE: XX DATUM: XX DESCRIPTION: CA DOT BM 13-B-93 LOCATION WESTERLY CURB RIVERSIDE DRIVE OPPOSITE FIRE HYDRANT AND 365 FEET NORTHERLY OF JOY STREET.		VERIFY SCALES BAR IS ONE INCH ON ORIGINAL DRAWING 0 1 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY		EXISTING UTILITY DISCLAIMER NOTE APPROVAL OF THIS PLAN BY THE ELSINORE VALLEY MUNICIPAL WATER DISTRICT DOES NOT CONSTITUTE A REPRESENTATION AS TO THE ACCURACY OF THE LOCATION OF, OR THE EXISTENCE OF, ANY UNDERGROUND UTILITY, PIPE, OR STRUCTURE WITHIN THE LIMITS OF THIS PROJECT.		OWNER/DEVELOPER PARDEE HOMES 1250 CORONA POINTE COURT, SUITE 600 CORONA, CA 92879 (951) 428-4400	
WATER/SEWER APPROVED BY: EL SINORE VALLEY MUNICIPAL WATER DISTRICT		REV BY DATE		REVISIONS		APPR. DATE		SUBMITTED BY: BARRY J. COWAN R.C.E. 46568 EXP. 6/30/19		PLANS PREPARED BY:  36 DISCOVERY - SUITE 240 IRVINE, CA 92618 949-588-0707 J-18109		EL SINORE VALLEY MUNICIPAL WATER DISTRICT WATER AND SEWER IMPROVEMENT PLANS WESTLAKE - TM 33267 TITLE SHEET		SHEET NO. 1 OF 13 SHTS FILE NO. XX	
ASSISTANT GENERAL MANAGER DATE		DESIGNED BY: DB		DRAWN BY: DB		CHECKED BY: XX		DATE:		RES: XX		P.Z.: XX		PLAN SET DATE: 6/29/2018 © 2018 Rick Engineering Company	

##



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DESCRIPTION: CENTER LINE OF GRAND AVENUE, N52°53'08"W

BAR IS ONE INCH ON
ORIGINAL DRAWING

0 1
IF NOT ONE INCH ON
THIS SHEET, ADJUST
SCALES ACCORDINGLY

BARRY J. COWAN R.C.E. 48568
EXP. 6/30/19

DATE: _____

DESIGNED BY: DK

DRAWN BY: DK

CHECKED BY: DB



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LATERAL DATA TABLES

RES: _____

P.Z.: 1750

PLAN SET DATE: 09/02/15

PRELIMINARY
NOT FOR CONSTRUCTION

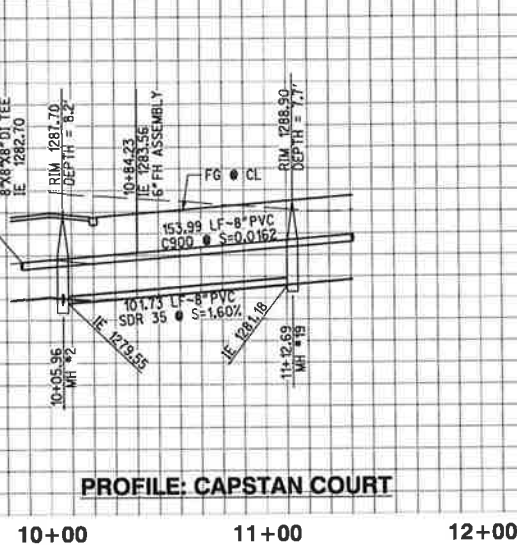
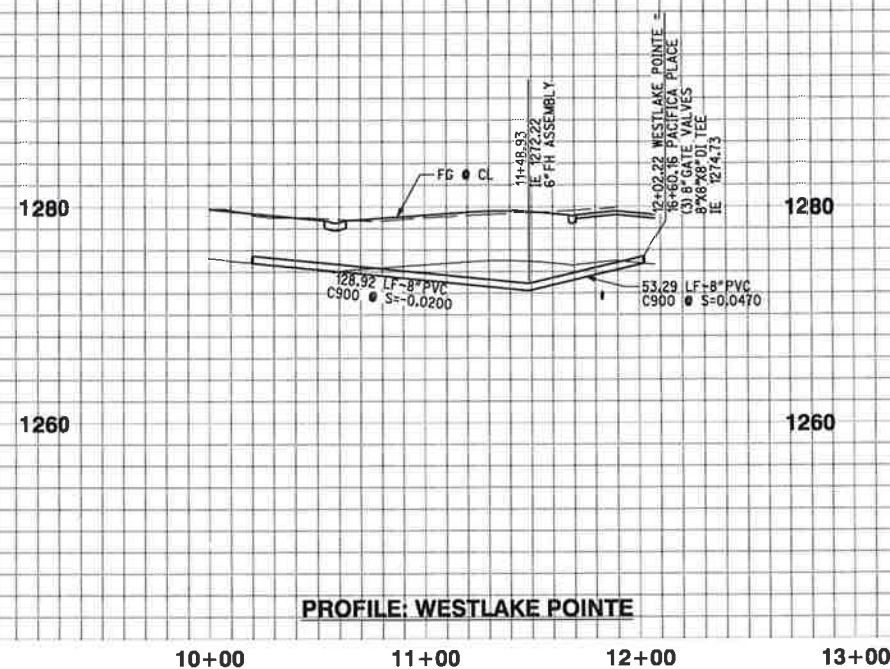
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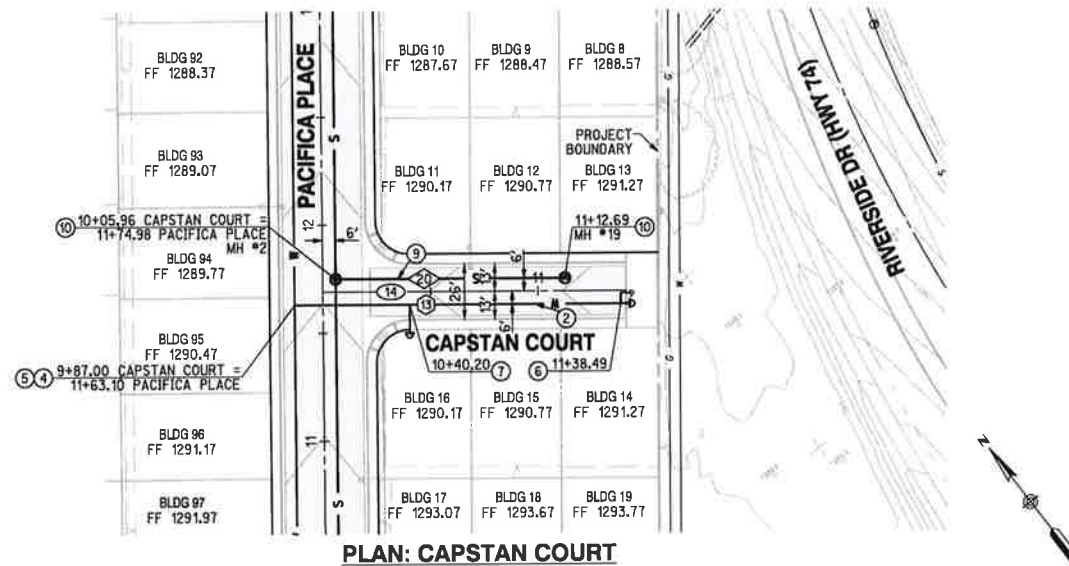
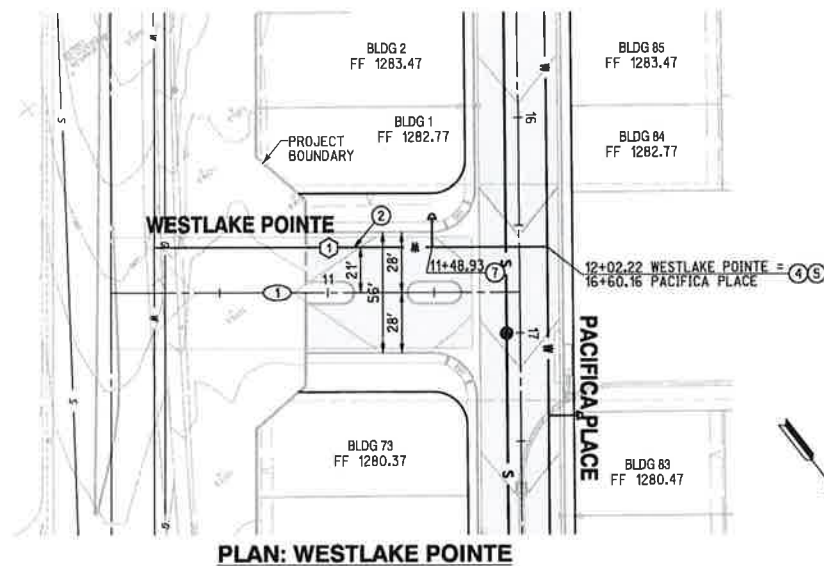
OF 13 SHTS

FILE NO.

ENG. W.O.# XXXX-XXX INSPECTION W.O.#



PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=8'



WATER CONSTRUCTION NOTES

1. INSTALL HIGH DEFLECTION COUPLING (DI FITTINGS WITH RESTRAINED JOINTS AND THRUST BLOCKS)
2. INSTALL 8" PVC C900 WATER MAIN (CL-235) PER EVMWD STD W-3, WITH RESTRAINED JOINTS PER EVMWD STD W-4.
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SEWER CONSTRUCTION NOTES

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10. CONSTRUCT 5' DIAMETER SEWER MANHOLE PER EVMWD STD S-5
11. INSTALL 4" PVC SDR-35 SEWER LATERAL PER EVMWD STD S-12, S-13 & S-14.

Underground Service Alert



TWO WORKING DAYS BEFORE YOU DIG

BASIS OF BEARING

DESCRIPTION: CENTER LINE OF GRAND AVENUE, N52°53'08"W

VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING

0 1

IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

SUBMITTED BY:

BARRY J. COWAN R.C.E. 46568 EXP. 6/30/19

DATE:



GRAPHIC SCALE 1" = 40'

PLANS PREPARED BY:

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ELSOR VALLEY MUNICIPAL WATER DISTRICT

WATER AND SEWER IMPROVEMENT PLANS

WESTLAKE - TM 33267

WESTLAKE POINTE, CAPSTAN COURT

RES: _____

P.Z.: 1750

PRELIMINARY
NOT FOR CONSTRUCTION

SHEET NO.

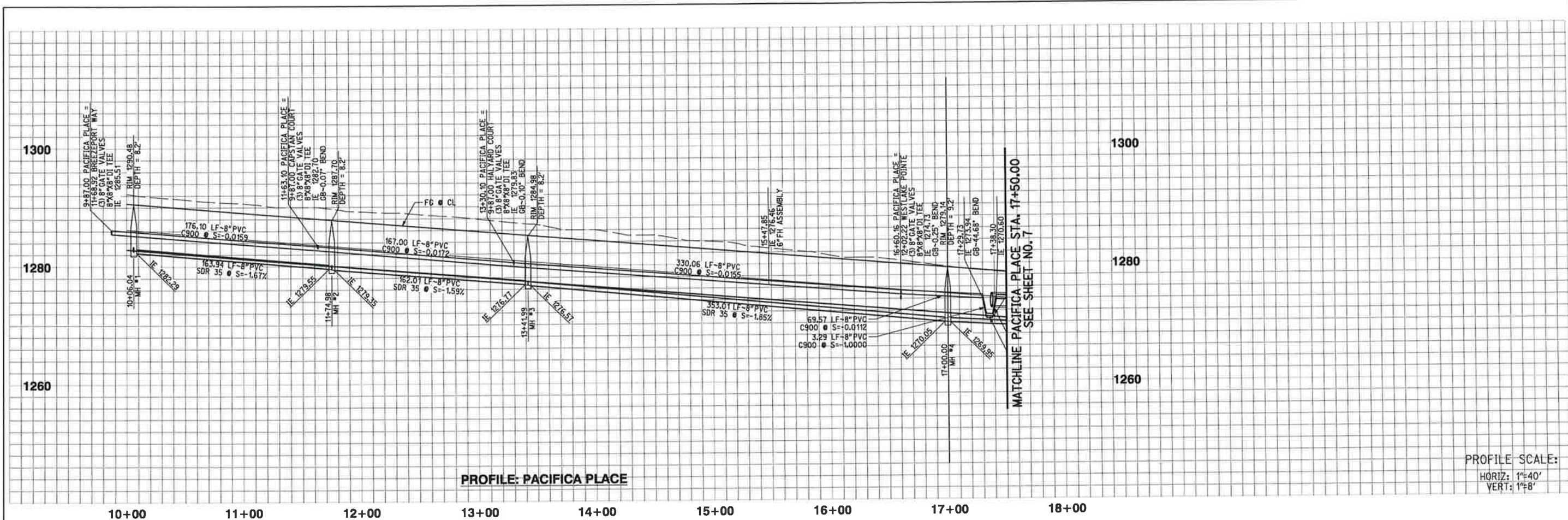
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OF 13 SHTS

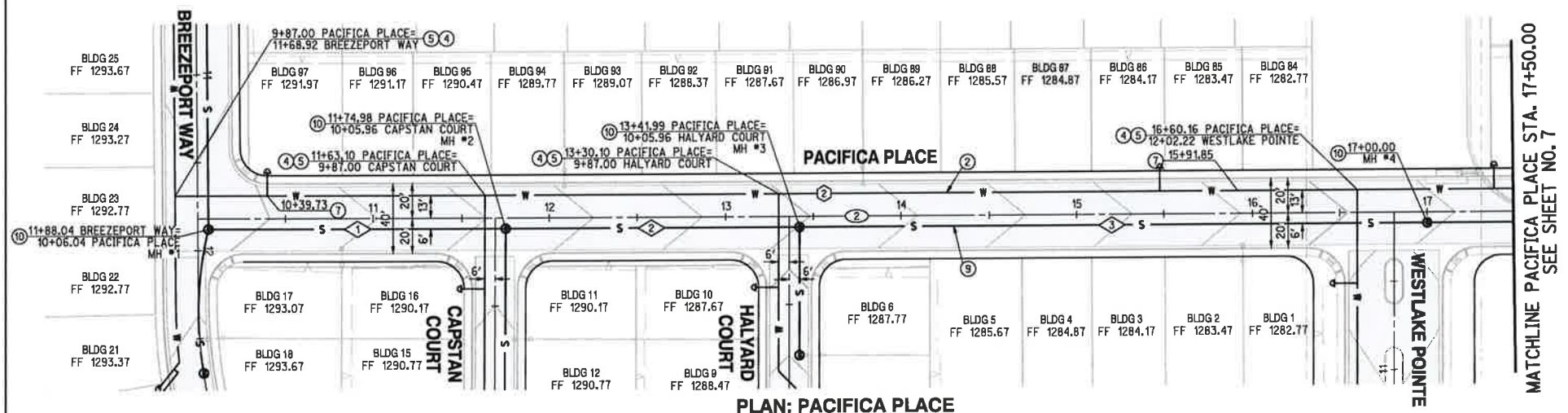
FILE NO.

