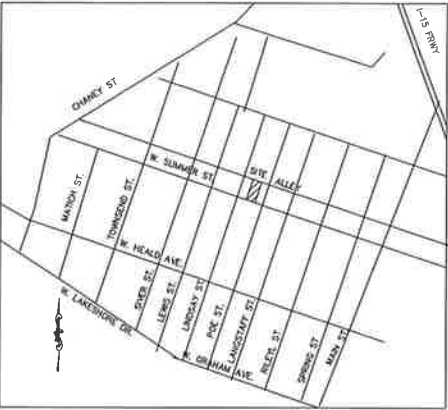
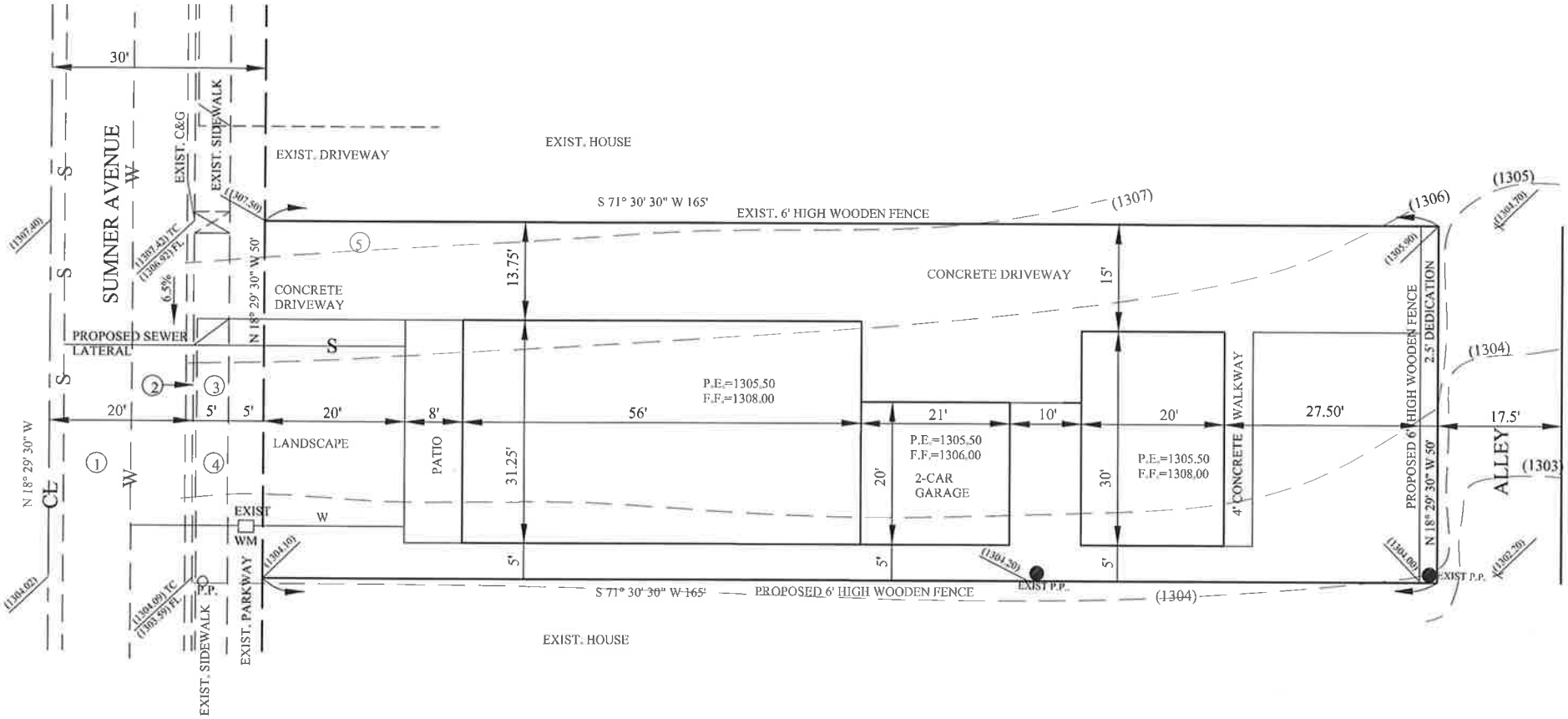


CITY OF LAKE ELSINORE
SITE PLAN



T.B. PAGE 866-E4 VICINITY MAP NTS
T6SR4W SECT 6



CONSTRUCTION NOTES:		QUANTITIES
①	EXIST. AC PAVEMENT	---
②	EXIST. CURB & GUTTER	---
③	EXIST. SIDEWALK	---
④	CONSTRUCT CONCRETE RESIDENTIAL DRIVE APPROACH (W=12") PER CITY STANDARD NO. 117	1 EA
⑤	CONSTRUCT 4" CONCRETE DRIVEWAY	2,900 SF
⑥	CONSTRUCT 6" SEWER LATERAL PER EVMWD STANDARD	1 EA

APPLICANT
GARY SOMMA
HMR&R SERVICES, INC.
279 SAN JACINTO RIVER RD
LAKE ELSINORE, CA 92530
(951) 244-5073

ASSESSOR'S PARCEL NUMBER:
374-054-018

LAND AREA:
0.19 ACRES TOTAL OWNERSHIP
0.19 ACRES GROSS
0.17 ACRES NET

LAND USE:
GENERAL PLAN : LMR
EXISTING LAND USE : RESIDENTIAL
PROPOSED LAND USE : RESIDENTIAL
EXISTING ZONING : R-1 SINGLE FAMILY RESIDENTIAL DISTRICT
PROPOSED ZONING : R-1

UTILITIES:
WATER : ELSINORE VALLEY MUNICIPAL WATER DISTRICT (951) 674-3146
SEWER : ELSINORE VALLEY MUNICIPAL WATER DISTRICT (951) 674-3146
GAS : SOUTHERN CALIFORNIA GAS SERVICE 800-427-2200
ELECTRIC: SOUTHERN CALIFORNIA EDISON 800-655-4555
TELEPHONE: SBC/VERIZON
TELEVISION: INDIVIDUAL RECEPTION

SCHOOL:
ELSINORE UNIFIED SCHOOL DISTRICT (951) 253-7000

LEGAL DESCRIPTION
LOT 4 OF HEALD'S RE-SUBDIVISION OF
BLOCK 58 OF ELSINORE AS RECORDED IN
MB 18/378 SD

LOT COVERAGE
LOT AREA: 8,125 SQFT
MAIN DWELLING: 1,750 SQFT
2ND UNIT: 600 SQFT
GARAGE AREA: 420 SQFT
PATIO: 250 SQFT
TOTAL: 3,020 SQFT
LOT COVERAGE: 37%

