

GENERAL INFORMATION

WORK PERFORMED SHALL COMPLY WITH THE CURRENT APPLICABLE CODES. SEE TABLE

A THESE GENERAL NOTES UNLESS OTHERWISE NOTED ON PLANS OR SPECIFICATIONS

B STANDARD SPECIFICATIONS OF THE ASTM

C MODIFICATIONS BY THE LOCAL JURISDICTION

ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SUB-CONTRACTORS. NOTES AND DIMENSIONS TAKE PRECEDENCE OVER SCHEDULING OF THE DRAWING. OWNER CONTRACTOR OR SUB-CONTRACTOR SHALL REPORT TO PROJECT OWNER AND DESIGNER ALL CONDITIONS WHICH PREVENT THE PROPER EXECUTION OF THEIR WORK.

ALL EQUIPMENT AND MATERIALS FURNISHED AND INSTALLED UNDER THESE PLANS, SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE OF THE WORK BY THE OWNER

TYPICAL DETAILS AND SPECIFICATIONS ARE MINIMUM REQUIREMENTS TO BE USED WHEN CONDITION ARE NOT SHOWN OTHERWISE

SPECIFIC NOTES AND DETAILS OR DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON PROJECT

APPROVAL BY THE INSPECTOR DOES NOT MEAN APPROVAL OR ALLOWANCE FOR FAILURE TO COMPLY WITH THE PLANS AND SPECIFICATIONS. ANY DESIGN WORK WHICH IS TO BE CLEAR OR IS AMBIGUOUS MUST BE REFERRED TO THE ARCHITECT OR ENGINEER FOR INTERPRETATION OR CLARIFICATION

SEE ARCHITECTURAL, STRUCTURAL, ELECTRICAL AND MECHANICAL DRAWINGS FOR PUTS, TIECHES

POOF OPENINGS, DEPRESSURES ETC NOT SHOWN ON THE OTHER DRAWINGS

CONSTRUCTION DOCUMENTS IDENTIFIED AS "B" SET ON ANY ORAL SHEETS MAY BE SUBJECT TO REVIEW. THIS REVIEW MAY RESULT IN CHANGES WHICH ARE TO BE PLAIN FROM THE ISSUANCE OF THE FINAL CONSTRUCTION SET WHICH WILL CONTAIN "NO B" SET DESIGNATIONS CONSTRUCTION DOCUMENTS IDENTIFIED AS "B" SET ARE NOT CONSIDERED AS BEING THE COMPLETE OR FINAL DRAWINGS AND THEY SHOULD NOT IN ANY WAY BE USED AS SUCH

REFER TO THE CURRENT CALCULATIONS FOR ANY QUESTION REGARDING LUMBER GRADES, BEAM AND HEADER SIZES, FOOTING AND SHEAR REQUIREMENTS

NO DEVIATIONS FROM STRUCTURAL DETAILS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL DESIGN ENGINEER. APPROVAL BY CITY/SUPERVISOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM PLANS OR SPECIFICATIONS

VIBRATION EFFECTS OF MECHANICAL EQUIPMENT HAVE NOT BEEN CONSIDERED BY THE ENGINEER

THE DESIGN Adequacy AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. SOLVES RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN CONSIDERED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS. THE CONTRACTOR SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE APPLICATION OF THE A/R PRECASTED CONCRETE MATERIALS. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT/ENGINEER SHALL NOT INCLUDE INSPECTION OF THE ABOVE ITEMS

CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOORS OR ROOF. LOAD SHALL NOT EXCEED THE DESIGNSIVE LOAD PER SQUARE FOOT. PROVIDE ADEQUATE SHORING AND/OR BRACING WHERE STRUCTURE HAS NOT ATTAINED DESIGN STRENGTH