XX

PLAN SET DATE: 09/02/15



PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=8'



- WATER CONSTRUCTION NOTES**
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Underground Service Alert

811

TWO WORKING DAYS BEFORE YOU DIG

BASIS OF BEARING

DESCRIPTION: CENTER LINE OF GRAND AVENUE, N52°53'08"W

VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING

0 1

IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

SUBMITTED BY:

BARRY J. COWAN R.C.E. 46588 EXP. 6/30/19

DATE:

GRAPHIC SCALE 1" = 40'

0 20 40 80 120

DESIGNED BY: DK

DRAWN BY: DK

CHECKED BY: DB

PLANS PREPARED BY:

RICK ENGINEERING COMPANY

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IRVINE, CA 92618
949-588-0707

J-18190

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SEE SHEET 3 FOR DATA TABLES

ELSOR VALLEY MUNICIPAL WATER DISTRICT

WATER AND SEWER IMPROVEMENT PLANS
WESTLAKE - TM 33267

PACIFICA PLACE STA 10+00.00 TO 17+50.00

RES: _____ P.Z: 1750

PRELIMINARY

NOT FOR CONSTRUCTION

SHEET NO. 6

OF 13 SHTS

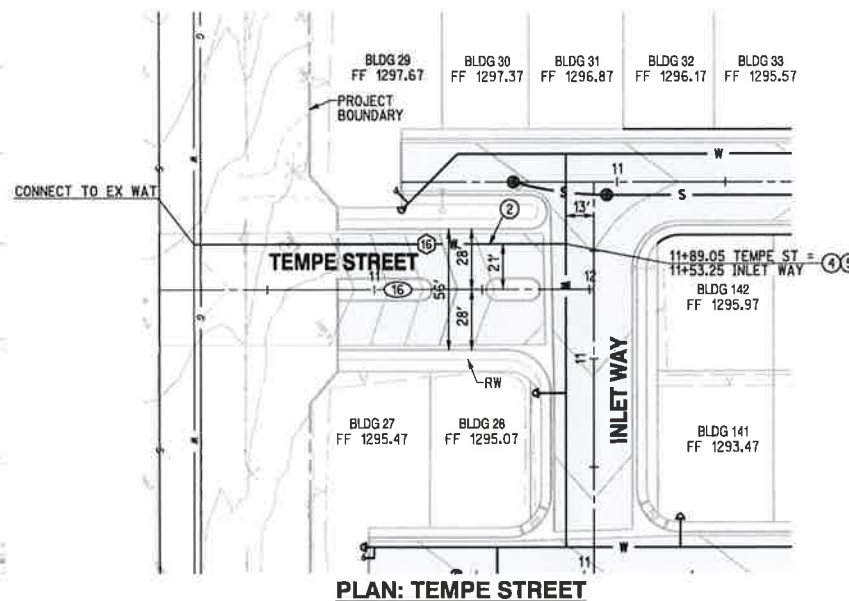
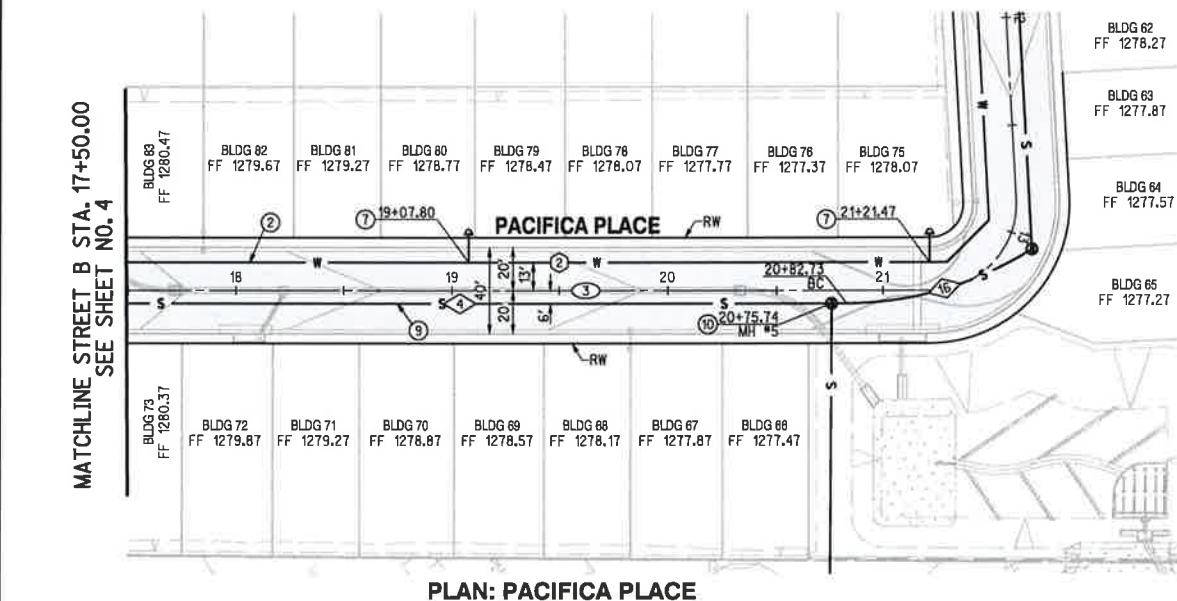
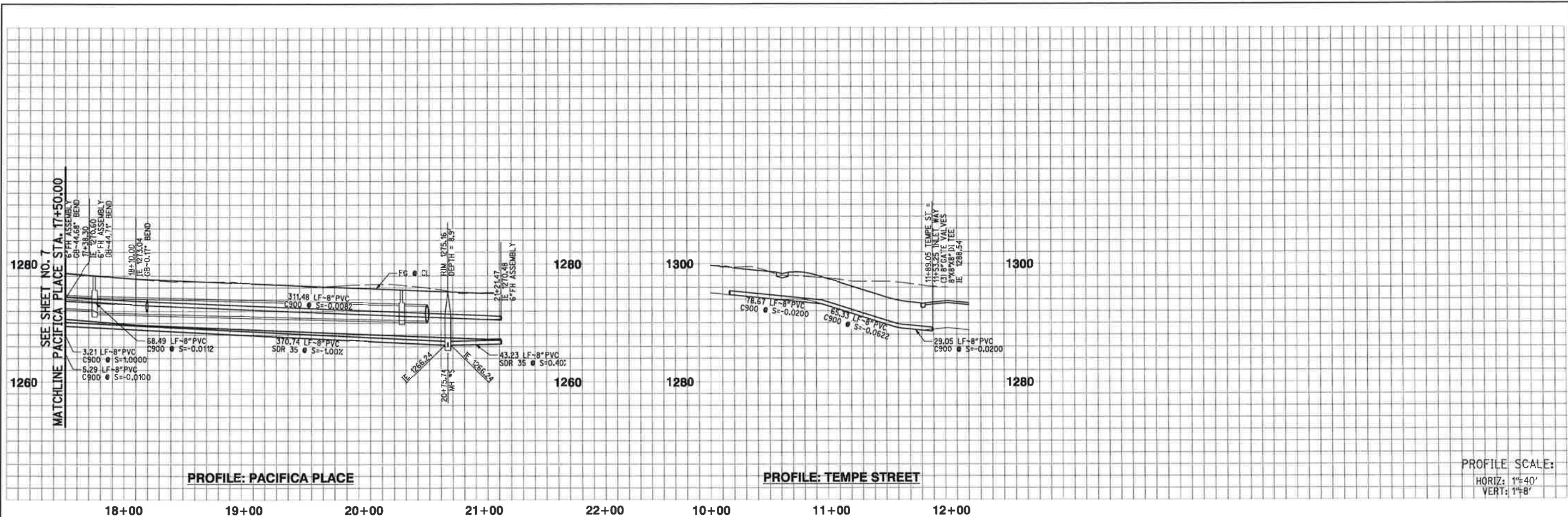
FILE NO. XX

ENG. W.O.# XXXX-XXX

INSPECTION W.O.#

PLAN SET DATE: 09/02/15

Q:\18190-0 The Village at Lakeshore\18190-0.dgn
Q:\18190-0 The Village at Lakeshore\18190-0.dgn
25-SEP-2018 13:06



WATER CONSTRUCTION NOTES

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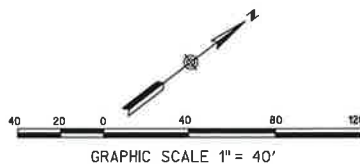
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BASIS OF BEARING
DESCRIPTION: CENTER LINE OF GRAND AVENUE, N52°53'08"W

VERIFY SCALES
BAR IS ONE INCH ON ORIGINAL DRAWING
0 1
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

SUBMITTED BY:
BARRY J. COWAN
R.C.E. 46568
EXP. 6/30/19
DATE:



REV	BY	DATE	REVISIONS	APPR.	DATE

DESIGNED BY: DK DRAWN BY: DK CHECKED BY: DB



PLANS PREPARED BY:
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Orange

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IRVINE, CA 92618
949-568-0707

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ELLSINORE VALLEY MUNICIPAL WATER DISTRICT
WATER AND SEWER IMPROVEMENT PLANS
WESTLAKE - TM 33267
PACIFICA PLACE STA 17+50.00 TO 21+21.47
TEMPE STREET

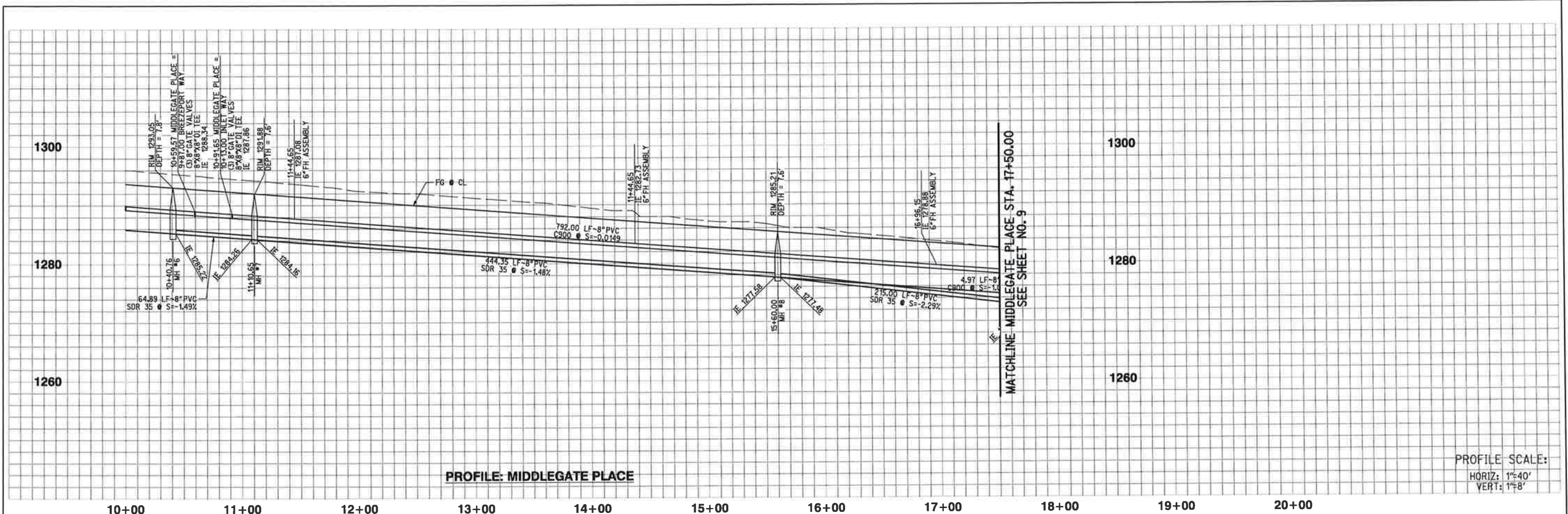
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PRELIMINARY
NOT FOR CONSTRUCTION

SHEET NO.
7
OF 13 SHTS
FILE NO.
XX

PLAN SET DATE: 09/02/15

ENG. W.O.# XXXX-XXX INSPECTION W.O.#

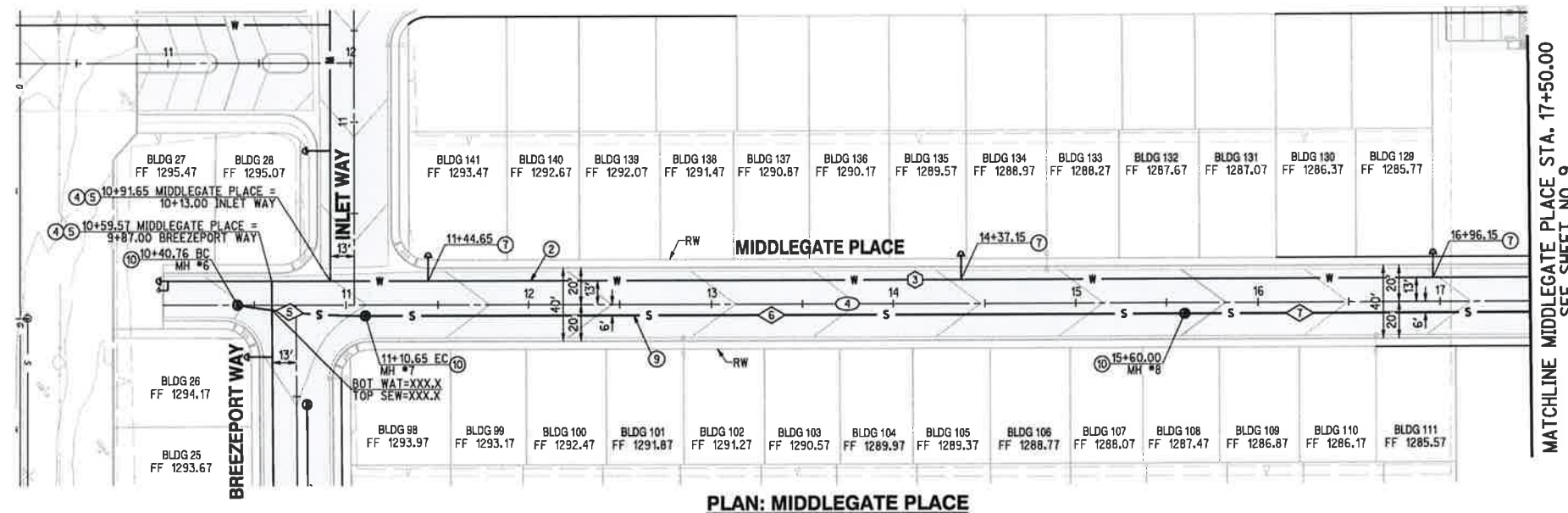


WATER CONSTRUCTION NOTES

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Underground Service Alert



TWO WORKING DAYS BEFORE YOU DIG

BASIS OF BEARING

DESCRIPTION: CENTER LINE OF GRAND AVENUE, N52°53'08"W

VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING

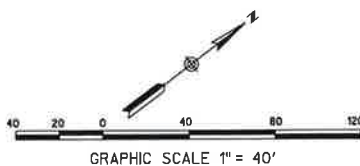
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IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

SUBMITTED BY:

BARRY J. COWAN R.C.E. 46568 EXP. 6/30/19

DATE:



GRAPHIC SCALE 1" = 40'



PLANS PREPARED BY:

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ENGINEERING COMPANY
Orange

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949-588-0707

J-18190

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SEE SHEET 3 FOR DATA TABLES

ELSINORE VALLEY MUNICIPAL WATER DISTRICT

WATER AND SEWER IMPROVEMENT PLANS

WESTLAKE - TM 33267

MIDDLEGATE PLACE STA 10+00.00 TO 17+50.00

RES: P.Z: 1750

PRELIMINARY
NOT FOR CONSTRUCTION

SHEET NO.