OWNER:
JAMES CLARK
30747 VIA BONICA
LAKE ELSINORE, CA 92530
(951) 452-0446

ENGINEER:
MASSOUD GHIAM, P.E.
24 OAKHURST ROAD
IRVINE, CA 92620
(949) 307-5410

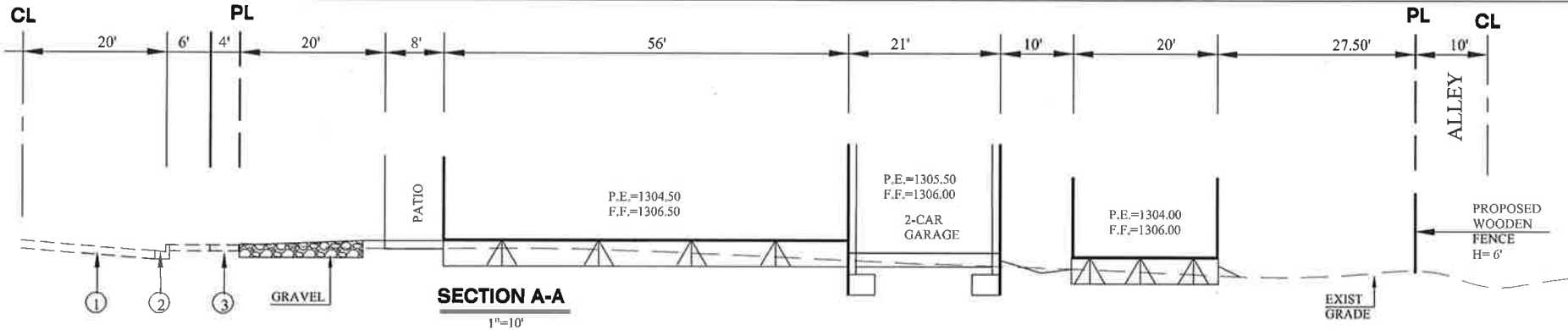
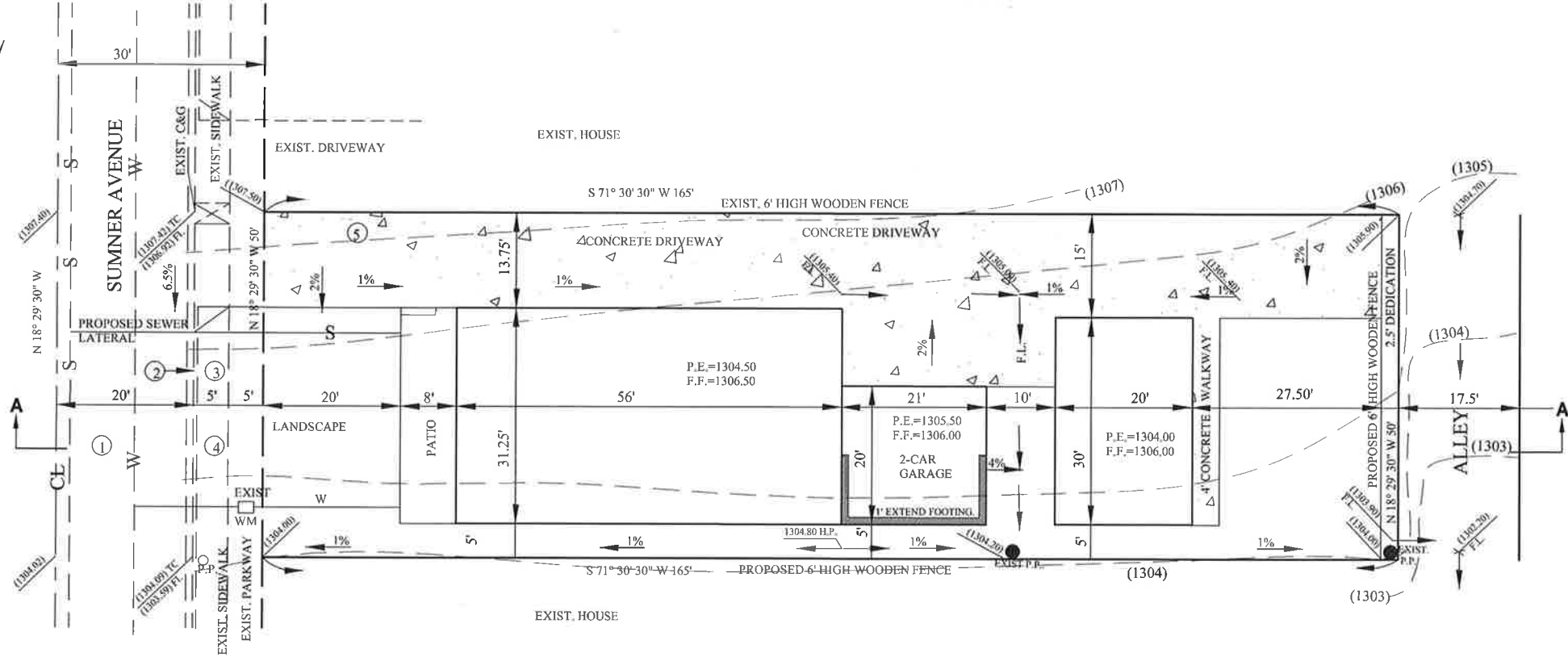
TOPOGRAPHY SOURCE
MASSOUD GHIAM, P.E.
24 OAKHURST ROAD
IRVINE, CA 92620
(949) 307-5410

DATE PREPARED:
JANUARY 2019
MARCH 2019

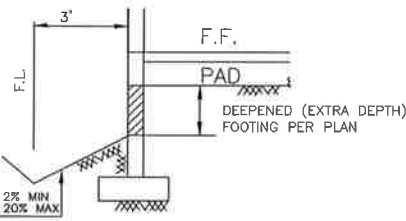
	PREPARED BY: MASSOUD GHIAM CIVIL ENGINEERING CONSULTANT 24 OAKHURST RD IRVINE, CA 92620 (949) 307-5410	BENCH MARK: CITY OF LAKE ELSINORE BENCHMARK A-93-28 BEING A CHISELLED SQ. IN THE TOP OF CURB AT BCR OF SOUTHWESTERLY CORNER OF INTERSECTION OF SUMNER AVE AND CHANEY STREET ELEVATION 1313.42 SCALE: H: 1"=10'	CITY OF LAKE ELSINORE	SHEET NO. 1 OF 1 SHTS
	FOR:	FILE NO.:	CITY FILE NO.:	

CITY OF LAKE ELSINORE
DRAINAGE PLAN

0 5 10 20 30 40 50
SCALE: 1" = 10'

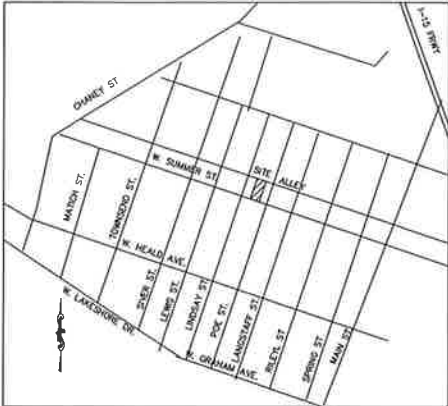


SWALE DETAIL (TYP)
NTS



DEEPEND FOOTING DETAIL
NTS

LEGAL DESCRIPTION LOT 4 OF HEALDS RE-SUBDIVISION OF BLOCK 58 OF ELSINORE AS RECORDED IN MB 18/378 SD	
A.P.N. 374-054-018	
SOURCE OF TOPOGRAPHY: MASSOUD GHAM CIVIL ENGINEERING CONSULTANT 24 OAKHURST RD IRVINE, CA 92620 (949) 307-5410	
ESTIMATED QUANTITIES: PROPOSED CUTS: 45 CY PROPOSED FILLS: 45 CY PROPOSED EXPORT: 0 CY PROPOSED IMPORT: 0 CY EXTENDED FOOTING NO GRADING	
SOILS ENGINEER LAKESHORE ENGINEERING (951) 329-6730	



T.B. PAGE 866-E4 **VICINITY MAP** NTS
T6SR4W SECT 6

DRAINAGE NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF LAKE ELSINORE MUNICIPAL CODE, CHAPTER 15.72 AND APPLICABLE STANDARDS AND SPECIFICATIONS AND THE LATEST EDITION OF THE UNIFORM BUILDING CODE, (U.B.C.), CHAPTER 33.
- A PERMIT SHALL BE OBTAINED FROM THE ENGINEERING DEPARTMENT, CITY OF LAKE ELSINORE, PRIOR TO ANY OPERATIONS.
- THE DEVELOPER AND/OR THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AND U.S.A. ALERT (1-800-422-4133) FORTY-EIGHT (48) HOURS PRIOR TO GRADING.
- MINIMUM BUILDING PAD AND DRAINAGE SWALE SLOPE SHALL BE 1% IF CUT OR FILL SLOPE IS LESS THAN TEN FEET (10'), AND 2% IF CUT OR FILL IS GREATER THAN TEN FEET (10'). DRAINAGE SWALES SHALL BE A MINIMUM OF 0.5' DEEP AND CONSTRUCTED A MINIMUM OF TWO FEET (2') FROM THE TOP OF CUT OR FILL SLOPES.
- ALL PROPERTY CORNERS SHALL BE CLEARLY DELINEATED IN THE FIELD PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION/GRADING.
- ALL WORK SHALL CONFORM TO THE CITY AND STATE CONSTRUCTION SAFETY ORDERS.
- THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.
- ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND BE SOLELY RESPONSIBLE FOR ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY OR INDIRECTLY FROM HIS OPERATIONS, WHETHER OR NOT SUCH FACILITIES ARE SHOWN ON THESE PLANS.
- AN ENCROACHMENT PERMIT SHALL BE REQUIRED FOR ALL CONSTRUCTION DONE WITHIN PUBLIC RIGHT-OF-WAY.
- THIS SITE HAS OBTAINED A NATIONAL POLLUTION ELIMINATION SYSTEM (NPDES) PERMIT TO REGULATE MUNICIPAL AND INDUSTRIAL STORM WATER DISCHARGE. NPDES WDD #N/A DATE PERMIT ISSUED N/A.
- DRAINAGE EASEMENTS WILL BE KEPT CLEAR OF ALL OBSTRUCTIONS. NO BUILDINGS OR WALLS SHALL BE PLACED WITHIN EASEMENT LIMITS. TEMPORARY IMPROVEMENTS ARE SUBJECT TO REMOVAL AT OWNER'S EXPENSE.