ALL FOOTINGS SHALL REST ON FIRM NATURAL SOIL OR APPROVED COMPACTED FILL. UNO
REFER TO THE CURRENT CIVIL ENGINEER'S GRADING AND LOT PLANS, IF APPLICABLE.
REFER TO THE CURRENT LANDSCAPE ARCHITECT'S GRADING AND CONSTRUCTION DOCUMENTS.
ALL FINISH GRADES TO DRAIN AWAY FROM THE BUILDING FOOTINGS.
CONTRACTOR SHALL INVESTIGATE SITE DURING CLEARING AND EARTHWORK OPERATIONS FOR
FIELD EXCAVATIONS OR BURIED STRUCTURES SUCH AS CESSPOOLS, CISTERNS, FOUNDATIONS
IF ANY OF THESE STRUCTURES ARE FOUND, THE PROJECT ENGINEER AND THE SOILS
ENGINEER SHALL BE NOTIFIED IMMEDIATELY.
PROVIDE SURVEY STAKES PRIOR TO FOUNDATION EXCAVATION TO VERIFY LOT LINES
WHERE PROPERTY BOUNDARIES HAVE NOT ALREADY BEEN ESTABLISHED.

WATER - REFER TO SPECIFICATIONS ON SHEET 001

PROTECTION AGAINST DECAY AND TERMITES

WOOD EMBEDDED IN THE GROUND OR IN DIRECT CONTACT WITH THE EARTH AND USED FOR THE SUPPORT OF PERMANENT STRUCTURES SHALL BE PRESSURE TREATED WOOD

WOOD JOISTS OR THE BOTTOM OF WOOD FLOORS CLOSER THAN 18 INCHES, OR WOOD GRIDDERS CLOSER THAN 12 INCHES TO THE GROUND UNDER FLOOR AREAS AND THEIR SUPPORTS, SHALL BE PRESSURE TREATED WOOD OR A HEAVY WOOD OF APPROVED NATURALLY DURABLE SPECIES AS LISTED IN THE LATEST EDITION OF CALIFORNIA BUILDING CODE (2016 CBC)

ANCHOR BOLT	EV	EDGE HAULING	R	RA
ADJUSTABLE	ELY	ELEVATION	RE	REPAIRING
ABOVE	ENGR	ENGINEER	PLWD	PLY
AMERICAN	EQ	EQUAL	PS F	PLATE
CONCRETE	EQUIP	EQUIPMENT		SQU
ESTIMATE	EST (B)	ESTIMATING	PSI	PO
AMERICAN	EXP	EXPANSION		SQU
INSTITUTE OF	FIN	FINISH	PRESS	PRE
STEEL CONSTR	FIL	FIELD HAULING	R	RA
AMERICAN SOCIETY	FLR	FLOOR	REFIN	REF
FOR TESTING & MATERIALS	FTG	FOUNDATION	RECD	RECD
ARCHITECTURAL	FRMC	FRAMING	RM	RA
BEMA	GA	GAUGE	SCHED	SCH
BOARD	GALV	GALVANIZED	SMT	SHE
BLK	GL B	GLUE LAM BEAM	SAL	SAM
BLOCKING	GSD	GRADE	SPEC	SPEC
BOTTOM	HOL	HOLDOWN	STRG	STR
BUILDING	HGR	HANGER	STD	STD
CEILING	HDR	HEADER	STL	STEE
CHUTE	HT	HIGHT	SHIF	ST
COLUMN	HORIZ	HORIZONTAL	STR	STR
CONCRETE	III	INCH	SO	SQU
MASONRY	ID	INSIDE DIAMETER	SYM	SYM
JOINT	INT	INTERIOR	THK	THK
CONSTRUCTION	JST	JOIST	UB C	UB
UNIT	LAM	LAMINATED		BUL
CONCRETE	LT WT	LIGHT WEIGHT		CON
CONNECTION	MB	MACHINE BOLT	UNIT	UNIT
CONSTRUCTION	MAS	MASONRY		NOT
CONSTRUCTION	MAX	MAXIMUM		OTH
DETAILING	MFL	METAL	VERT	VERT
DETAIL	MN	MINIMUM	WF	WF
OROGICAL	HTS	HOT TO SCALE	WFF	WFF
DIAMETER	HD OR	HAULER		FASH
DIAGNOSIS	OC	ON CENTER	WFM	WFM
DOUBLE	OPN	OPENING		ME
DRAWING	OPP	OPPOSITE	WF	WF
EACH	OD	OUTSIDE DIA	W	WITH

ADDRESS:	510 CRANE ST. LAKE ELSINORE CA 92530	
APN:	377-4300-288	
LOT #		100
LOT AREA (SQ. FT.)		100
ZONING		M1
CONSTRUCTION TYPE:		III-B
IN TRACT	BLOCK	LOT