8

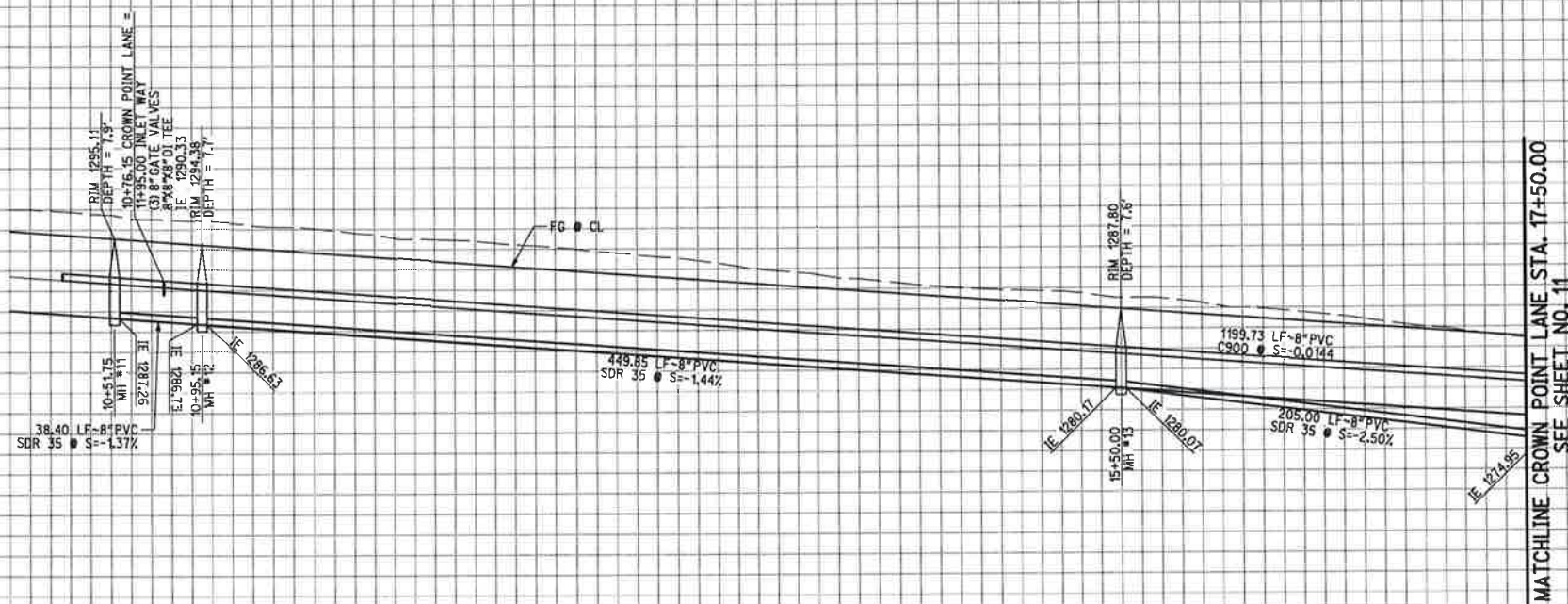
OF 13 SHTS

FILE NO.

XX

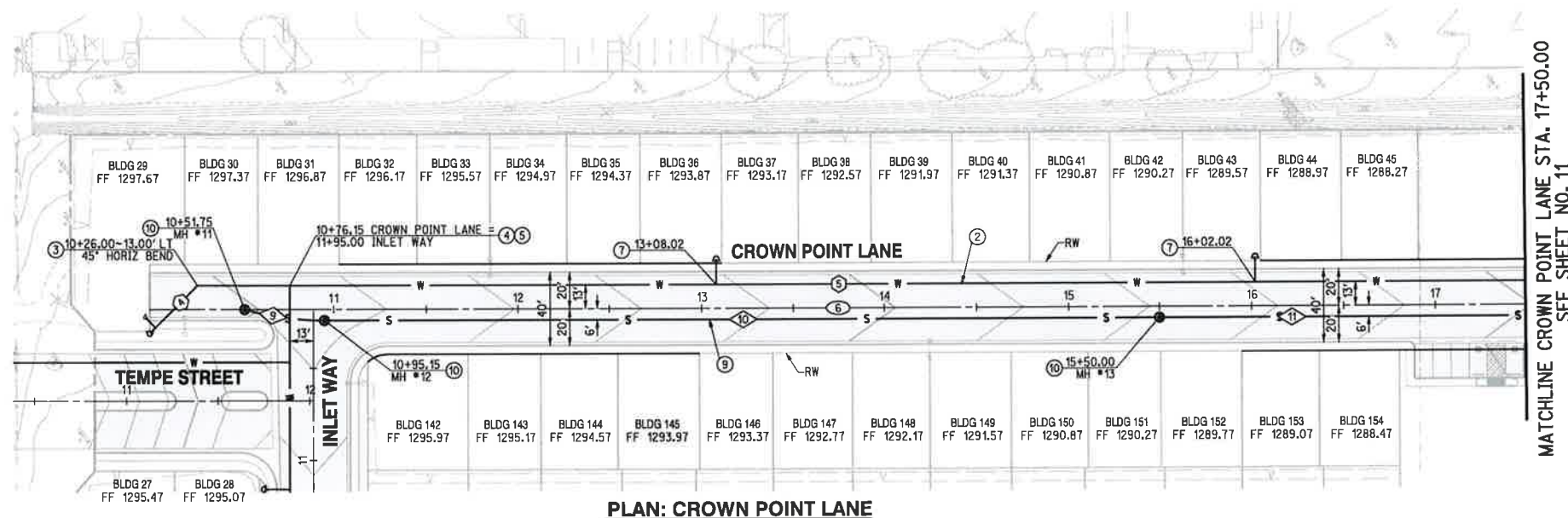
PLAN SET DATE: 09/02/15

1300
1280
1260



PROFILE: CROWN POINT LANE

PROFILE SCALE:
HORIZ: 1"=40'
VERT: 1"=8'



PLAN: CROWN POINT LANE

WATER CONSTRUCTION NOTES

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Underground Service Alert



TWO WORKING DAYS BEFORE YOU DIG

BASIS OF BEARING

DESCRIPTION: CENTER LINE OF GRAND AVENUE, N52°53'06"W

VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING

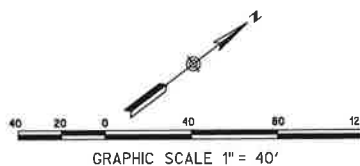
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IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

SUBMITTED BY:

BARRY J. COWAN R.C.E. 46568 EXP. 6/30/19

DATE:



GRAPHIC SCALE 1" = 40'

PLANS PREPARED BY:

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SEE SHEET 3 FOR DATA TABLES

ELSINORE VALLEY MUNICIPAL WATER DISTRICT

WATER AND SEWER IMPROVEMENT PLANS

WESTLAKE - TM 33267

CROWN POINTE LANE STA 10+00.00 TO 17+50.00

RES:

P.Z.: 1750

PRELIMINARY
NOT FOR CONSTRUCTION

SHEET NO.

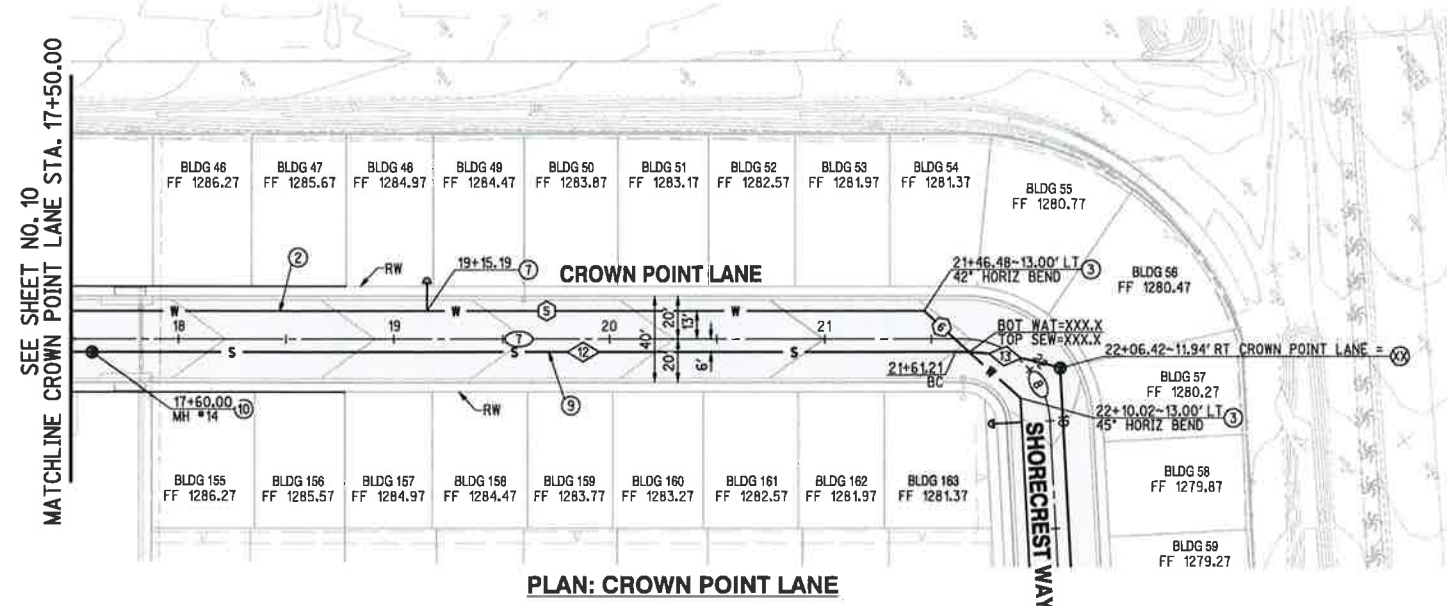
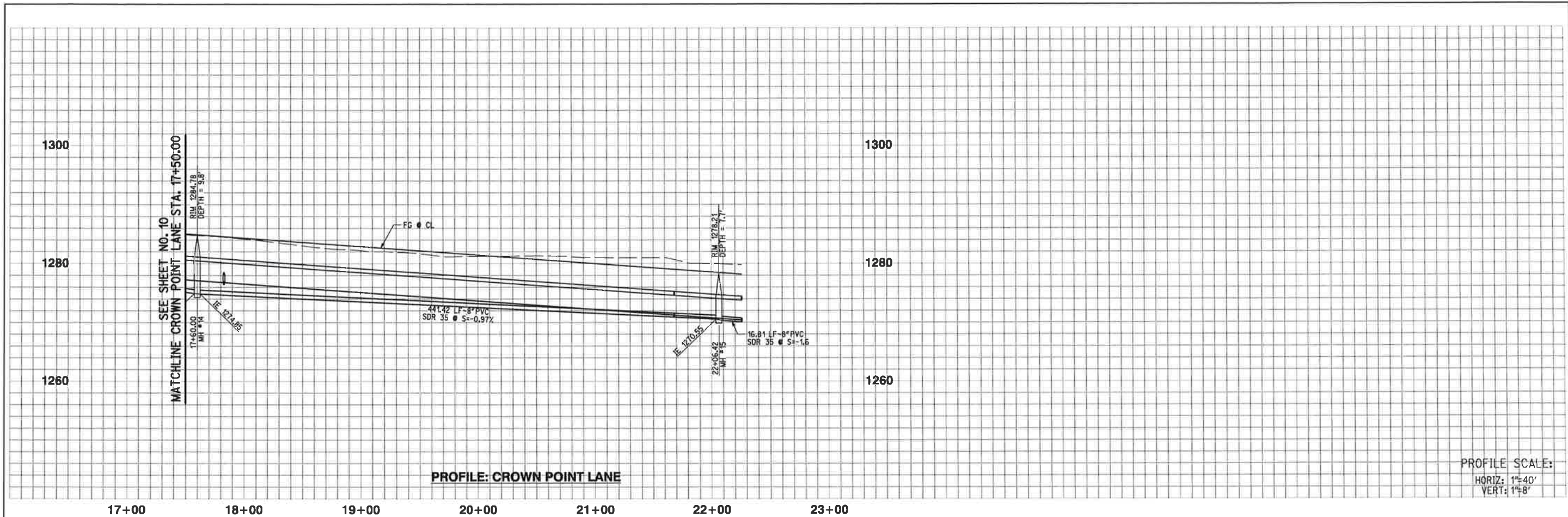
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OF 13 SHTS

FILE NO.

XX

PLAN SET DATE: 09/02/15



WATER CONSTRUCTION NOTES

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0:\18190-0 The Village at Lakeshore\18190-0.dgn
0:\18190-0 The Village at Lakeshore\18190-0.dgn
25-SEP-2018 13:06

Underground Service Alert



TWO WORKING DAYS BEFORE YOU DIG

BASIS OF BEARING

DESCRIPTION: CENTER LINE OF GRAND AVENUE, N52°53'08"W

VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING

0 1

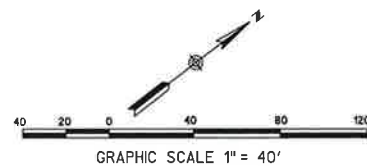
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

SUBMITTED BY:

BARRY J. COWAN R.C.E. 46568

EXP. 6/30/19

DATE:



GRAPHIC SCALE 1" = 40'

PLANS PREPARED BY:

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ENGINEERING COMPANY

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IRVINE, CA 92618
949-588-0707

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SEE SHEET 3 FOR DATA TABLES

ELSINORE VALLEY MUNICIPAL WATER DISTRICT

WATER AND SEWER IMPROVEMENT PLANS

WESTLAKE - TM 33267

CROWN POINT LANE STA 17+50.00 TO 22+25.73

RES:

P.Z.: 1750

PRELIMINARY
NOT FOR CONSTRUCTION

SHEET NO.