CONSTRUCTION NOTES:		QUANTITIES
1	EXIST. AC PAVEMENT	---
2	EXIST. CURB & GUTTER	---
3	EXIST. SIDEWALK	---
4	CONSTRUCT CONCRETE RESIDENTIAL DRIVE APPROACH (W=13') PER CITY STANDARD NO. 117	1 EA
5	CONSTRUCT 4" CONCRETE DRIVEWAY	2,900 SF
6	CONSTRUCT 6" SEWER LATERAL PER EVMWD STANDARD	1 EA

UNDERGROUND SERVICE ALERT



CALL: TOLL FREE
1-800-227-2600

TWO WORKING DAYS BEFORE YOU DIG

THE PRIVATE ENGINEER SIGNING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE DESIGN HEREON. IN THE EVENT OF DISCREPANCIES ARISING AFTER CITY APPROVAL OR DURING CONSTRUCTION, THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR APPROVAL BY THE CITY.

MARK BY DATE
ENGINEER

REVISIONS

APPR DATE
CITY

NOTE:

WORK CONTAIN WITHIN THESE PLANS SHALL NOT COMMENCE UNTIL AN ENCROACHMENT PERMIT HAS BEEN ISSUED.

OWNER:

JAMES CLARK
30747 VIA BONICA
LAKE ELSINORE, CA 92530
(951) 452-0446



PREPARED BY:

MASSOUD GHAM
CIVIL ENGINEERING CONSULTANT
24 OAKHURST RD
IRVINE, CA 92620
(949) 307-5410

PREPARED BY

DATE: 03-04-19

R.C.E. 59993

EXP. DATE: 6-30-20

THESE GRADING PLANS HAVE BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AND SPECIFICATIONS OUTLINED IN THE SOILS AND GEOLOGICAL RECONNAISSANCE REPORT PREPARED FOR THIS DEVELOPMENT.

(Signature) (RCF NO.) (Date)

(Signature) (RCE NO.) (Date)

BENCH MARK:

CITY OF LAKE ELSINORE BENCHMARK A-93-28
BEING A CHISELLED SQ. IN THE TOP OF CURB AT BCR OF
SOUTHWESTERLY CORNER OF INTERSECTION OF SUMNER AVE
AND CHANEY STREET

ELEVATION 1313.42

SCALE: H: 1"=10'

CITY OF LAKE ELSINORE

DRAINAGE PLAN
407 W. SUMNER AVE.
LAKE ELSINORE, CA 92530

FOR

W.D.

CITY
FILE NO.

SHEET NO.

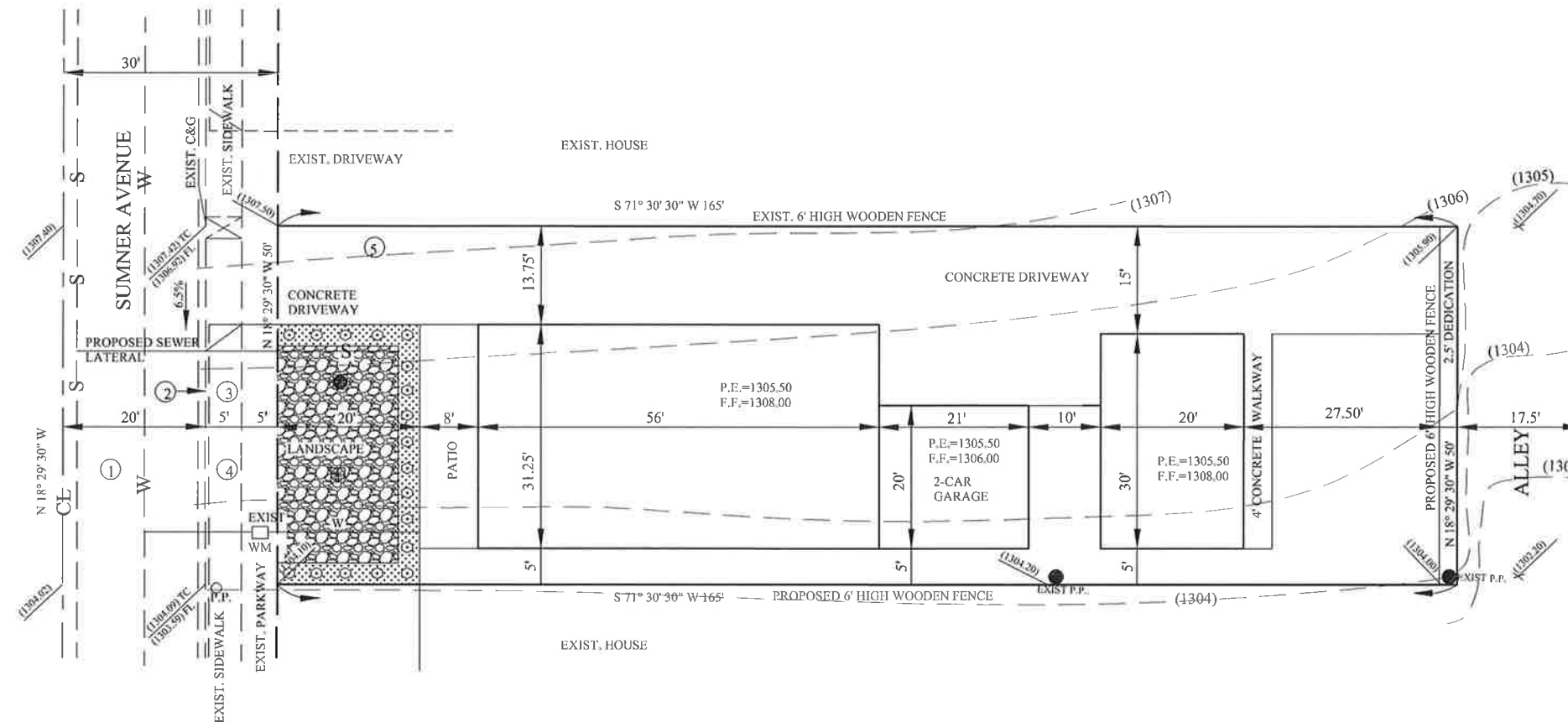
1

OF 1 SHTS



The map shows a street grid in the City of Vancouver. The main streets shown are Dunsmuir St (running diagonally from top-left to bottom-right), Main St (running diagonally from top-right to bottom-left), and Howe St (running horizontally across the middle). Other streets include Metchin St, Lonsdale St, and various smaller streets like 1st St, 2nd St, 3rd St, 4th St, 5th St, 6th St, 7th St, 8th St, 9th St, 10th St, 11th St, 12th St, 13th St, 14th St, 15th St, 16th St, 17th St, 18th St, 19th St, 20th St, 21st St, 22nd St, 23rd St, 24th St, 25th St, 26th St, 27th St, 28th St, 29th St, 30th St, 31st St, 32nd St, 33rd St, 34th St, 35th St, 36th St, 37th St, 38th St, 39th St, 40th St, 41st St, 42nd St, 43rd St, 44th St, 45th St, 46th St, 47th St, 48th St, 49th St, 50th St, 51st St, 52nd St, 53rd St, 54th St, 55th St, 56th St, 57th St, 58th St, 59th St, 60th St, 61st St, 62nd St, 63rd St, 64th St, 65th St, 66th St, 67th St, 68th St, 69th St, 70th St, 71st St, 72nd St, 73rd St, 74th St, 75th St, 76th St, 77th St, 78th St, 79th St, 80th St, 81st St, 82nd St, 83rd St, 84th St, 85th St, 86th St, 87th St, 88th St, 89th St, 90th St, 91st St, 92nd St, 93rd St, 94th St, 95th St, 96th St, 97th St, 98th St, 99th St, 100th St. A specific lot is highlighted with a red outline and labeled 'SITE'.

T6SR4W SECT 6



- 1- INSTALL AUTOMATIC IRRIGATION SYSTEM IN FRONT YARD
- 2- PROVIDE ONE TREE (24" BOX) MIN. EVERY 30' OF STREET FRONTAGE.
- 3- ONE TREE SHALL BE PROVIDED FOR EVERY 500 S.F. OF LANDSCAPE AREA. ALL TREES SHALL BE MIN. 24" BOX
- 4- PROVIDE A RAIN SENSOR (WICH WILL ASSIST IN THE CONSERVATION OF WATER)
- 5- CONTROLLER SHALL BE WEATHER OR SOIL MOISTURE BASED CONTROLLERS THAT AUTOMATICALLY ADJUST IRRIGATION IE TO CHANGE IN PLANTS NEEDS AS WEATHER CONDITIONS CHANGE.
- 6- WEATHER BASED CONTROLLERS WITHOUT INTEGRAL RAIN SENSORES OR COMMUNICATION SYSTEMS THAT ACCOUNT FOR LOCAL RAINFALL SHALL HAVE A SEPARATE WIRED OR WIRELESS RAIN SENSOR WHICH CONNECTS OR COMMUNICATES WITH THE CONTROLLER(S), SOIL MOISTURE-BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT.