LOT AREA:	sq ft
BUILDING SQ.FT.	5,521
TOTAL LOT GROUND COVERAGE AREA:	
LOT COVERAGE %:	

SITE PLAN & GENERAL NOTES	A0
<u>EXISTING FLOOR PLAN</u>	A1
<u>PROPOSED FLOOR PLAN</u>	A2
<u>EXISTING ELEVATIONS</u>	A3
<u>EXISTING ROOF PLAN</u>	A4

PROPOSED TENANT IMPROVEMENT:
DISPENSARY, CULTIVATION AND DISTRIBUTION
OF CANNABIS PRODUCTS.

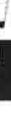
TRAVIS CAMPBELL AND JUSTIN SHIVELY

ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE FOLLOWING CODES AND LOCAL ORDINANCES:

- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2015 CALIFORNIA ELECTRICAL CODE
- 2016 GREEN BUILDING
- 2015 CALIFORNIA ENERGY CODE

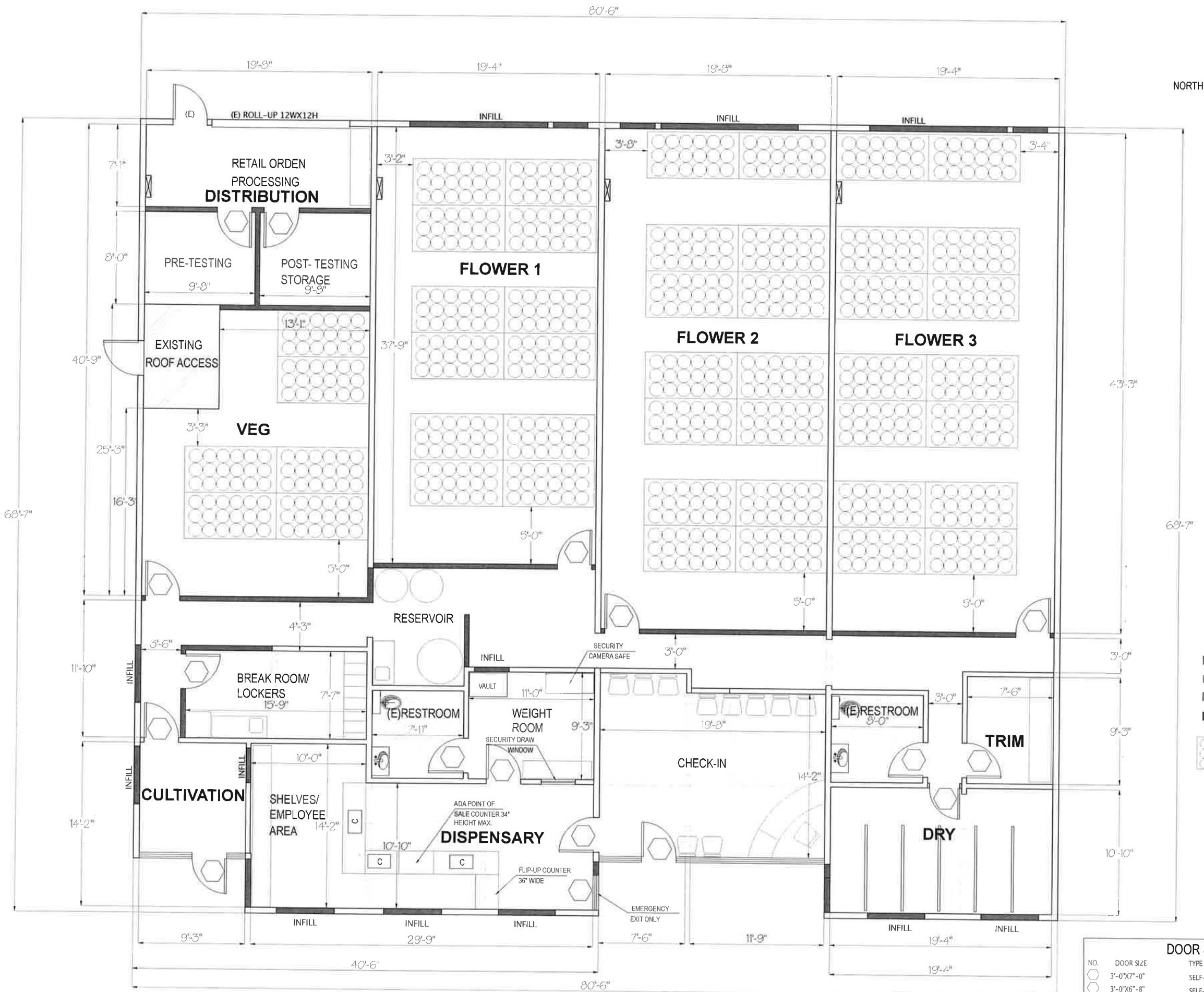


SCALE 1/16" = 1' - 0"


Commercial & Residential Design
 1555 W 7TH, SUITE 3300