11

OF 13 SHTS

FILE NO.
XX

PLAN SET DATE: 09/02/15

ENG. W.O.# XXXX-XXX INSPECTION W.O.#

1300

1280

1260

PROFILE: SHORECREST WAY

10+00

11+00

12+00

13+00

14+00

1300

1280

1260

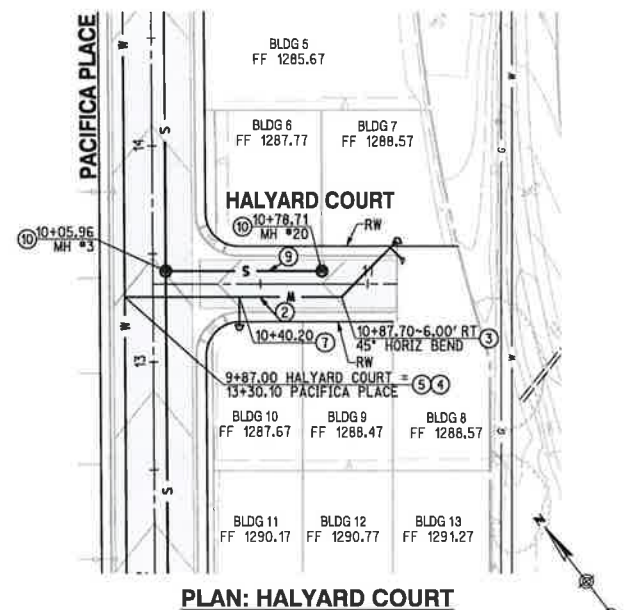
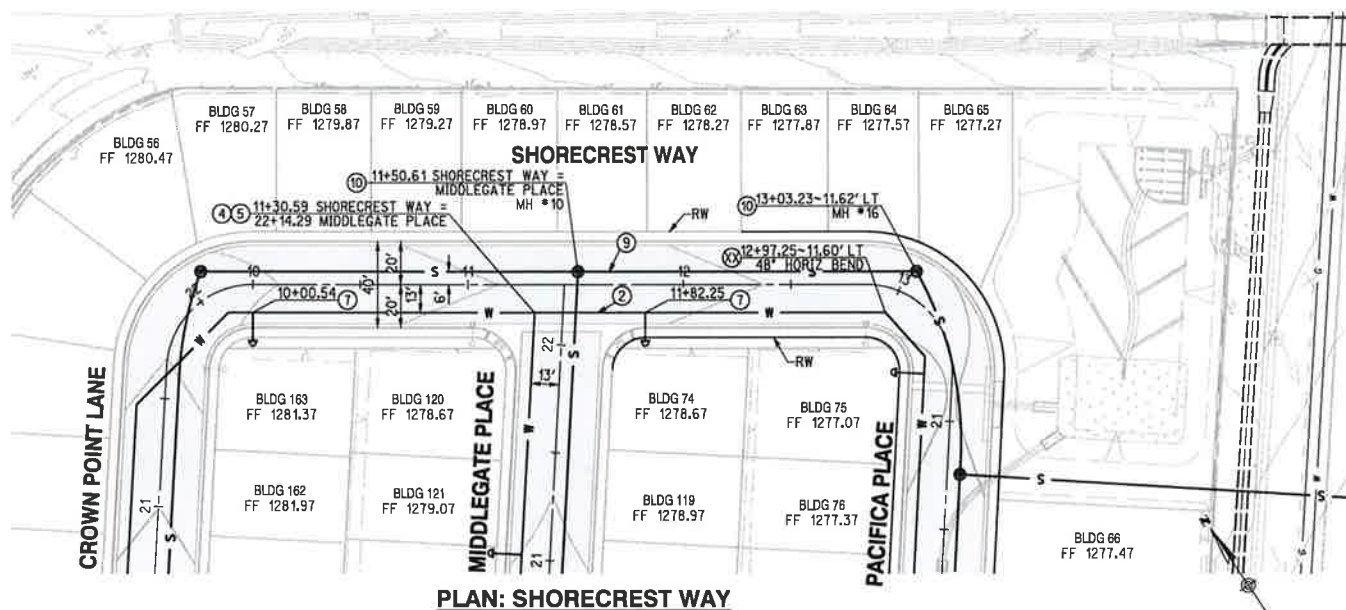
PROFILE: HALYARD COURT

10+00

11+00

12+00

PROFILE SCALE:

HORIZ: 1"=40'
VERT: 1"=8'**WATER CONSTRUCTION NOTES**

1. INSTALL HIGH DEFLECTION COUPLING (DI FITTINGS WITH RESTRAINED JOINTS AND THRUST BLOCKS)
2. INSTALL 8" PVC C900 WATER MAIN (CL-235) PER EVMWD STD W-3, WITH RESTRAINED JOINTS PER EVMWD STD W-4.
3. INSTALL 8" 45° DI RESTRAINED JOINT BEND PER EVMWD STD W-4.
4. INSTALL 8" 8"x8" DI TEE PER EVMWD STD W-4 (RESTRAINED).
5. INSTALL 8" GATE VALVE, FLXFL, VALVE WELL AND RISER DETAIL PER EVMWD STD W-13.
6. INSTALL 1" AIR RELEASE & VACUUM RELIEF ASSEMBLY PER EVMWD STD W-16.
7. INSTALL 6"x4"x2.5" FIRE HYDRANT ASSEMBLY WITH BLUE RETROREFLECTIVE PAVEMENT MARKER PER EVMWD STD W-7. COLOR CODE = CHROME YELLOW BARREL W/ CAPS & TOPS GREEN (CLASS A)
8. INSTALL 1" WATER SERVICE CONNECTION WITH 3/4" METER PER EVMWD STD W-9a.

SEWER CONSTRUCTION NOTES

9. INSTALL 8" PVC SDR-35 SEWER MAIN PER EVMWD STD S-1
10. CONSTRUCT 5' DIAMETER SEWER MANHOLE PER EVMWD STD S-5
11. INSTALL 4" PVC SDR-35 SEWER LATERAL PER EVMWD STD S-12, S-13 & S-14.

Underground Service Alert



TWO WORKING DAYS BEFORE YOU DIG

BASIS OF BEARING

DESCRIPTION: CENTER LINE OF GRAND AVENUE, N52°53'08"W

VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING

0 1

IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

SUBMITTED BY:

BARRY J. COWAN

R.C.E. 48588

EXP. 6/30/19

DATE:

GRAPHIC SCALE 1" = 40'

**PLANS PREPARED BY:****RICK**
ENGINEERING COMPANY
Orange36 DISCOVERY - SUITE 240
IRVINE, CA 92618
949-588-0707

J-18190

rickengineering.com

San Diego - Riverside - Sacramento - San Luis Obispo - Phoenix - Tucson - Denver

ELSINORE VALLEY MUNICIPAL WATER DISTRICTWATER AND SEWER IMPROVEMENT PLANS
WESTLAKE - TM 33267
SHORECREST WAY
HALYARD COURT

RES:

P.Z: 1750

PRELIMINARY
NOT FOR CONSTRUCTION

SHEET NO.

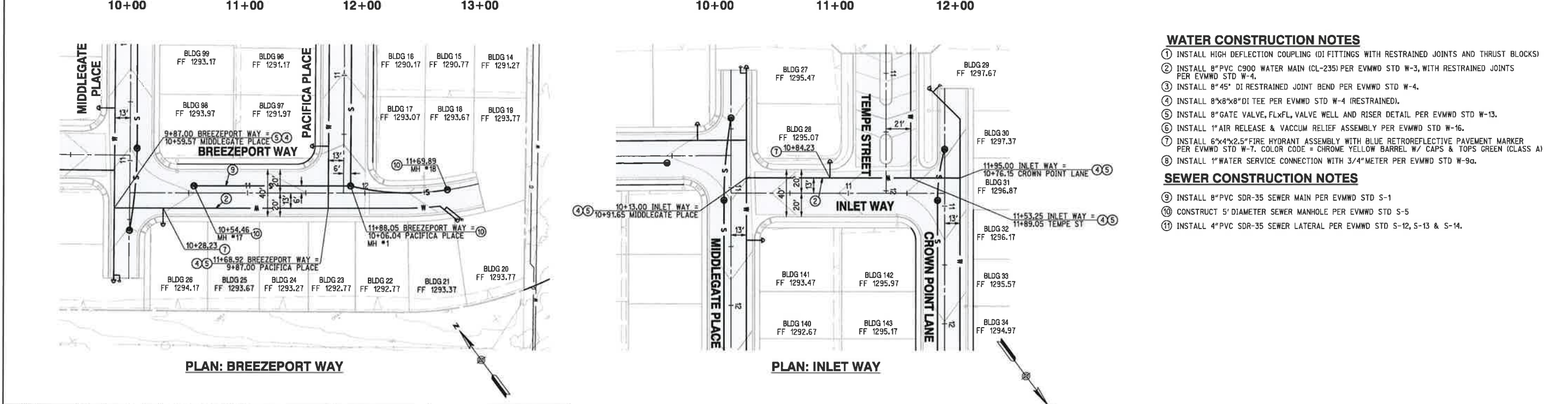
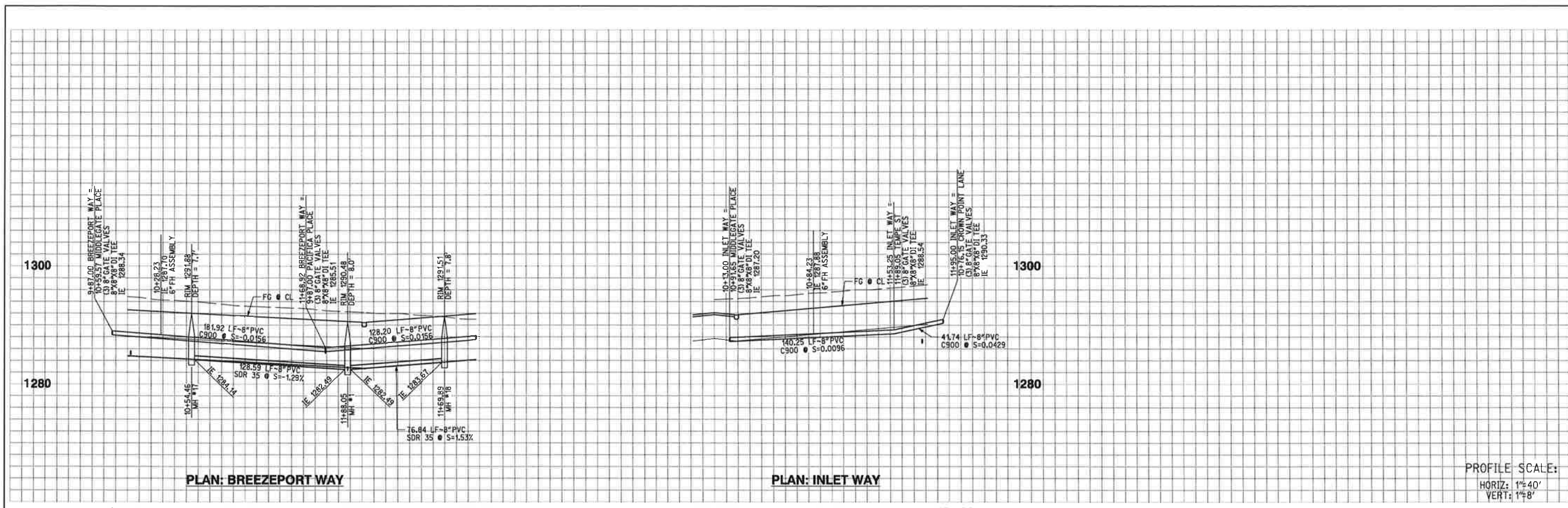
12

OF 13 SHEETS

FILE NO.

XX

PLAN SET DATE: 09/02/15



- WATER CONSTRUCTION NOTES**
1. INSTALL HIGH DEFLECTION COUPLING (DI FITTINGS WITH RESTRAINED JOINTS AND THRUST BLOCKS)
 2. INSTALL 8" PVC C900 WATER MAIN (CL-235) PER EVMD STD W-3, WITH RESTRAINED JOINTS PER EVMD STD W-4.
 3. INSTALL 8" 45° DI RESTRAINED JOINT BEND PER EVMD STD W-4.
 4. INSTALL 8" 8"x8" DI TEE PER EVMD STD W-4 (RESTRAINED).
 5. INSTALL 8" GATE VALVE, FLXFL, VALVE WELL AND RISER DETAIL PER EVMD STD W-13.
 6. INSTALL 1" AIR RELEASE & VACUUM RELIEF ASSEMBLY PER EVMD STD W-16.
 7. INSTALL 6"x4"x2.5" FIRE HYDRANT ASSEMBLY WITH BLUE RETROREFLECTIVE PAVEMENT MARKER PER EVMD STD W-7. COLOR CODE = CHROME YELLOW BARREL W/ CAPS & TOPS GREEN (CLASS A)
 8. INSTALL 1" WATER SERVICE CONNECTION WITH 3/4" METER PER EVMD STD W-9a.
- SEWER CONSTRUCTION NOTES**
9. INSTALL 8" PVC SDR-35 SEWER MAIN PER EVMD STD S-1
 10. CONSTRUCT 5' DIAMETER SEWER MANHOLE PER EVMD STD S-5
 11. INSTALL 4" PVC SDR-35 SEWER LATERAL PER EVMD STD S-12, S-13 & S-14.

Underground Service Alert

811

TWO WORKING DAYS BEFORE YOU DIG

BASIS OF BEARING

DESCRIPTION: CENTER LINE OF GRAND AVENUE, N52°53'08"W

VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING

0 1

IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

SUBMITTED BY:

BARRY J. COWAN R.C.E. 48568 EXP. 6/30/19

DATE: _____

PLANS PREPARED BY:

RICK ENGINEERING COMPANY

36 DISCOVERY - SUITE 240
IRVINE, CA 92618
949-588-0707

rickengineering.com

ELLSINORE VALLEY MUNICIPAL WATER DISTRICT

WATER AND SEWER IMPROVEMENT PLANS
WESTLAKE - TM 33267
BREEZEPORT WAY
INLET WAY

RES: _____ P.Z.: 1750

DESIGNED BY: DK DRAWN BY: DK CHECKED BY: DB

GRAPHIC SCALE 1" = 40'

SEE SHEET 3 FOR DATA TABLES

THE DESIGN AND CONSTRUCTION OF THE PROJECT AS WELL AS THE ACCURACY OF FIGURES, ARE THE RESPONSIBILITY OF THE DESIGN ENGINEER. PLAN CHECK SERVICES BY E.V.M.W.D. WILL BE LIMITED TO ADHERENCE OF THE DISTRICT'S STANDARDS, MATERIALS, QUANTITIES AND SIZE OF FACILITIES, AS THEY RELATE TO THE SERVICE DEMANDS OR THE APPROVED MASTER PLAN.