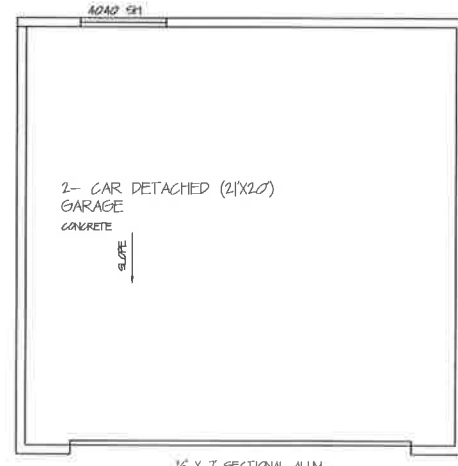
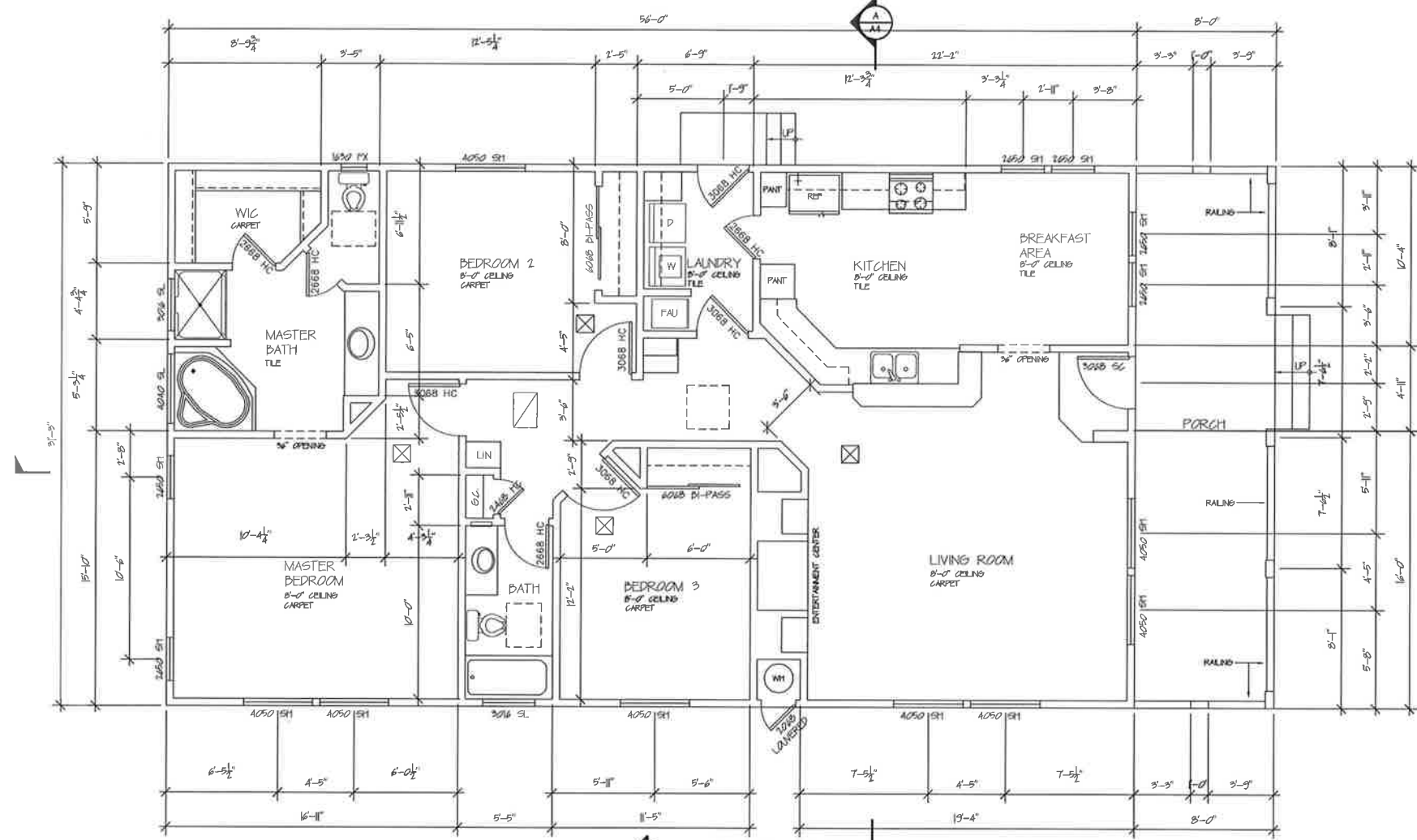
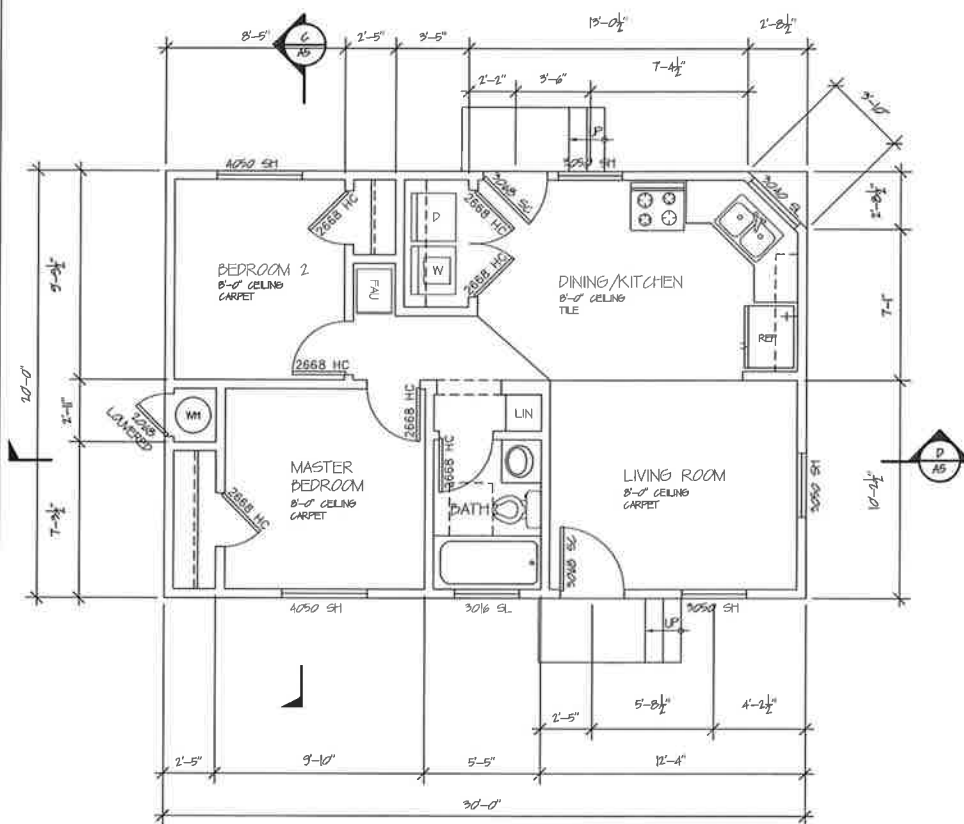
-  24" BOX PROPIS PUBESCENS (MESTIQUE)
OR APPROVED STREET TREE (ONE PROPOSED)
-  CERCIDIUM (PALO VERDE)
OR APPROVED STREET TREE. (ONE PROPOSED)
-  5 GAL SHRUB RED TIP PHOTINIA X FRASERI (20 PROPOSED)
-  YELLOW GAZANIA GROUNDCOVER
OR APPROVED EQUAL
-  GRAVEL

LOT COVERAGE: 37%



SHEET NO. 1

OF 1 SHTS



NO.	REVISIONS	DATE	BY

HHR MANUFACTURED HOMES
 407 W. SUMNER AVE.
 LAKE ELSINORE, CA 92530

FLOOR PLAN

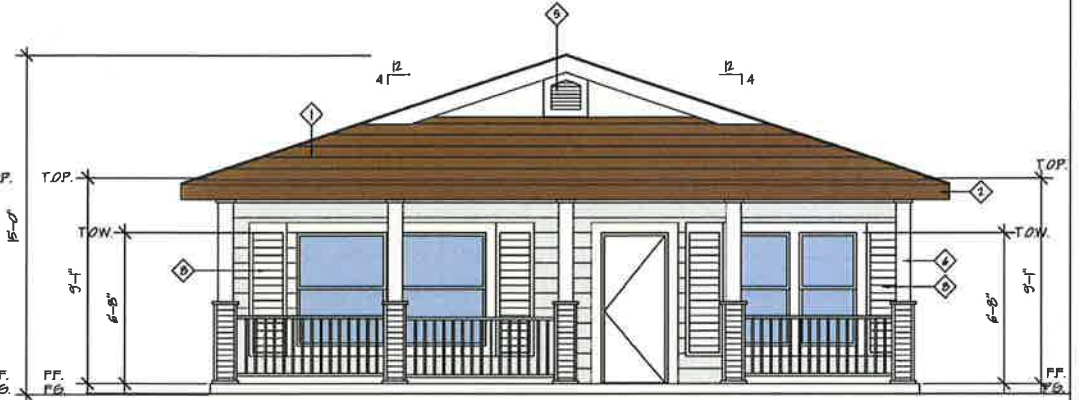
zdesignworks@gmail.com
RECTOR F. ZUBETA
 DESIGN & DRAFTING WORKS
 RESIDENTIAL-ADDITIONS-TENANT IMPROVEMENTS
 253-B E PECK ST. LAKE ELSINORE, CA 92530
 PH. FAX 951 245 5343
 CELL 951 252 7707

SCALE	DATE
NOTED	10/21/18
OWN. BY	JOB NO.
AGZ/hz	18-18
SHEET NO.	