 LOS ANGELES CA 90017
 Tel. 962-991-9637

PROPOSED TENANT: IMPROVEMENT CANNABIS

A0



proposed floor plan

SCALE 1/4" = 1' - 0"

NORTH

LEGEND

- INDICATES EXISTING 2 X STUD WALL
- INDICATES EXISTING WALL TO BE REMOVED
- INDICATES EXISTING CONCRETE WALL
- INDICATES NEW 2 X STUD WALL
- INDICATES CANOPY 4 FT X 8 FT

DOOR SCHEDULE

NO.	DOOR SIZE	TYPE	FRAME	HDWR. NOTES
1	3'-0"X7'-0"	SELF-CLOSING	ALUM	TEMP GLASS EXISTING
2	3'-0"X6'-8"	SELF-CLOSING	WD	SOLID CORE SELF-CLOSING
3	3'-0"X6'-8"	SELF-CLOSING	ALUM	TEMP GLASS EMERGENCY EXIT
4	3'-0"X6'-8"	SELF-CLOSING	METAL	SOLID CORE RESTRICTED ACCESS
5	2'-8"X6'-8"	SELF-CLOSING	WD	SOLID CORE SELF-CLOSING

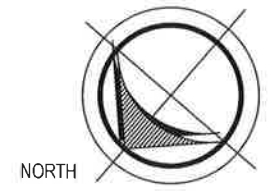
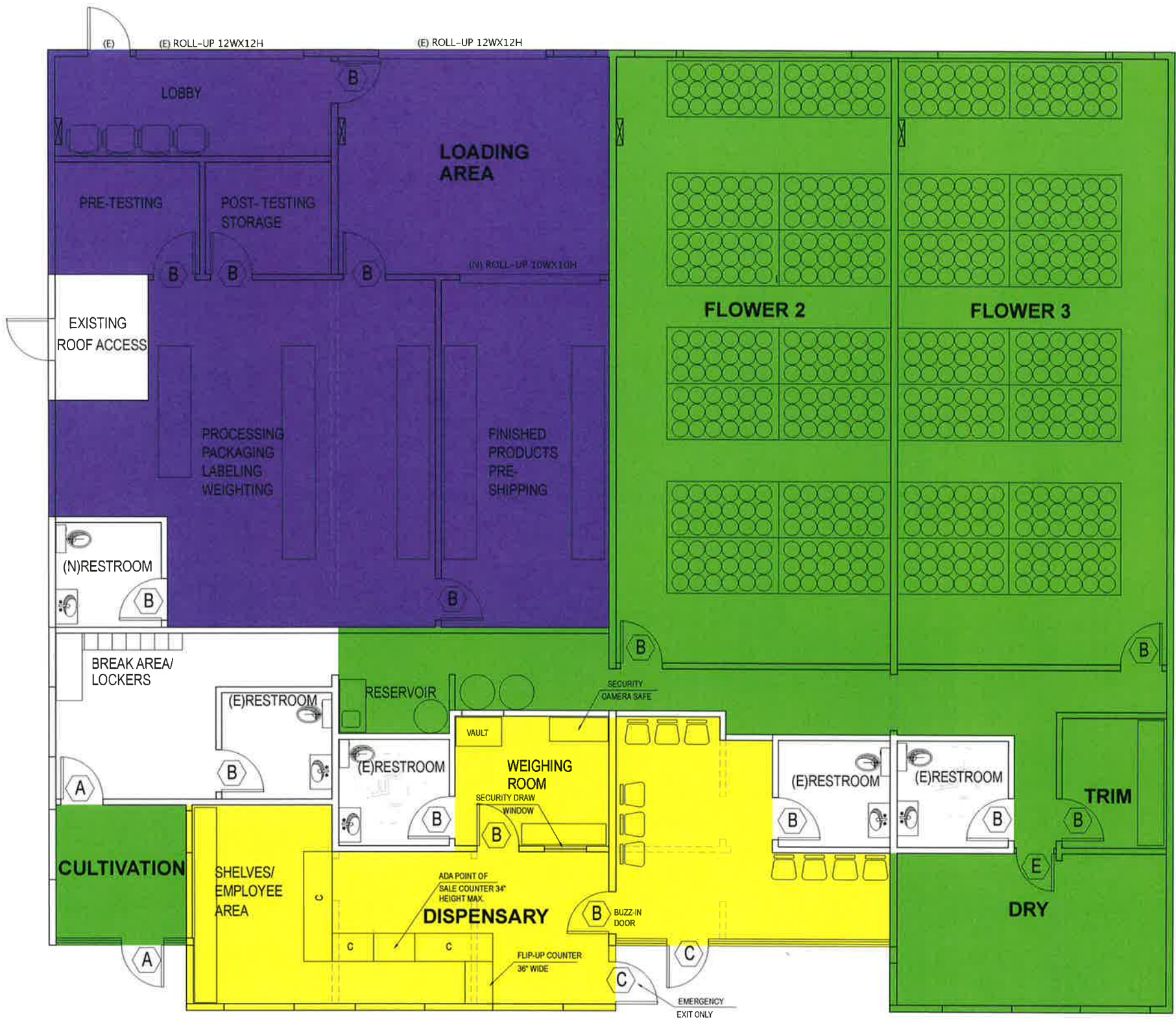
PLANS AND PERMITS EXPRESS