REVISIONS

REV	BY	DATE	REVISIONS	APPR	DATE

PRELIMINARY
NOT FOR CONSTRUCTION

SHEET NO. 13
OF 13 SHEETS

FILE NO. XX

PLAN SET DATE: 09/02/15

SEE ENLARGEMENT



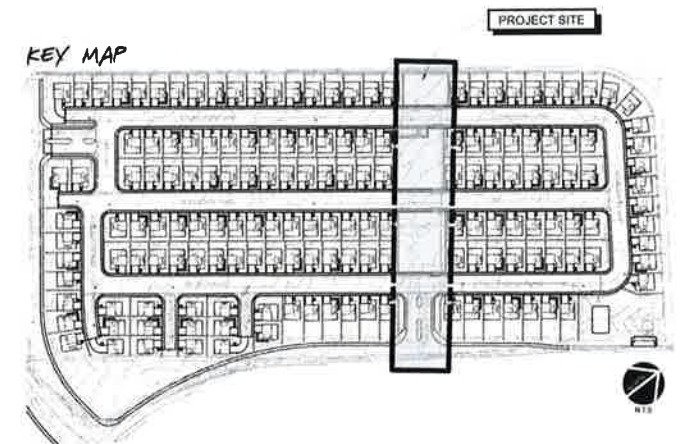
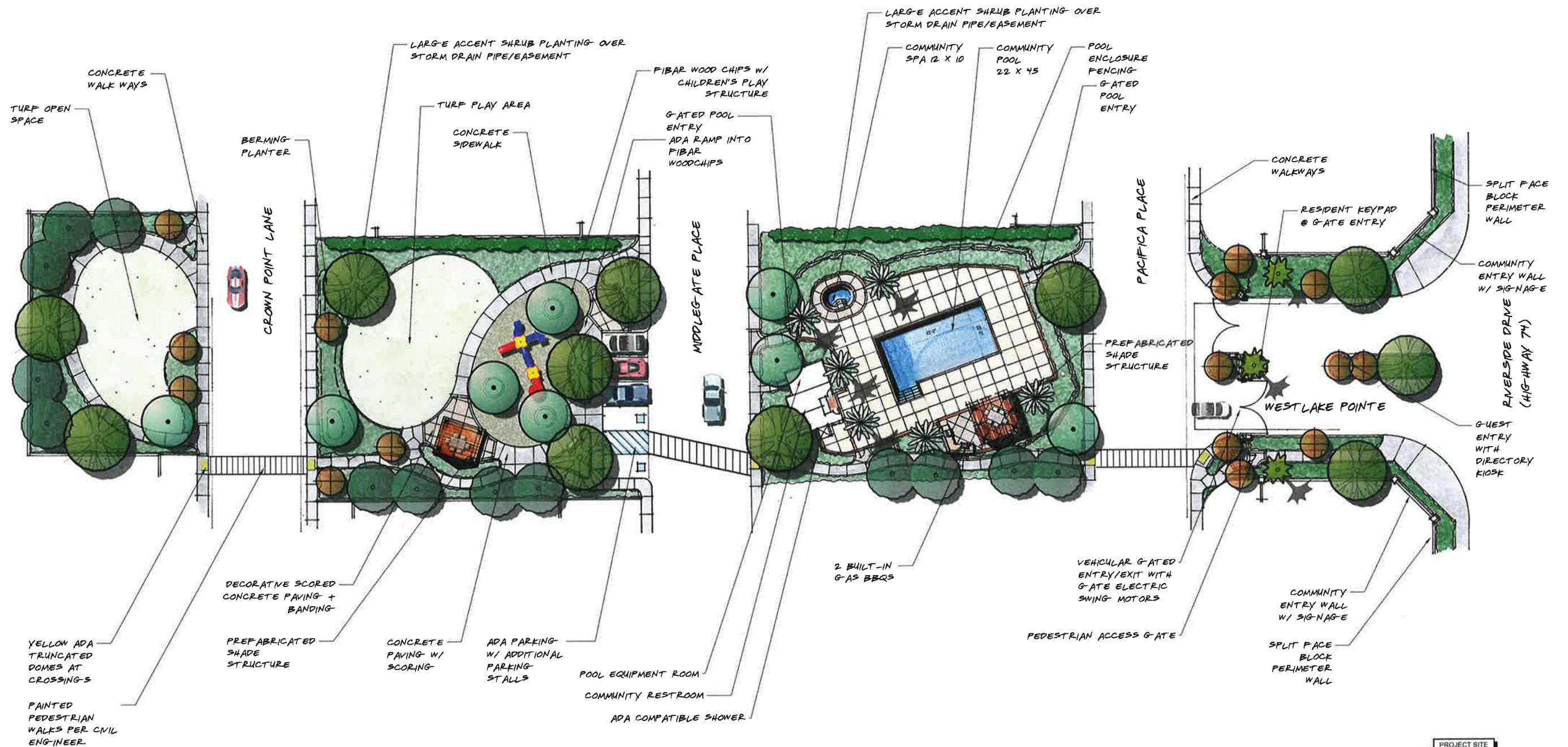
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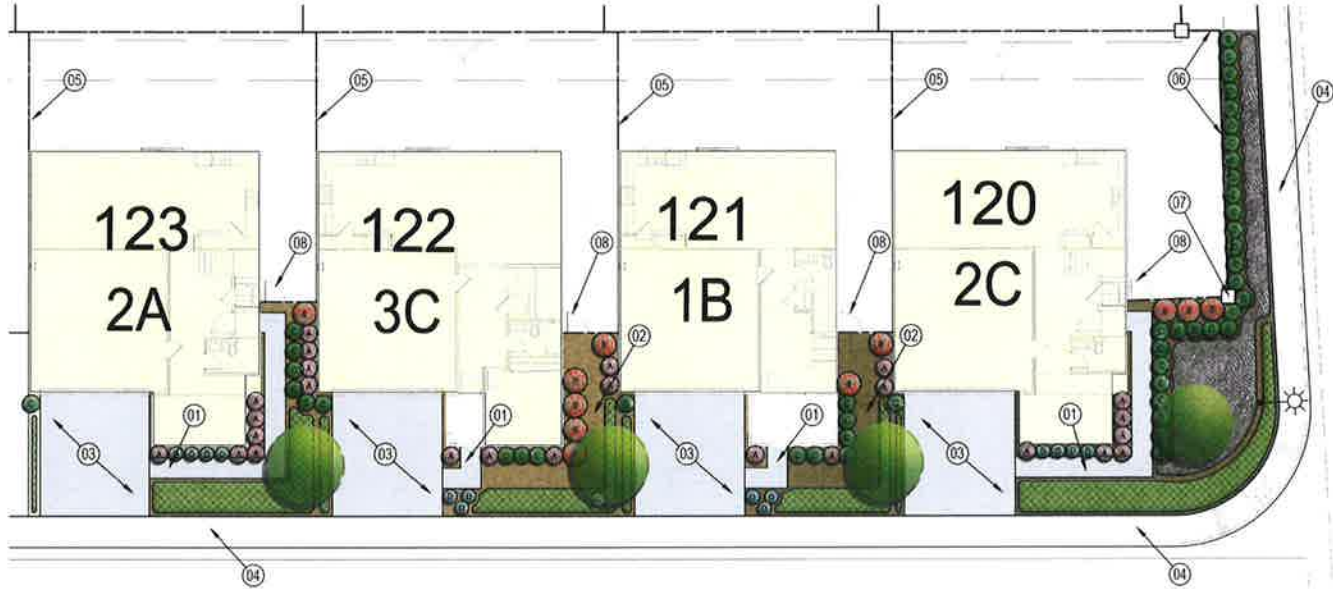
- | | | |
|---|--|--|
| 1 Primary Entry Monument Wall and Signage. | 7 Rec Area with Restroom Facility, Overhead Shade Structure with Tables, Chairs, Built-in Barbecue Grill with Countertop, Swimming Pool and Spa. | 14 6' Tall Wood / Vinyl Rear and Sideyard Fence. |
| 2 Retention Basin Per Civil Engineer's Plans. | 8 Vehicle Parking Stalls and Loading Area. 5 Total Stalls. (2 ADA, 3 Standard) | 15 6' Tall Wood / Vinyl Return Fence. |
| 3 6'-0" Tall CMU Perimeter Block Wall with One (1) Row Split-Face and Concrete Cap. | 9 Open Lawn Play Area. | 16 6' Tall Tubular Steel View Fence. |
| 4 6'-6" Decorative Ledgers Stone Piliaster. | 10 Overhead Shade Structure with Table and Chairs. | 17 Children's Playground (5-12 yrs). |
| 5 Vehicular Entry/Exit Gates with Visitor Dial-Up Call Box. | 11 Seating Area with Table and Chairs. | 18 Decomposed Granite Paving. |
| 6 Pedestrian Access Gates with Keypad Entry. | 12 Existing Sidewalk to Remain. | 19 Double-Wide Tubular Steel Vehicle Access Gate to Basin. |
| | 13 3' Wide Wood / Vinyl Sideyard Gates. | 20 Landform Berming with Boulder Accents. |

- TREES & VINES
- LARGE SPECIMEN TREE
- Platanus racemosa*
 - Quercus agrifolia*
- INTERIOR STREET TREES
- Rhus lancea*
 - Lophospermum confertus*
 - Quercus ilex*
- SMALL FLOWERING ACCENT TREE
- Lagerstroemia indica*
 - Cercis c. 'Forest Pansy'*
 - Cercis occidentalis*
- EVERGREEN SCREENING TREE MASS
- Podocarpus macrophyllus*
- EVERGREEN CANOPY TREE
- Melaleuca quinquenervia*
- PALM TREE
- Washingtonia filifera*
- GRAND AVE. STREET TREE
- Pistachia chinensis*
- RELOCATED EXISTING PALM TREES
- Washingtonia filifera*

- VINES
- Parthenocissus tricuspidata*
 - Grewia occidentalis*
- SHRUBS AND GROUND COVER
- BACKGROUND
- Arbutus u. 'Compacta'*
 - Arctostaphylos 'Howard McMinn'*
 - Heteromeles arbutifolia*
 - Laurus nobilis 'Saratoga'*
 - Leucophyllum frutescens*
 - Podocarpus m. 'Maki'*
 - Viburnum l. 'Spring Bouquet'*
- MIDGROUND
- Cistus x 'Purpureus'*
 - Salvia leucantha*
 - Dietes bicolor*
 - Grevillea x 'Noellii'*
 - Hesperaloe parviflora*
 - Muhlenbergia capillaris*
 - Nandina d. 'Harbour Dwarf'*
 - Osmanthus spp.*
 - Salvia species*

- FOREGROUND
- Aloe species*
 - Encelia californica*
 - Penstemon heterophyllus*
 - Zauschneria californica*
- GROUND COVER
- Carex tumulicola*
 - Festuca glauca*
 - Myoporum parvifolium*
 - Rosmarinus o. 'Huntington Carpet'*
- TURF
- SHRUBS AND GROUND COVER AT RETENTION BASIN / SLOPE
- Achillea millefolium*
 - Baccharis pilularis*
 - Carex pansa*
 - Heteromeles arbutifolia*
 - Festuca o. 'Glaucia'*
 - Muhlenbergia rigens*
 - Rosa californica*





FEATURE LEGEND:

- 1 Concrete Walk.
- 2 Implied Path in Mulch for Trash Can Transport and Back Yard Access.
- 3 Concrete Driveway per Civil Engineer.
- 4 Concrete Sidewalk per Civil Engineer.
- 5 Wood / Vinyl Rear Yard and Return Fence, Per Separate Wall and Fence Plan Per ADG.
- 6 CMU Block Endwall Per Separate Wall and Fence Plan Per ADG.
- 7 Decorative Ledger Stone Pilasters Per Separate Wall and Fence Plan Per ADG.
- 8 Wood / Vinyl Back Yard Gate Per Separate Wall and Fence Plan Per ADG.

PLANTING LEGEND:
TYPICAL FRONT YARDS

ELEVATION "A" - SPANISH

SYMBOL / CALLOUT	BOTANICAL NAME	COMMON NAME	SIZE	SPACING COMMENTS	WATER USE
TREES					
ST-1	Street Tree	See HVA Street Tree Plan per a separate package, prepared by Archivera Design Group for tree selection, size and spacing per street.			
SHRUBS					
A	Podocarpus n. 'Maki'	Shrubby Yew Pine	15 gal	Per Plan	M
B	Calceolaria n. 'Star'	Star Bellflower	15 gal	Per Plan	M
C	Rosa f. 'Iceberg'	Iceberg Rose	5 gal	30" o.c.	M
D	Deutzia n. 'Daisy'	Deutzia	5 gal	30" o.c.	M
E	Abies n. 'Blue Star'	Blue Star Fir	1 gal	24" o.c.	L
GROUND COVER					
F	Hebe n. 'Tricolor'	Creeping Rosemary	1 gal	30" o.c.	L
G	Sorbus n. 'Majestic'	Blue Chokeberry	1 gal	12" o.c.	L
VINES					
H	Parthenocissus n. 'Husseyi'	Boston Ivy	5 gal	10" o.c.	M

ELEVATION "B" - CRAFTSMAN

SYMBOL / CALLOUT	BOTANICAL NAME	COMMON NAME	SIZE	SPACING COMMENTS	WATER USE
TREES					
ST-1	Street Tree	See HVA Street Tree Plan per a separate package, prepared by Archivera Design Group for tree selection, size and spacing per street.			
SHRUBS					
A	Podocarpus n. 'Maki'	Shrubby Yew Pine	15 gal	Per Plan	M
B	Calceolaria n. 'Star'	Star Bellflower	15 gal	Per Plan	M
C	Rosa f. 'Iceberg'	Iceberg Rose	5 gal	30" o.c.	M
D	Deutzia n. 'Daisy'	Deutzia	5 gal	30" o.c.	M
E	Abies n. 'Blue Star'	Blue Star Fir	1 gal	24" o.c.	L
GROUND COVER					
F	Hebe n. 'Tricolor'	Creeping Rosemary	1 gal	30" o.c.	L
G	Sorbus n. 'Majestic'	Blue Chokeberry	1 gal	12" o.c.	L
VINES					
H	Parthenocissus n. 'Husseyi'	Boston Ivy	5 gal	10" o.c.	M

ELEVATION "C" - SANTA BARBARA

SYMBOL / CALLOUT	BOTANICAL NAME	COMMON NAME	SIZE	SPACING COMMENTS	WATER USE
TREES					
ST-1	Street Tree	See HVA Street Tree Plan per a separate package, prepared by Archivera Design Group for tree selection, size and spacing per street.			
SHRUBS					
A	Podocarpus n. 'Maki'	Shrubby Yew Pine	15 gal	Per Plan	M
B	Calceolaria n. 'Star'	Star Bellflower	15 gal	Per Plan	M
C	Rosa f. 'Iceberg'	Iceberg Rose	5 gal	30" o.c.	M
D	Deutzia n. 'Daisy'	Deutzia	5 gal	30" o.c.	M
E	Abies n. 'Blue Star'	Blue Star Fir	1 gal	24" o.c.	L
GROUND COVER					
F	Hebe n. 'Tricolor'	Creeping Rosemary	1 gal	30" o.c.	L
G	Sorbus n. 'Majestic'	Blue Chokeberry	1 gal	12" o.c.	L
VINES					
H	Parthenocissus n. 'Husseyi'	Boston Ivy	5 gal	10" o.c.	M

STREET TREE VARIETIES

SYMBOL / CALLOUT	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS	WATER USE
ST-1	Abies n. 'Blue Star'	Blue Star Fir	30" BOX	PER PLAN	STANDARD	L
ST-2	Abies n. 'Blue Star'	Blue Star Fir	30" BOX	PER PLAN	STANDARD	M
ST-3	Abies n. 'Blue Star'	Blue Star Fir	30" BOX	PER PLAN	STANDARD	F

WATER EFFICIENT LANDSCAPE WORKSHEET
Residential Landscape Projects

Reference ET_o for the area ET_o = 55

Estimated Total Water Use (ETWU):							
ETWU is calculated using the following formula: $(Eto) \times (62) \div (ETAF) \times (LA)$, where ETWU/ETAF is PF/EI							
Hydrozone # / Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (EI)	ETAF (PF/EI)	Landscape Area (sq. ft.)	ETAF x Landscape Area	Estimated Total Water Use (ETWU) in gallons/yr
Regular Landscape Areas							
M1 - Low Shrub	0.2	Drip	0.81	0.25	149	36.75	1,250
M2 - Moderate Shrub	0.4	Drip	0.81	0.49	12	5.88	224
M3 - Moderate Tree	0.5	Bubbler	0.81	0.62	25	15.63	526
Totals					186	58	
Special Landscape Areas							
				1			0
Totals					0	0	
Estimated Total Water Use in gallons per year, ETWU Total							1383
Maximum Annual Water Allowance in gallons per year, MAWA Total							3488
MAWA calculation: $(Eto) \times (62) \div (ETAF \times LA) \times SL$							MAWA - ETWU = 1306
where Residential MAWA ETAF factor is 0.55							

ETAF Calculations:	
Regular Landscape Areas	
Total ETAF x Area	58
Total Area	186
Average ETAF	0.31
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas	
All Landscape Areas	
Total ETAF x Area	58
Total Landscape Area (LA)	186
Sitewide ETAF	0.31

A MWEL-TYPICAL-PLAN 2A
SCALE: N.T.S.