A1



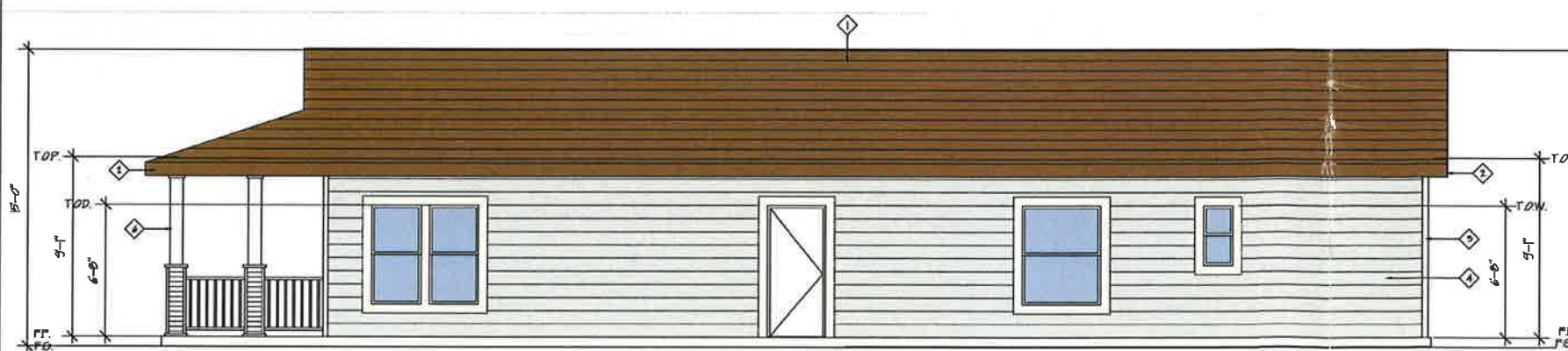
SIDE (WEST) ELEVATION
1/4" = 1'-0"



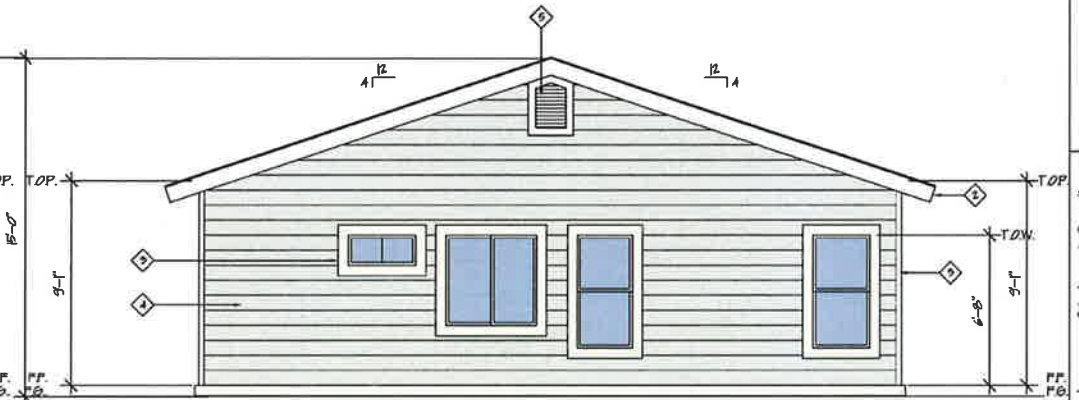
FRONT (SOUTH) ELEVATION
1/4" = 1'-0"

ELEVATION NOTES

- 1- CLASS "A" ARCHITECTURAL TRIDIMENSIONAL ASPHALT COMPOSITION SHINGLE 0/800 FELT. 0/TRIMMING
- 2- WOOD FASCIA
- 3- WOOD TRIM
- 4- 1 X HORIZONTAL SIDING, 8" LAP
- 5- DECORATIVE VENT
- 6- POST COLUMN
- 7- BRICK VENEER
- 8- DECORATIVE SHUTTERS



SIDE (EAST) ELEVATION
1/4" = 1'-0"



REAR (NORTH) ELEVATION
1/4" = 1'-0"

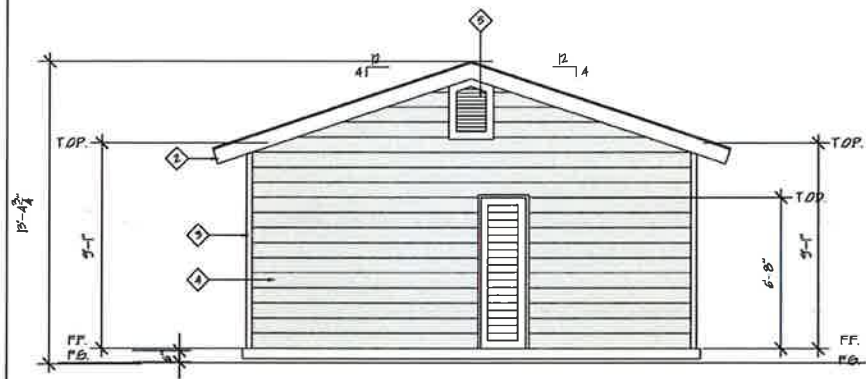
HHR MANUFACTURED HOMES
407 W. SUMNER AVE.
LAKE ELSINORE, CA 92530

ELEVATIONS

z6designworks@gmail.com
HECTOR F. ZUBETA
DESIGN & DRAFTING WORKS
RESIDENTIAL-ADDITIONS-TENANT IMPROVEMENTS
253-B E. PECK ST. LAKE ELSINORE, CA 92530
PH. FAX 951.245.5343
CELL 951.252.7707

SCALE NOTED
DATE 10/21/18
JOB NO. AGZ/HZ 18-18
SHEET NO. A3

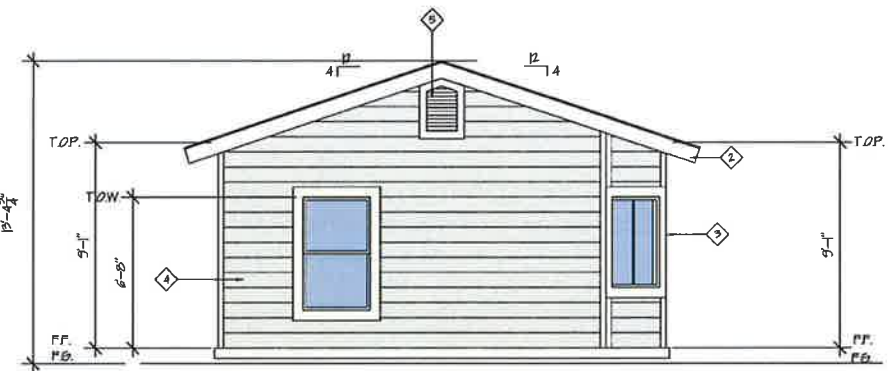
OF SHEETS



NORTH ELEVATION
1/4" = 1'-0"