Commercial & Residential Design
1055 W 7TH, SUITE 3300
LOS ANGELES CA 90017
Tel. 562-991-9537

**510 CRANE ST.
LAKE ELSINORE CA 92530**

PROPOSED TENANT: IMPROVEMENT CANNABIS

JOB NO.	18-012
DRAWN	VR
CHECKED	EP
SCALE	NOTED
DATE	03/27/18
SHEET NO.	A2



- LEGEND**
- PURPLE
DISTRIBUTION FLOOR AREA
AREA= 1,586 SF
 - YELLOW
DISPENSARY FLOOR AREA
AREA= 728 SF
 - GREEN
CULTIVATION FLOOR AREA
AREA= 2,577 SF
 - HATCH
COMMON FLOOR AREA
AREA= 561 SF

floor plan

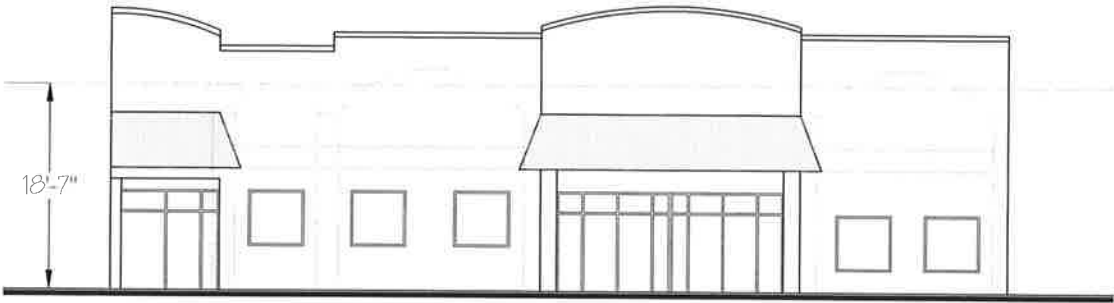
SCALE: 1/4" = 1' - 0"