WATER EFFICIENT LANDSCAPE WORKSHEET
Residential Landscape Projects

Reference ET_o for the area ET_o = 55

Estimated Total Water Use (ETWU):							
ETWU is calculated using the following formula: $(Eto) \times (62) \div (ETAF) \times (LA)$, where ETWU/ETAF is PF/EI							
Hydrozone # / Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (EI)	ETAF (PF/EI)	Landscape Area (sq. ft.)	ETAF x Landscape Area	Estimated Total Water Use (ETWU) in gallons/yr
Regular Landscape Areas							
M1 - Low Shrub	0.2	Drip	0.81	0.25	157	39.42	901
M2 - Moderate Shrub	0.4	Drip	0.81	0.49	133	65.88	2,246
M3 - Moderate Tree	0.5	Bubbler	0.81	0.62	25	15.63	526
Totals					265	108	
Special Landscape Areas							
				1			0
Totals					0	0	
Estimated Total Water Use in gallons per year, ETWU Total							3667
Maximum Annual Water Allowance in gallons per year, MAWA Total							4970
MAWA calculation: $(Eto) \times (62) \div (ETAF \times LA) \times SL$							MAWA - ETWU = 1303
where Residential MAWA ETAF factor is 0.55							

ETAF Calculations:	
Regular Landscape Areas	
Total ETAF x Area	108
Total Area	265
Average ETAF	0.41
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas	
All Landscape Areas	
Total ETAF x Area	108
Total Landscape Area (LA)	265
Sitewide ETAF	0.41

B MWEL-TYPICAL-PLAN 3C
SCALE: N.T.S.

WATER EFFICIENT LANDSCAPE WORKSHEET
Residential Landscape Projects

Reference ET_o for the area ET_o = 55

Estimated Total Water Use (ETWU):							
ETWU is calculated using the following formula: $(Eto) \times (62) \div (ETAF) \times (LA)$, where ETWU/ETAF is PF/EI							
Hydrozone # / Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (EI)	ETAF (PF/EI)	Landscape Area (sq. ft.)	ETAF x Landscape Area	Estimated Total Water Use (ETWU) in gallons/yr
Regular Landscape Areas							
M1 - Low Shrub	0.2	Drip	0.81	0.25	38	22.72	775
M2 - Moderate Shrub	0.4	Drip	0.81	0.49	183	10.86	1,134
M3 - Moderate Tree	0.5	Bubbler	0.81	0.62	25	15.63	526
Totals					220	89	
Special Landscape Areas							
				1			0
Totals					0	0	
Estimated Total Water Use in gallons per year, ETWU Total							3035
Maximum Annual Water Allowance in gallons per year, MAWA Total							4126
MAWA calculation: $(Eto) \times (62) \div (ETAF \times LA) \times SL$							MAWA - ETWU = 1091
where Residential MAWA ETAF factor is 0.55							

ETAF Calculations:	
Regular Landscape Areas	
Total ETAF x Area	89
Total Area	220
Average ETAF	0.40
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas	
All Landscape Areas	
Total ETAF x Area	89
Total Landscape Area (LA)	220
Sitewide ETAF	0.40

C MWEL-TYPICAL-PLAN 1B
SCALE: N.T.S.

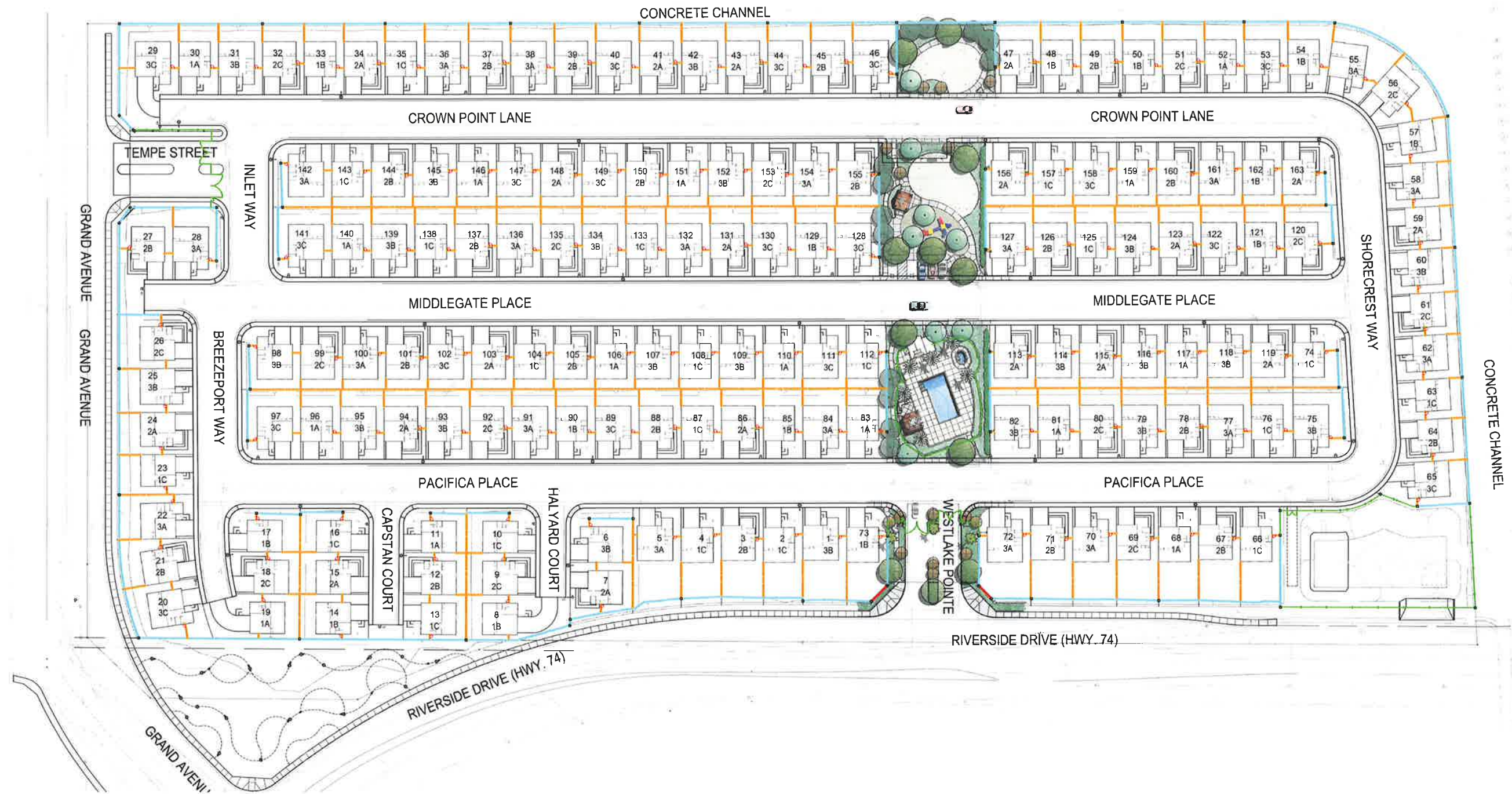
WATER EFFICIENT LANDSCAPE WORKSHEET
Residential Landscape Projects

Reference ET_o for the area ET_o = 55

Estimated Total Water Use (ETWU):							
ETWU is calculated using the following formula: $(Eto) \times (62) \div (ETAF) \times (LA)$, where ETWU/ETAF is PF/EI							
Hydrozone # / Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (EI)	ETAF (PF/EI)	Landscape Area (sq. ft.)	ETAF x Landscape Area	Estimated Total Water Use (ETWU) in gallons/yr
Regular Landscape Areas							
M1 - Low Shrub	0.2	Drip	0.81	0.25	84	20.93	702
M2 - Moderate Shrub	0.4	Drip	0.81	0.49	111	10.86	1,134
M3 - Moderate Tree	0.5	Bubbler	0.81	0.62	25	15.63	526
Totals					1,170	375	
Special Landscape Areas							
				1			0
Totals					0	0	
Estimated Total Water Use in gallons per year, ETWU Total							12786
Maximum Annual Water Allowance in gallons per year, MAWA Total							21943
MAWA calculation: $(Eto) \times (62) \div (ETAF \times LA) \times SL$							MAWA - ETWU = 9158
where Residential MAWA ETAF factor is 0.55							

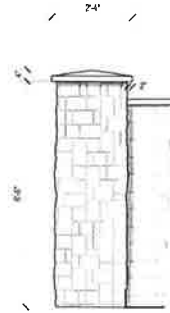
ETAF Calculations:	
Regular Landscape Areas	
Total ETAF x Area	375
Total Area	1,170
Average ETAF	0.32
Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas	
All Landscape Areas	
Total ETAF x Area	375
Total Landscape Area (LA)	1,170
Sitewide ETAF	0.32

D MWEL-TYPICAL-PLAN 2C CORNER CONDION
SCALE: N.T.S.

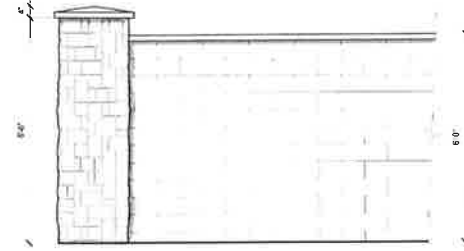


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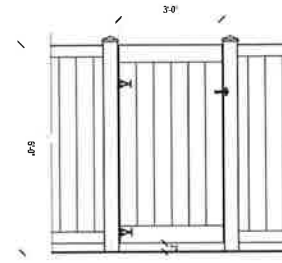
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|---|---|---|---|
| 1 | 6' High Tubular Steel View Fence at Pool, Retention Basin, and Grand Avenue Entrance. See Detail E, on Conceptual Wall and Fence Details Exhibit. | 5 | 3' Wide Vinyl Side Yard Gate. See Detail C, on Conceptual Wall and Fence Details Exhibit. |
| 2 | 6' High Wood/Vinyl Side Yard, Back Yard, and Return Fence. See Detail D, on Conceptual Wall and Fence Details Exhibit. | 6 | 3' Wide Tubular Steel Gate at Pool Area. See Detail F, on Conceptual Wall and Fence Details Exhibit. |
| 3 | 6' High CMU Perimeter Block Wall with One Row Split-Face Single Side, Cap Wall. See Detail B, on Conceptual Wall and Fence Details Exhibit. | 7 | 6' 6" High Decorative Ledge Stone Pilaster w/ 4" Cap. See Detail A, on Conceptual Wall and Fence Details Exhibit. |
| 4 | 6' High CMU Entry Monument Wall with Stucco Finish, Cap Wall. See Detail H, on Conceptual Wall and Fence Details Exhibit. | 8 | Double Swing Tubular Steel Gates at Entry. |
| | | 9 | Double Swing Tubular Steel Gates at Basin Gates. |



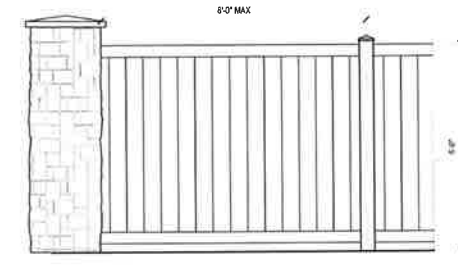
A 6' 6" HIGH PILASTER WITH DECORATIVE LEDGER STONE VENEER AND 4" CAP.



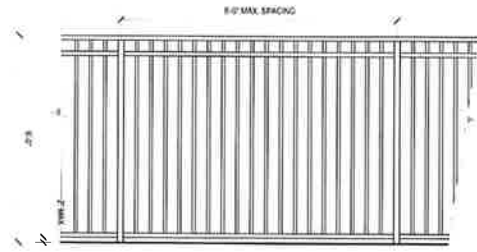
B 6' HIGH PERIMETER SLUMP BLOCK WALL WITH ONE ROW SPLIT-FACE ACCENT WITH PRECISION CAP.



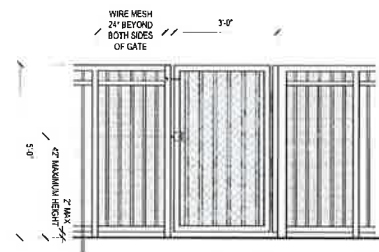
C 3' WIDE WOOD / VINYL ACCESS GATE



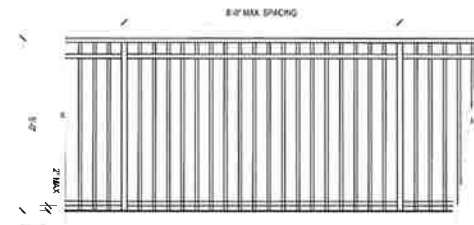
D 6' HIGH WOOD / VINYL PRIVACY FENCE



E 6' HIGH TUBULAR STEEL FENCE



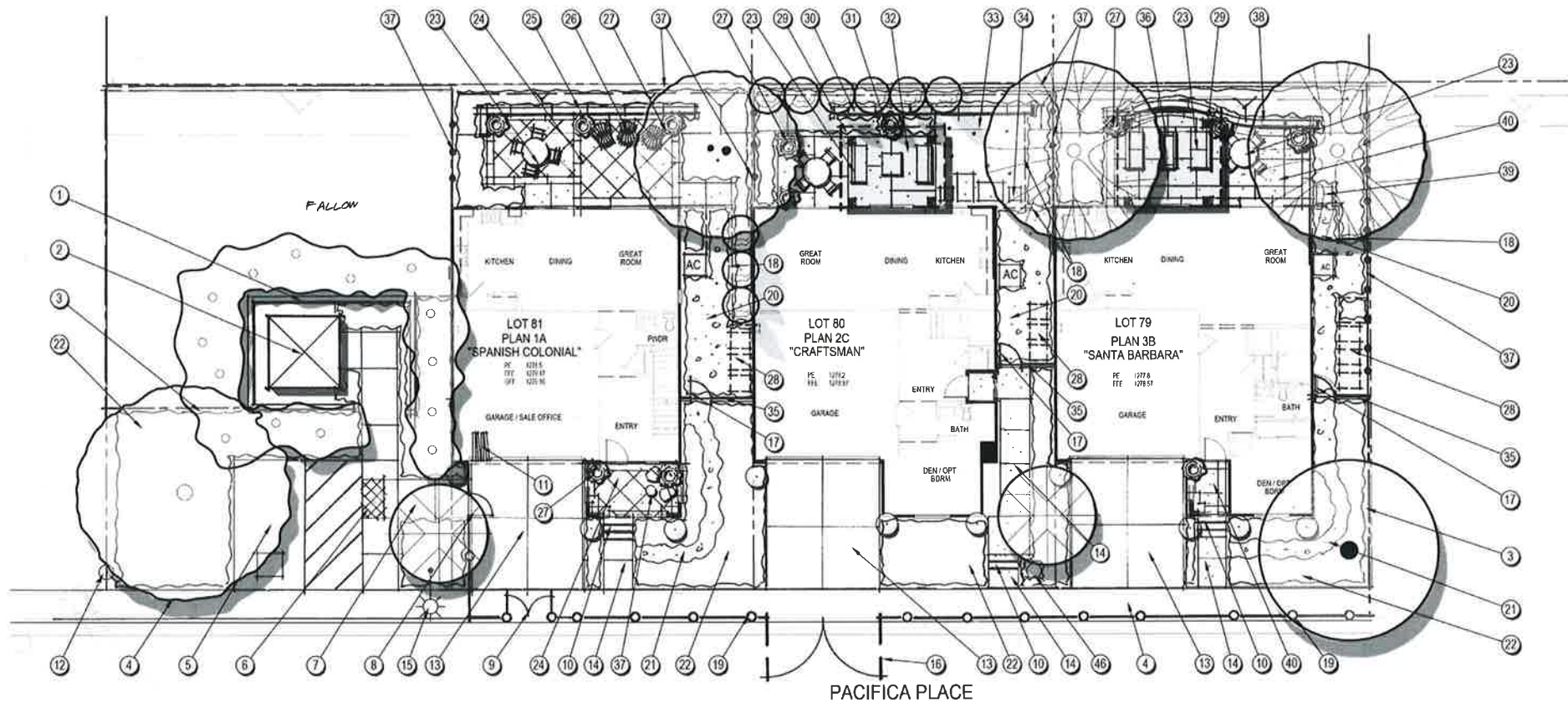
F 3' WIDE TUBULAR STEEL GATE WITH LOCKING SYSTEM AT POOL



G 5' HIGH TUBULAR STEEL FENCE



H ENTRY MONUMENT



FEATURE LEGEND:

- | | |
|--|---|
| 1 6' Tall Temporary Porta Potties "Almond" Color P.V.C. Screen Fence with Lattice on Top. | 21 Implied Mulch Layer Path to Sideyard within Planter Area. |
| 2 Temporary ADA Accessible Model Home Complex Porta Potties. | 22 Planting Area. |
| 3 6' Tall Temporary "Almond" Color PVC Screen Fence. | 23 Outdoor Furniture. |
| 4 City Sidewalk Per Civil Engineer's Plans. | 24 Etched Concrete with Score Joints in Diagonal Pattern and Smooth Trowel Concrete Band. |
| 5 Handicap Accessible Parking with Loading Zone. | 25 Split Face Concrete Block Garden Wall (3 ft. tall max.). |
| 6 Truncated Dome. | 26 Adirondack Chair Seating. |
| 7 ADA Accessible Path. | 27 Decorative Planter Pot with Accent Planting. |
| 8 Temporary Model Home 36" Wide 2 Rail "Almond" Color P.V.C. Pedestrian Gate. | 28 Trash Can Storage Location. |
| 9 Temporary Model Home 36" Double Wide 2 Rail "Almond" Color P.V.C. Pedestrian Gate. | 29 Free Standing Alumiwood Patio Covers. |
| 10 Step Riser Per Civil Engineers Plans. | 30 Split-Face Concrete Block Garden Wall with Concrete Cap. (3 Ft. Tall Max) |
| 11 Retractable Glass Door by Others. | 31 Large Decorative Planter Pot with Accent Planting. |
| 12 Fire Hydrant Per Civil Engineers Plans. | 32 Etched Concrete with Random Control Joints. |
| 13 Typical Medium Broom Natural Color Finish Concrete Driveway Per Civil Engineer's Plans. | 33 Open Lawn. |
| 14 4' Wide Model Home Concrete Path. | 34 Random Size Concrete Step Pads (24" Sq. Minimum). |
| 15 Street Lights Per Civil Engineer's Plans. | 35 6' Tall "Almond" Color P.V.C. Return Fence. |
| 16 Temporary Model Home 2 Rail "Almond" Color P.V.C. Double Wide Maintenance Access Gate. | 36 Prefabricated Fire Feature. |
| 17 Typical 36" Wide "Almond" Color P.V.C. Sideyard Gate. | 37 6' Tall Side and Rear Yard "Almond" Color P.V.C. Privacy Fencing. |
| 18 Recycled Plastic Edging. | 38 C.M.U. Block Garden Wall with Stucco Finish and Concrete Cap. (3' Tall Max) |
| 19 Temporary 42" Tall 2 Rail "Almond" Color P.V.C. Model Home Trap Fence within City Sidewalk. | 39 24" Sq. Concrete Step Stone. |
| 20 Mulch Layer. | 40 Etched Concrete in Square Pattern with Smooth Trowel Concrete Band. |

WATER EFFICIENT LANDSCAPE WORKSHEET

RESIDENTIAL LANDSCAPE - CITY OF LAKE ELSINORE

Reference ETo for the area ETo = 55

Estimated Total Water Use (ETWU):

ETWU is calculated using the following formula: $ETWU = (ETo) \times (ETAF) \times (LA)$, where $ETWU$ is in gallons per year.

Hydrozone & Planting Decision	Plant Factor (PF)	Impaction Method	Impaction Efficiency (IE)	ETAF (PF x IE)	Landscaped Area (LA)	E To (inches)	ETWU (gallons per year)
Regular Landscape Areas							
421 - Low Shrub	0.2	Drizzle	0.81	0.162	268.00	13.04	3,504
422 - Moderate Shrub	0.4	Drizzle	0.81	0.324	773.33	26.39	20,300
423 - High Shrub	0.6	Drizzle	0.81	0.486	117	150.06	5,268
424 - Moderate Trees	0.5	Drizzle	0.81	0.405	125	124.87	11,913
425 - Moderate Pubs	0.5	Drizzle	0.81	0.405	38	23.49	800
Totals					3,854		16,633
Special Landscape Areas							
Totals					0	0	0
Estimated Total Water Use in gallons per year: ETWU Total							16,633
Maximum Annual Water Allowance in gallons per year: MAWA Total							72,282
MAWA calculation: $(ETo) \times (ETAF) \times (LA) = MAWA$							72,282
where $ETAF = (ETo) \times (ETAF) \times (LA) = MAWA$							16,633

ETAF Calculations:

Regular Landscape Areas			
Total ETAF x Area	1663		
Total Area	3,854		
Average ETAF	0.43		

Average ETAF for Regular Landscape Areas must be 0.50 or below for residential areas.

All Landscape Areas

Total ETAF x Area	1663
Total Landscape Area (LA)	3,854
Site-wide ETAF	0.43

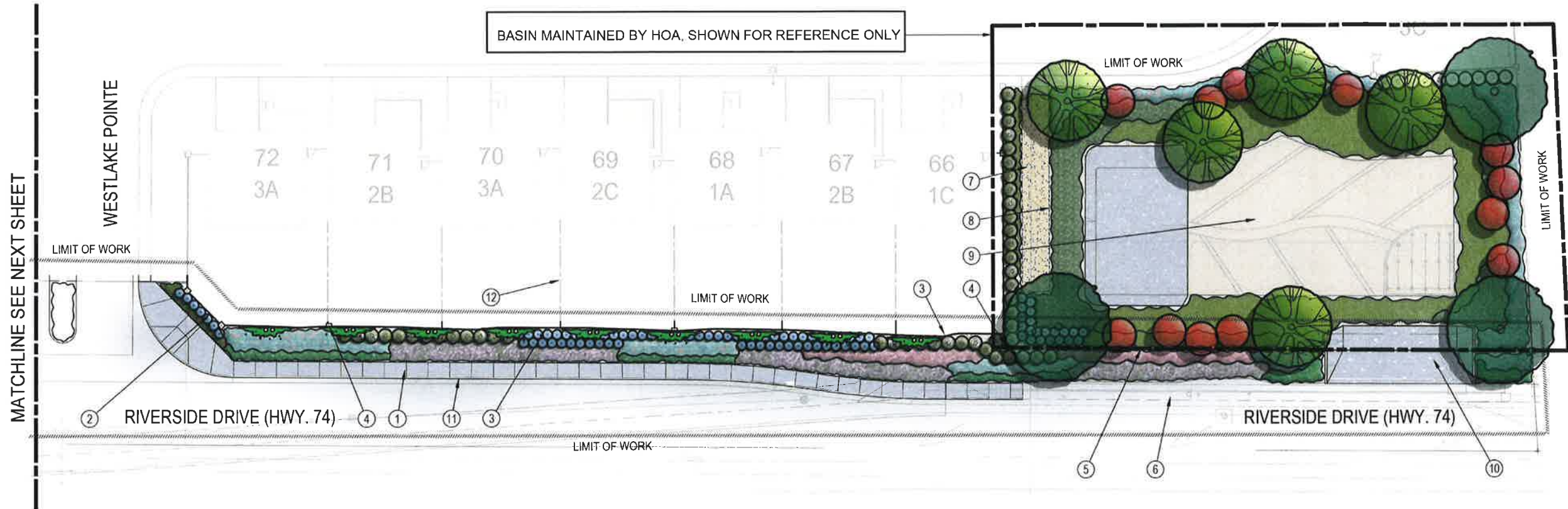
PLANT PALETTE:

- TREES**
- LARGE MULTI-TRUNK SPECIMEN TREE (36" Box)**
Quercus agrifolia • Coast Live Oak
 - MULTI-TRUNK SPECIMEN TREE (36" Box)**
Arbutus x 'Marina' • Strawberry Tree
 - DECIDUOUS CANOPY TREE (36" Box)**
Platanus racemosa • California Sycamore
 - EVERGREEN STREET TREE (36" Box)**
Lophostemon confertus • Brisbane Box
Rhus lancea • African Sumac
 - SMALL FLOWERING ACCENT TREE (24" Box)**
Lagerstroemia indica • Crape Myrtle
Cercis occidentalis • Western Redbud
 - EVERGREEN SCREENING TREE MASS (15 Gal.)**
Podocarpus macrophyllus • Yew Pine
Melaleuca quinquenervia • Cajuput Tree
 - UPRIGHT COLUMNAR TREE (15 Gal.)**
Podocarpus latifolius 'Icee Blue' • Icee Blue Yellowwood

- SHRUBS AND GROUND COVER**
- BACKGROUND**
- Arbutus u. 'Compacta'* • Dwarf Strawberry Tree
 - Arctostaphylos 'Howard McMinn'* • Howard McMinn Manzanita
 - Heteromeles arbutifolia* • Toyon
 - Laurus nobilis* • Sweet Bay
 - Leucophyllum frutescens* • Texas Ranger
 - Podocarpus m. 'Maki'* • Shrubby Yew Pine
 - Viburnum t. 'Spring Bouquet'* • Viburnum Tinus
- MIDGROUND**
- Cistus x 'Purpureus'* • Rock Rose
 - Salvia leucantha* • Mexican Sage
 - Dietes bicolor* • African Iris
 - Grevillea x 'Noell'* • Noell Gravellea
 - Hesperaloe parviflora* • Red Yucca
 - Muhlenbergia capillaris* • Pink Muhly Grass
 - Nandina d. 'Harbour Dwarf'* • Dwarf Heavenly Bamboo
 - Osmanthus spp.* • Fragrant Olive
 - Salvia species* • Sage

- FOREGROUND**
- Aloe species* • Aloe
 - Encelia californica* • Coast Sunflower
 - Penstemon heterophyllus* • Penstemon
 - Zauschneria californica* • California Fuchsia

- GROUND COVER**
- Carex tumulicola* • Sedge
 - Festuca glauca* • Blue Fescue
 - Lantana montevidensis* • Lantana
 - Myoporum parvifolium* • Myoporum
 - Rosmarinus o. 'Huntington Carpet'* • Rosemary



FEATURE LEGEND:

- 1 City Sidewalk Per Civil Engineer's Plans.
- 2 Entry Monument Wall with Signage.
- 3 C.M.U. Perimeter Block Wall with One (1) Row Split-Face and Concrete Cap.
- 4 6'-6" Decorative Ledgers Stone Pilaster.
- 5 6' High Tubular Steel View Fence.
- 6 Existing City Sidewalk to Remain.
- 7 Decomposed Granite Paving.
- 8 Aluminum Edging.
- 9 Water Quality Retention Basin Per Civil Engineer's Plans.
- 10 Emergency Overflow Per Civil Engineer's Plans.
- 11 Street Curb Per Civil Engineer's Plans.
- 12 6' Tall Wood / Vinyl Rear and Side Yard Fence Per Separate Architerra Design Group H.O.A. Package.

PLANT PALETTE:

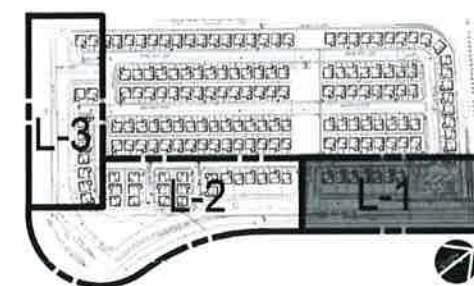
TREES & VINES

BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
LARGE EVERGREEN SPECIMEN TREE			
<i>Quercus agrifolia</i>	Coast Live Oak	36" Box	Low
TALL DECIDUOUS SHADE TREE			
<i>Platanus racemosa</i>	California Sycamore	24" Box	Low
SMALL FLOWERING ACCENT TREE			
<i>Cercis occidentalis</i>	Western Redbud	15 Gal.	Low
GRAND AVE. STREET TREE			
<i>Pistacia chinensis</i>	Chinese Pistache	15 Gal.	Moderate
VINES			
<i>Parthenocissus tricuspidata</i>	Boston Ivy	1 Gal.	Moderate