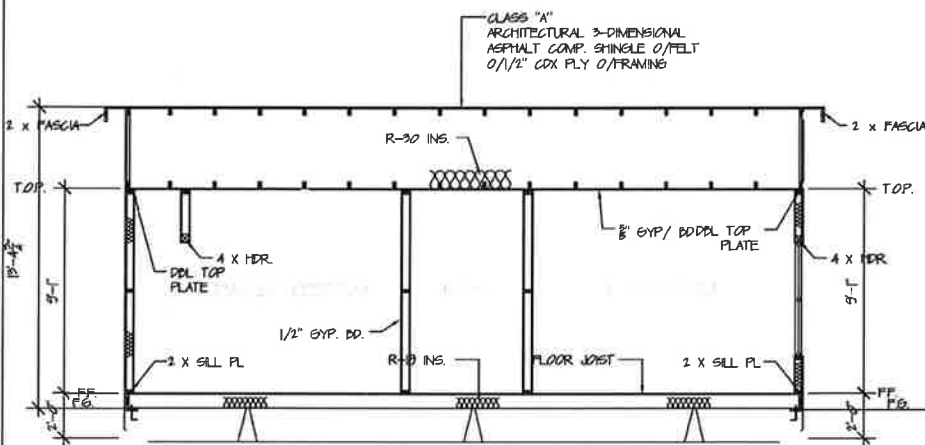
WEST ELEVATION
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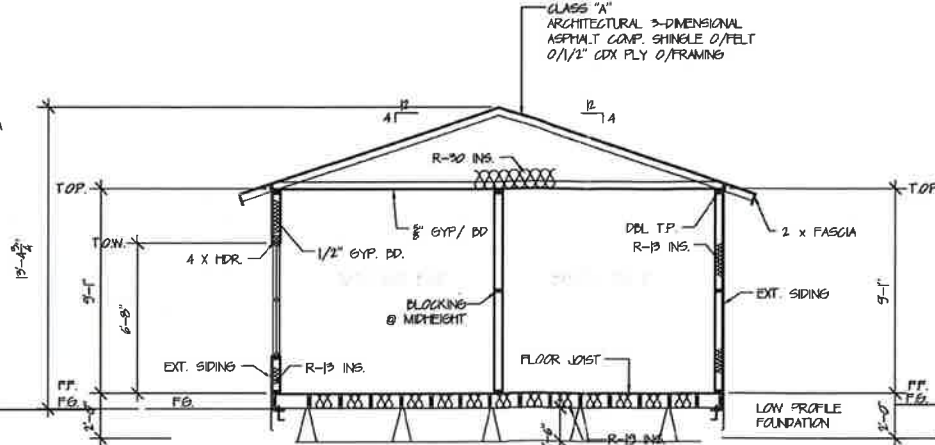
SOUTH ELEVATION
1/4" = 1'-0"

ELEVATION NOTES

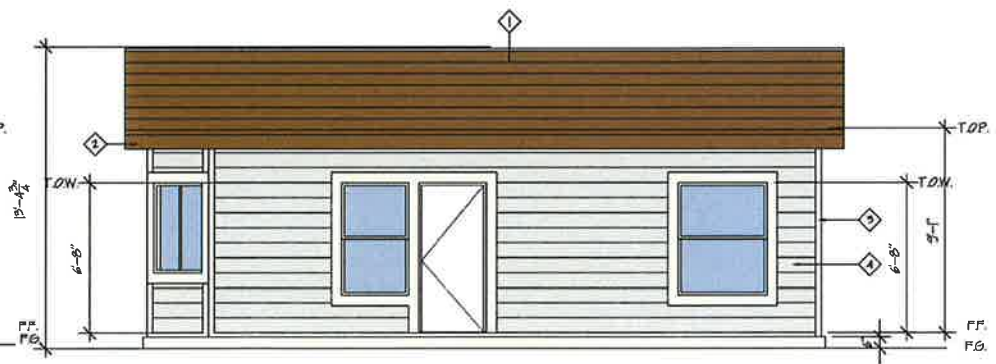
- 1- CLASS "A" ARCHITECTURAL 3-DIMENSIONAL ASPHALT COMP. SHINGLE O/FELT O/1/2" CDX PLY O/TRIMING
- 2- WOOD FASCIA
- 3- WOOD TRIM
- 4- 1 X HORIZONTAL SIDING, 8" LAP
- 5- DECORATIVE VENT
- 6- POST COLUMN
- 7- BRICK VENEER
- 8- DECORATIVE SHUTTERS



SECTION "D"
1/4" = 1'-0"



SECTION "C"
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"

HHR MANUFACTURED HOMES
407 W. SUMNER AVE.
LAKE ELSINORE, CA 92530

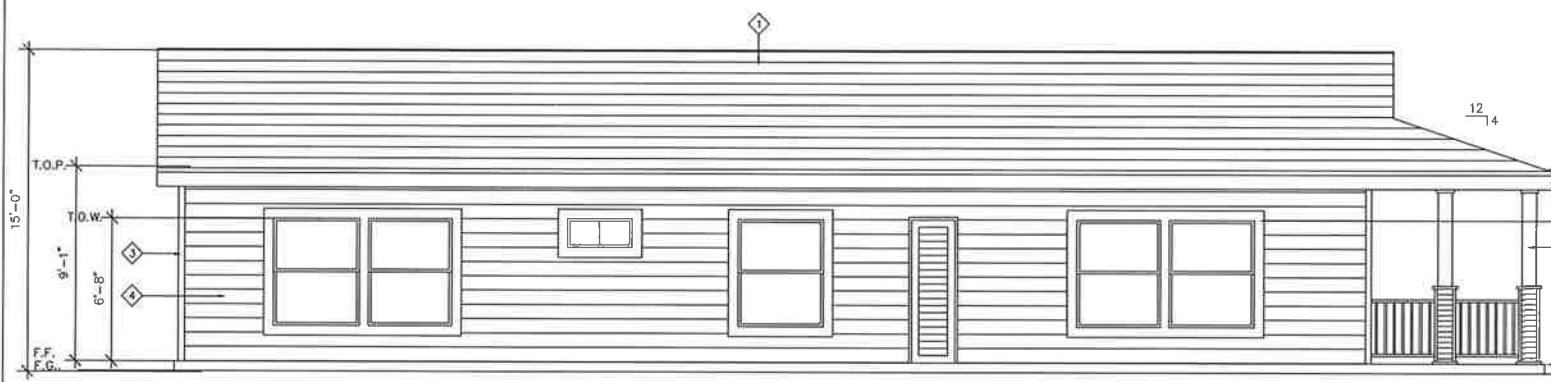
SECOND UNIT
ELEVATIONS & SECTIONS

DESIGNWORKS
HECTOR F. ZUBIETA
DESIGN & DRAFTING WORKS
RESIDENTIAL-ADDITIONS-TENANT IMPROVEMENTS
253-B E. PECK ST. LAKE ELSINORE, CA 92530
PH: FAX 951 245 5343
CELL 951 252 7707

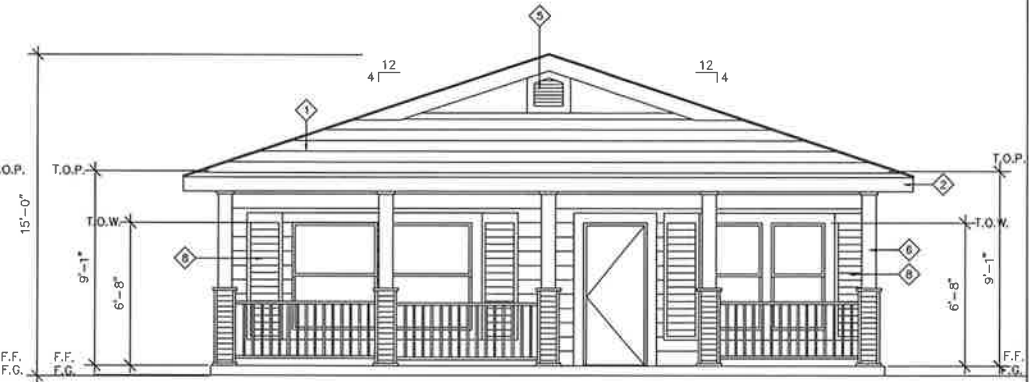
SCALE
NOTED
DATE
10/21/18
JOB NO.
18-18

SHEET NO.
A5

OF SHEETS

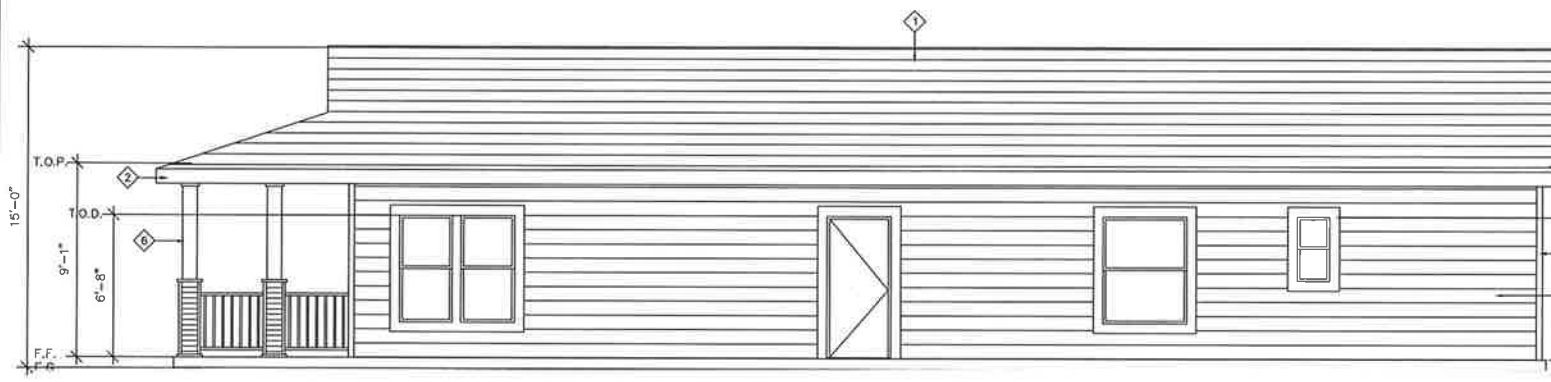


SIDE (WEST) ELEVATION
1/4" = 1'-0"