REVISIONS	BY

**510 CRANE ST.
LAKE ELSINORE CA 92530**

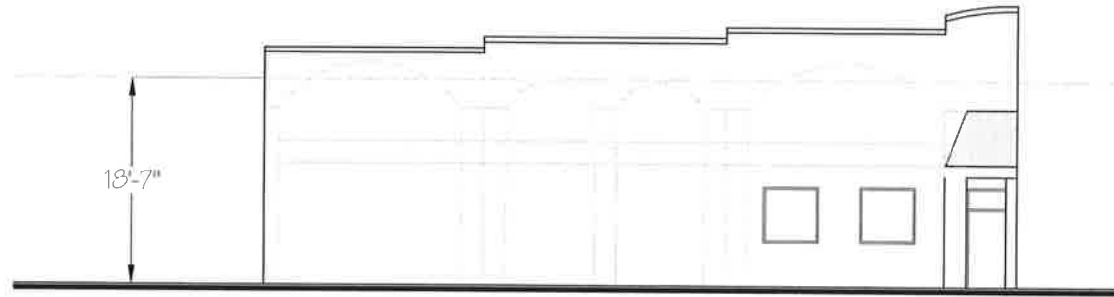
PROPOSED TENANT: IMPROVEMENT CANNABIS

JOB NO	18-012
DRAWN	VR
CHECKED	EP
SCALE	NOTED
DATE	09/06/18
SHEET NO.	



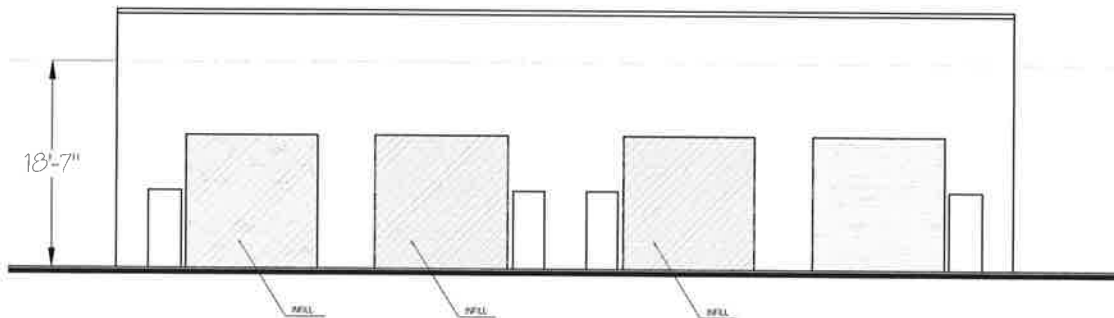
exist. north elevation

SCALE 1/8" = 1' - 0"



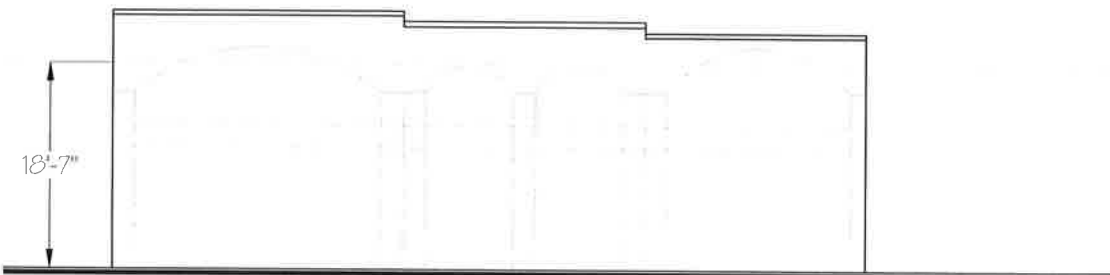
exist. west elevation

SCALE 1/8" = 1' - 0"



exist. south elevation

SCALE 1/8" = 1' - 0"



exist. east elevation

SCALE 1/8" = 1' - 0"

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**510 CRANE ST.
LAKE ELSINORE CA 92530**
PROPOSED TENANT: IMPROVEMENT CANNABIS

JOB NO.	18-012
DRAWN	V.R.
CHECKED	EP
SCALE	NOTED
DATE	03/21/18
SHEET NO.	

A3

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Commercial & Residential Design
• SHOPPING CENTERS
• TOWN HOUSES
• SINGLE FAMILY RESIDENCES

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LOS ANGELES CA 90017
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