SHRUBS AND GROUNDCOVER

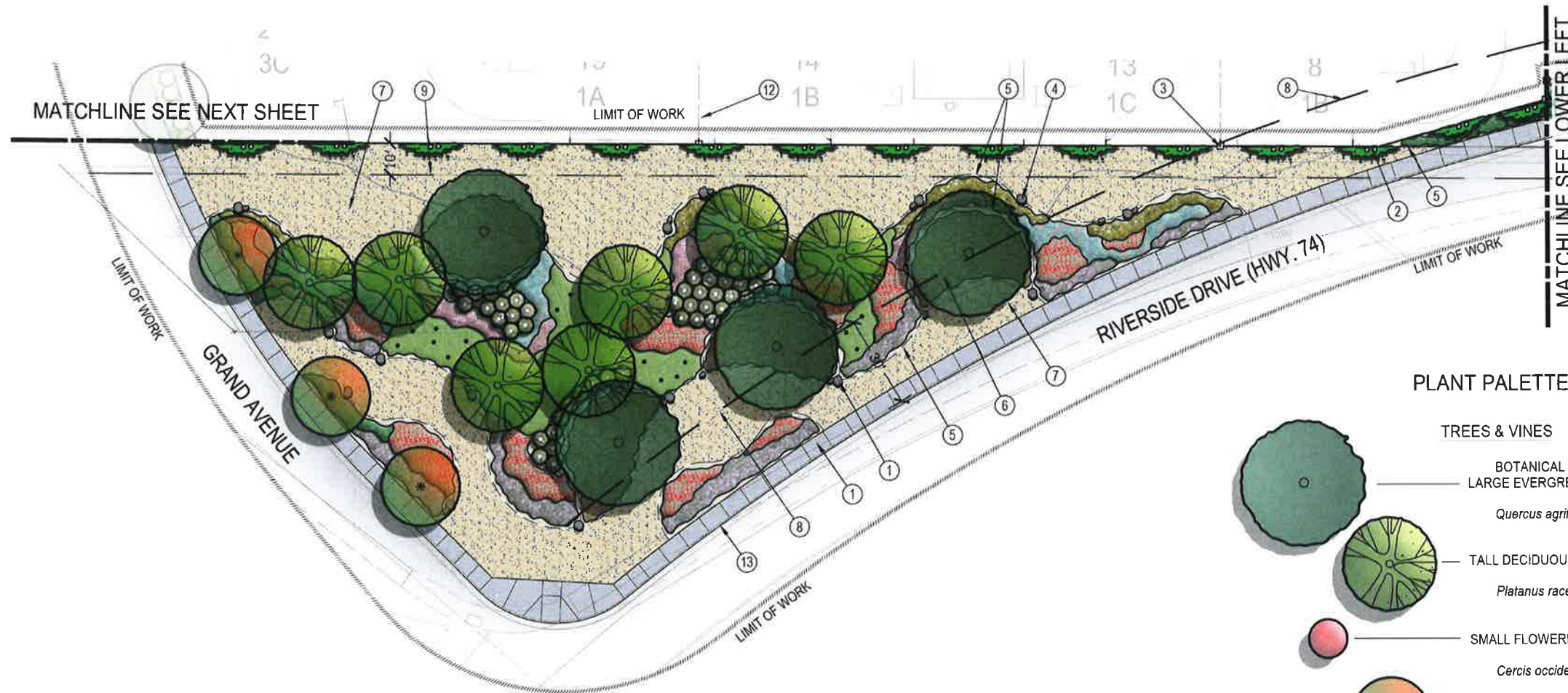
BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
BACKGROUND			
<i>Arbutus u. 'Compacta'</i>	Strawberry Tree	5 Gal.	Low
<i>Arctostaphylos 'Howard McMinn'</i>	Manzanita	5 Gal.	Low
<i>Leucophyllum l. 'Lynn's Legacy'</i>	Texas Ranger	5 Gal.	Low
MIDGROUND			
<i>Cistus x 'Purpureus'</i>	Rock Rose	5 Gal.	Low
<i>Hesperaloe parviflora</i>	Red Yucca	5 Gal.	Low
<i>Nandina d. 'Harbour Dwarf'</i>	Heavenly Bamboo	5 Gal.	Moderate
<i>Salvia leucantha</i>	Mexican Sage	5 Gal.	Low
FOREGROUND / GROUNDCOVER			
<i>Achillea millefolium</i>	Yarrow	1 Gal.	Low
<i>Aloe striata</i>	Coral Aloe	1 Gal.	Low
<i>Carex divulsa</i>	Gray Sedge	1 Gal.	Low
<i>Carex pansa</i>	Sedge	1 Gal.	Moderate
<i>Encelia californica</i>	Coast Sunflower	1 Gal.	Low
<i>Rosmarinus o. 'Huntington Carpet'</i>	Rosemary	1 Gal.	Low

KEY MAP



0 10' 20' 40' 80'
SCALE: 1" = 20'

SCALE: 1" = 20'
DATE: JANUARY 2019
ADG JOB #: 1825-5



FEATURE LEGEND:

- | | |
|---|--|
| 1 City Sidewalk Per Civil Engineer's Plans. | 8 30' Highway Landscape Large Tree Setback. |
| 2 C.M.U. Perimeter Block Wall with One (1) Row Split-Face and Concrete Cap. | 9 Existing Utilities with 10' Utility Easement. |
| 3 6'-6" Tall Decorative Ledger Stone Pilaster. | 10 Street Curb Per Civil Engineer's Plans. |
| 4 Landscape Boulders. | 11 Entry Monument Wall with Signage. |
| 5 Aluminum Edging. | 12 6' Tall Side and Rear Yard Wood / Vinyl Fence Per Separate Archterra Design Group H.O.A. Package. |
| 6 Mulch Layer Under Oak Trees. | 13 Street Curb Per Civil Engineer's Plans. |
| 7 Decomposed Granite Paving. | |

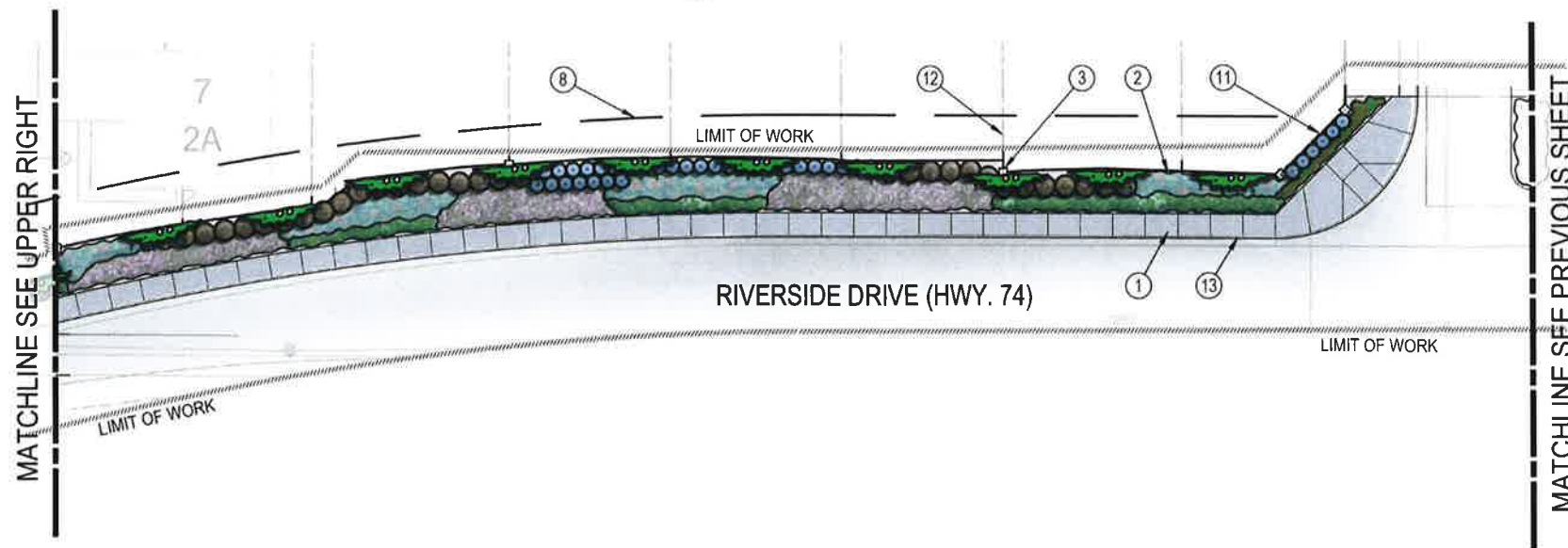
PLANT PALETTE:

TREES & VINES

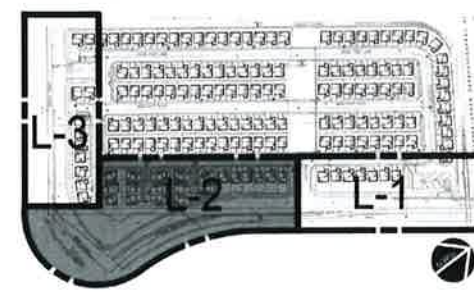
BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
LARGE EVERGREEN SPECIMEN TREE			
<i>Quercus agrifolia</i>	Coast Live Oak	36" Box	Low
TALL DECIDUOUS SHADE TREE			
<i>Platanus racemosa</i>	California Sycamore	24" Box	Low
SMALL FLOWERING ACCENT TREE			
<i>Cercis occidentalis</i>	Western Redbud	15 Gal.	Low
GRAND AVE. STREET TREE			
<i>Pistacia chinensis</i>	Chinese Pistache	15 Gal.	Moderate
VINES			
<i>Parthenocissus tricuspidata</i>	Boston Ivy	1 Gal.	Moderate

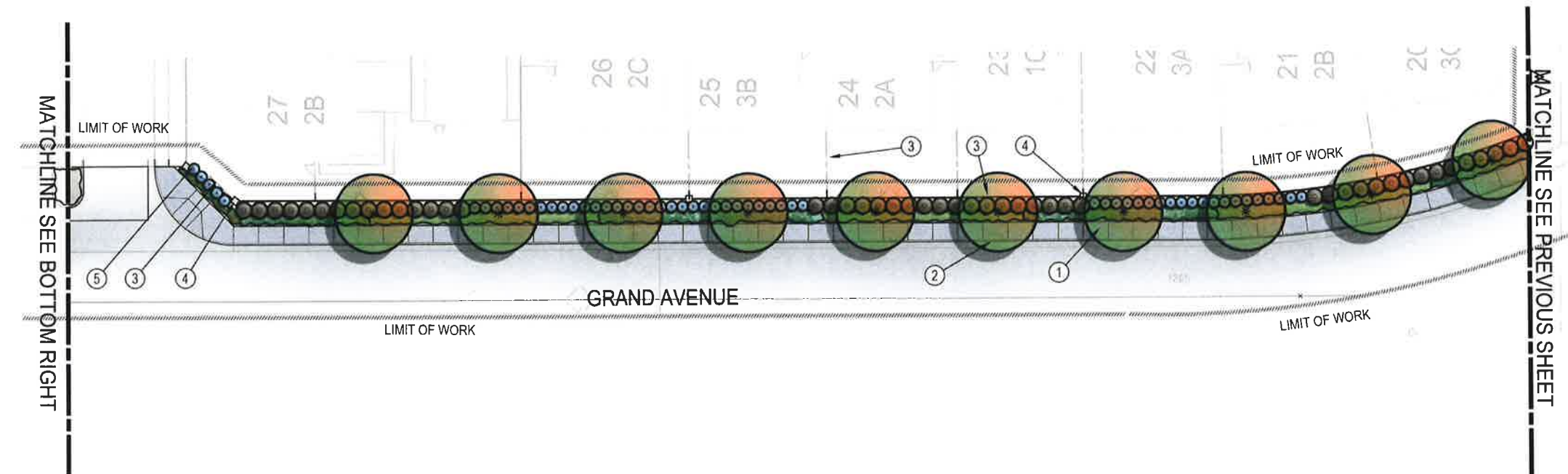
SHRUBS AND GROUNDCOVER

BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
BACKGROUND			
<i>Arbutus u. 'Compacta'</i>	Strawberry Tree	5 Gal.	Low
<i>Arctostaphylos 'Howard McMinn'</i>	Manzanita	5 Gal.	Low
<i>Leucophyllum l. 'Lynn's Legacy'</i>	Texas Ranger	5 Gal.	Low
MIDGROUND			
<i>Cistus x 'Purpureus'</i>	Rock Rose	5 Gal.	Low
<i>Hesperaloe parviflora</i>	Red Yucca	5 Gal.	Low
<i>Nandina d. 'Harbour Dwarf'</i>	Heavenly Bamboo	5 Gal.	Moderate
<i>Salvia leucantha</i>	Mexican Sage	5 Gal.	Low
FOREGROUND / GROUNDCOVER			
<i>Achillea millefolium</i>	Yarrow	1 Gal.	Low
<i>Aloe striata</i>	Coral Aloe	1 Gal.	Low
<i>Carex divulsa</i>	Gray Sedge	1 Gal.	Low
<i>Carex pansa</i>	Sedge	1 Gal.	Moderate
<i>Encelia californica</i>	Coast Sunflower	1 Gal.	Low
<i>Rosmarinus o. 'Huntington Carpet'</i>	Rosemary	1 Gal.	Low



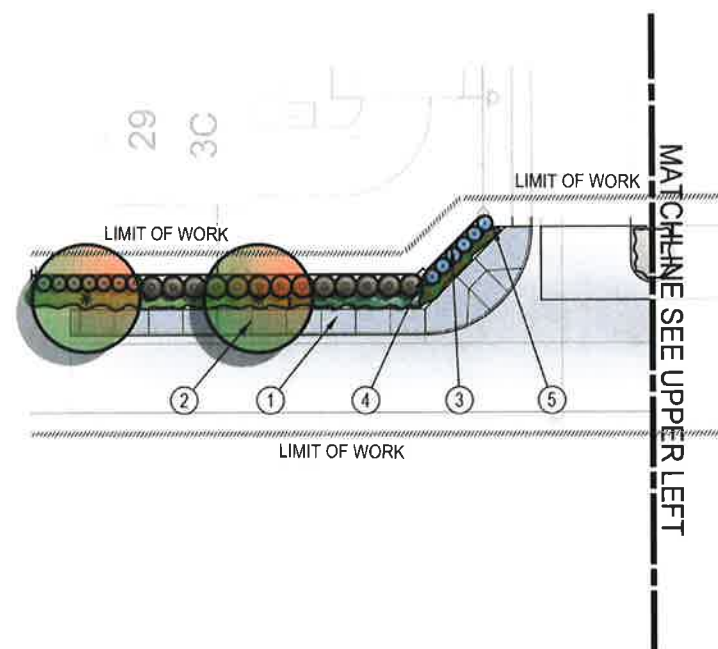
KEY MAP





FEATURE LEGEND:

- 1 City Sidewalk Per Civil Engineer's Plans.
- 2 Street Curb Per Civil Engineer's Plans.
- 3 CMU Perimeter Block Wall with One (1) Row Split-Face and Concrete Cap.
- 4 6'-6" Tall Decorative Ledger Stone Pilaster.
- 5 Aluminum Edging.
- 6 6' Tall Side and Rear Yard Wood / Vinyl Fence Per Separate Architerpa Design Group H.O.A. Package.



PLANT PALETTE:

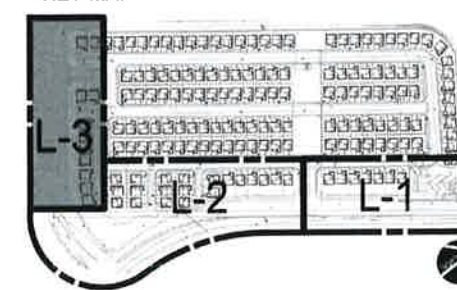
TREES & VINES

BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
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<i>Quercus agrifolia</i>	Coast Live Oak	36" Box	Low
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<i>Pistacia chinensis</i>	Chinese Pistache	15 Gal.	Moderate
VINES			
<i>Parthenocissus tricuspidata</i>	Boston Ivy	1 Gal.	Moderate

SHRUBS AND GROUNDCOVER

BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
BACKGROUND			
<i>Arbutus u. 'Compacta'</i>	Strawberry Tree	5 Gal.	Low
<i>Arctostaphylos 'Howard McMinn'</i>	Manzanita	5 Gal.	Low
<i>Leucophyllum l. 'Lynn's Legacy'</i>	Texas Ranger	5 Gal.	Low
MIDGROUND			
<i>Cistus x 'Purpureus'</i>	Rock Rose	5 Gal.	Low
<i>Salvia leucantha</i>	Mexican Sage	5 Gal.	Low
<i>Hesperaloe parviflora</i>	Red Yucca	5 Gal.	Low
<i>Nandina d. 'Harbour Dwarf'</i>	Heavenly Bamboo	5 Gal.	Moderate
FOREGROUND / GROUNDCOVER			
<i>Achillea millefolium</i>	Yarrow	1 Gal.	Low
<i>Aloe striata</i>	Coral Aloe	1 Gal.	Low
<i>Carex divulsa</i>	Gray Sedge	1 Gal.	Low
<i>Carex pansa</i>	Sedge	1 Gal.	Moderate
<i>Encelia californica</i>	Coast Sunflower	1 Gal.	Low
<i>Rosmarinus o. 'Huntington Carpet'</i>	Rosemary	1 Gal.	Low

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