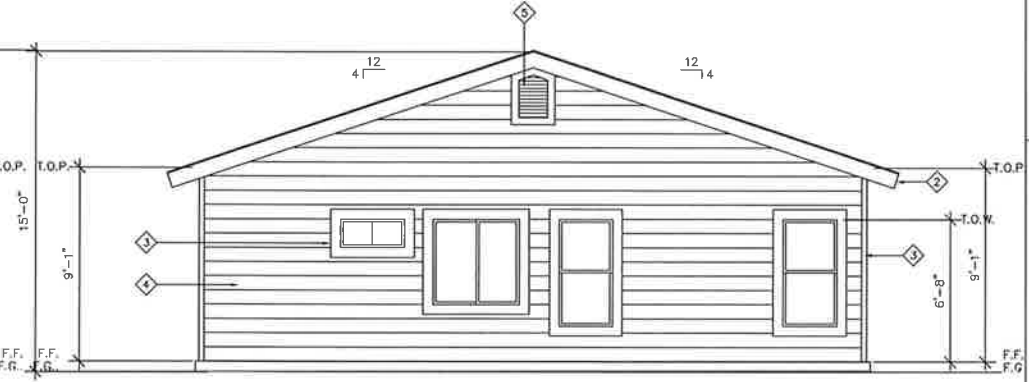


FRONT (SOUTH) ELEVATION
1/4" = 1'-0"

- ELEVATION NOTES
- 1.- CLASS "A" ARCHITECTURAL TRIDIMENSIONAL ASPHALT COMPOSITION SHINGLE O/#30 FELT. O/FRAMING
 - 2.- WOOD FASCIA
 - 3.- WOOD TRIM
 - 4.- 1 X HORIZONTAL SIDING, 8" LAP
 - 5.- DECORATIVE VENT
 - 6.- POST COLUMN
 - 7.- BRICK VENEER
 - 8.- DECORATIVE SHUTTERS



SIDE (EAST) ELEVATION
1/4" = 1'-0"



REAR (NORTH) ELEVATION
1/4" = 1'-0"

NO.	REVISIONS	DATE	BY

HHR MANUFACTURED HOMES
407 W. SUMNER AVE.
LAKE ELSINORE, CA 92530

ELEVATIONS

26designworks@gmail.com
HECTOR F. ZUBIETA
DESIGN & DRAFTING WORKS
RESIDENTIAL-ADDITIONS-TENANT IMPROVEMENTS
253-B E. PECK ST. LAKE ELSINORE, CA 92530
PH. FAX 951.245.3343
CELL 951.252.7707

SCALE NOTED	DATE 10/21/18
OWN. BY AGZ/HZ	JOB NO. 18-18
SHEET NO. A3	OF SHEETS

UHR MANUFACTURED HOMES
407 W. SUMNER AVE.
LAKE ELSINORE, CA 92530

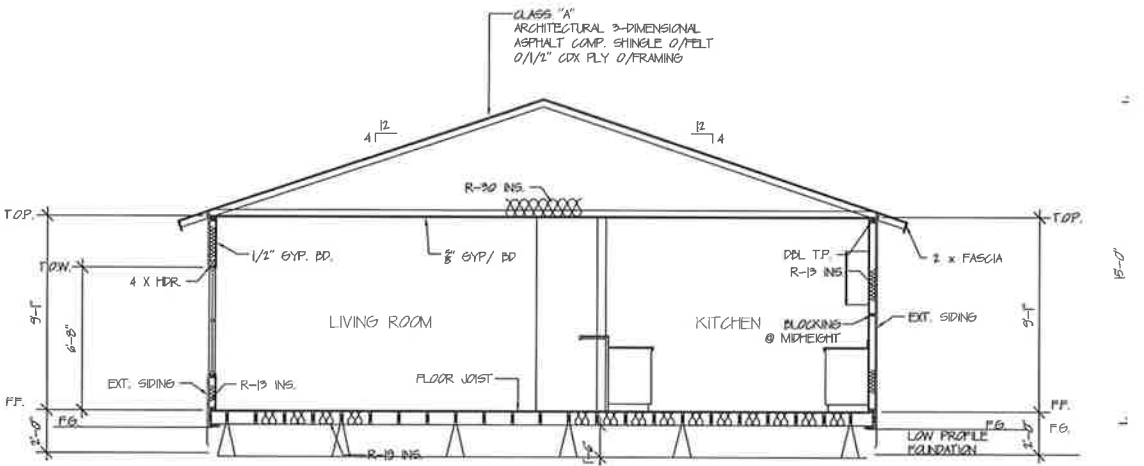
BUILDING SECTIONS

 **HECTOR F. ZUBIETA**
DESIGN & DRAFTING WORKS
RESIDENTIAL—ADDITIONS—TENANT IMPROVEMENTS
253-B E. PECK ST. LAKE ELSINORE, CA 92530
PH. FAX 951 245 5343
CELL 951 252 7707
zfdesignworks@gmail.com

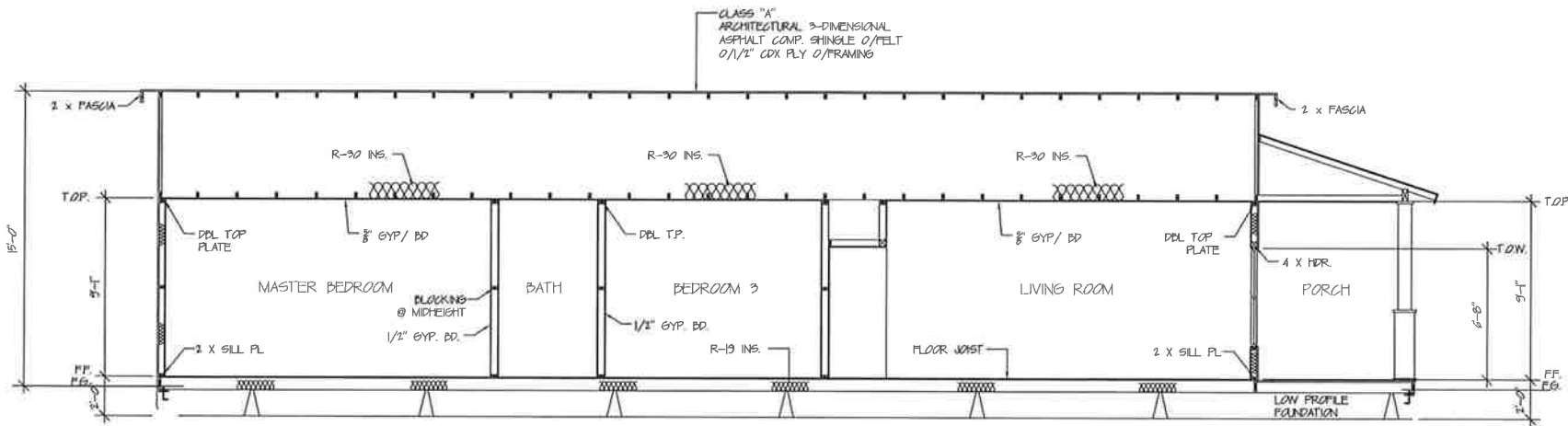
SCALE NOTED	DATE 10/21/18
OWN. BY AGZ/HZ	JOB NO. 18-18
SHEET NO.	

A4

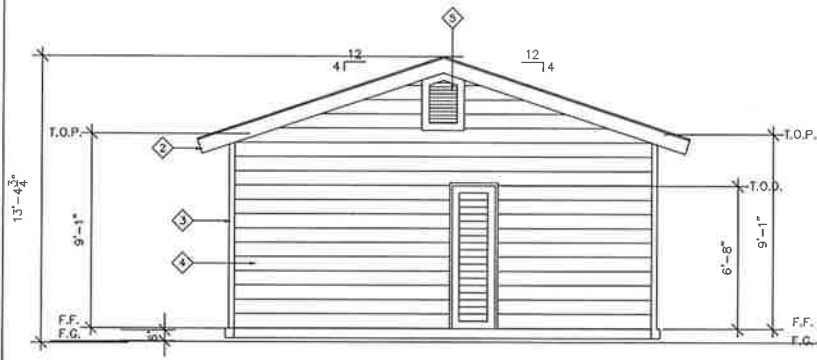
OF SHEETS



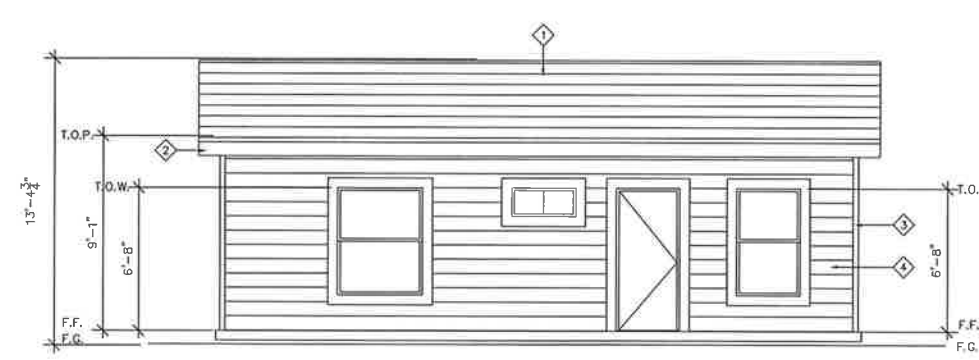
SECTION "A"
1/4" = 1'-0"



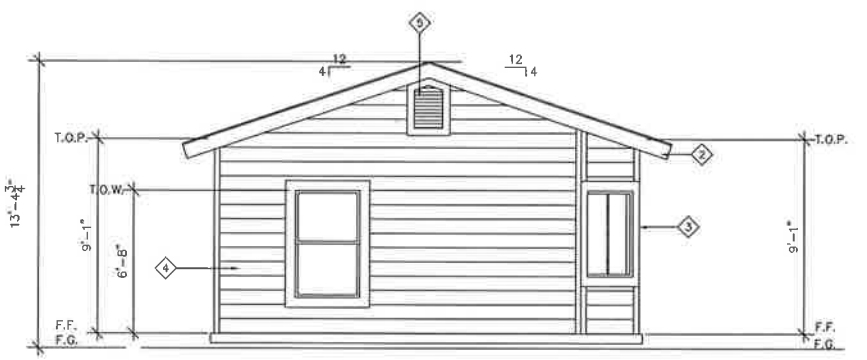
SECTION "B"
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NORTH ELEVATION
1/4" = 1'-0"

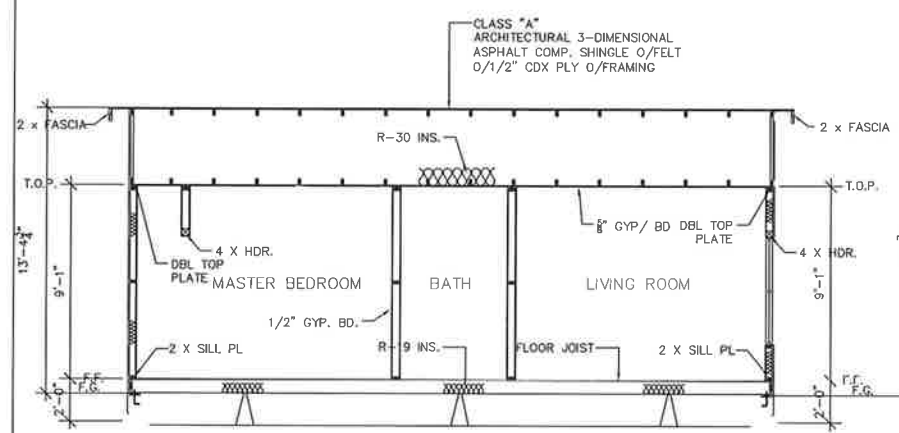


WEST ELEVATION
1/4" = 1'-0"

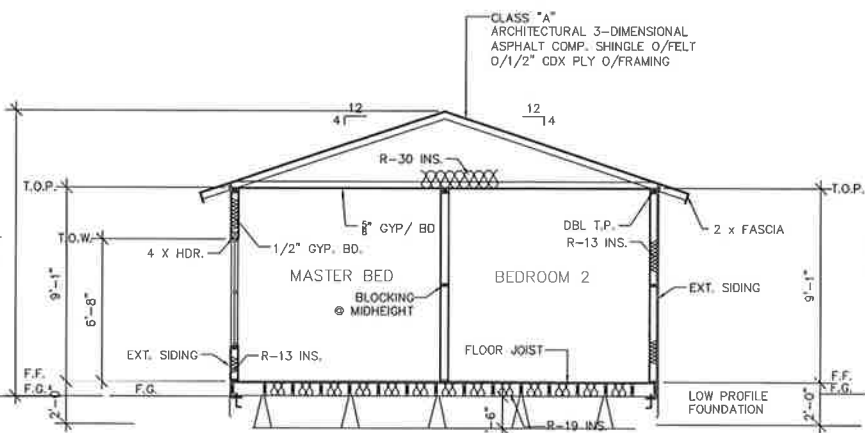


SOUTH ELEVATION
1/4" = 1'-0"

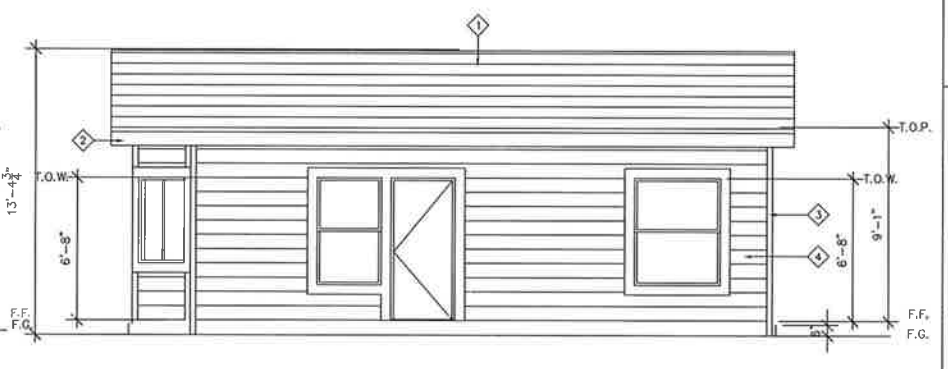
- ELEVATION NOTES
- 1.- CLASS "A" ARCHITECTURAL TRIDIMENSIONAL ASPHALT COMPOSITION SHINGLE O/#30 FELT. O/FRAMING
 - 2.- WOOD FASCIA
 - 3.- WOOD TRIM
 - 4.- 1 X HORIZONTAL SIDING, 8" LAP
 - 5.- DECORATIVE VENT
 - 6.- POST COLUMN
 - 7.- BRICK VENEER
 - 8.- DECORATIVE SHUTTERS



SECTION "D"
1/4" = 1'-0"



SECTION "C"
1/4" = 1'-0"



EAST ELEVATION
1/4" = 1'-0"

NO.	REVISIONS	DATE	BY

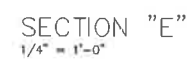
HHR MANUFACTURED HOMES
407 W. SUMNER AVE.
LAKE ELSINORE, CA 92530

SECOND UNIT

ELEVATIONS & SECTIONS

DESIGNWORKS
DESIGN & DRAFTING WORKS
RESIDENTIAL-ADDITIONS-TENANT IMPROVEMENTS
253-B E PECK ST LAKE ELSINORE, CA 92530
PH: 951-251-3343
CELL: 951-252-7737

SCALE	NOTED	DATE	10/21/18
DWN. BY	AGZ	JOB NO.	18-18
SHEET NO.	A5		
OF		SHEETS	



- # ELEVATION NOTES
- 1.- CLASS "A" ARCHITECTURAL TRIDIMENSIONAL ASPHALT COMPOSITION SHINGLE
O/#30 FELT. O/FRAMING
 - 2.- WOOD FASCIA
 - 3.- WOOD TRIM
 - 4.- 1 X HORIZONTAL SIDING, 8" LAP
 - 5.- DECORATIVE VENT
 - 6.- POST COLUMN
 - 7.- BRICK VENEER
 - 8.- DECORATIVE SHUTTERS

HHR MANUFACTURED HOMES
407 W. SUMNER AVE.
LAKE ELSINORE, CA 92530

GARAGE
ELEVATIONS & SECTIONS

SCALE NOTED	DATE 10/21/18
OWN. BY AGZ	JOB NO. 18-18
SHEET NO.	

A6

OF	SHEETS
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