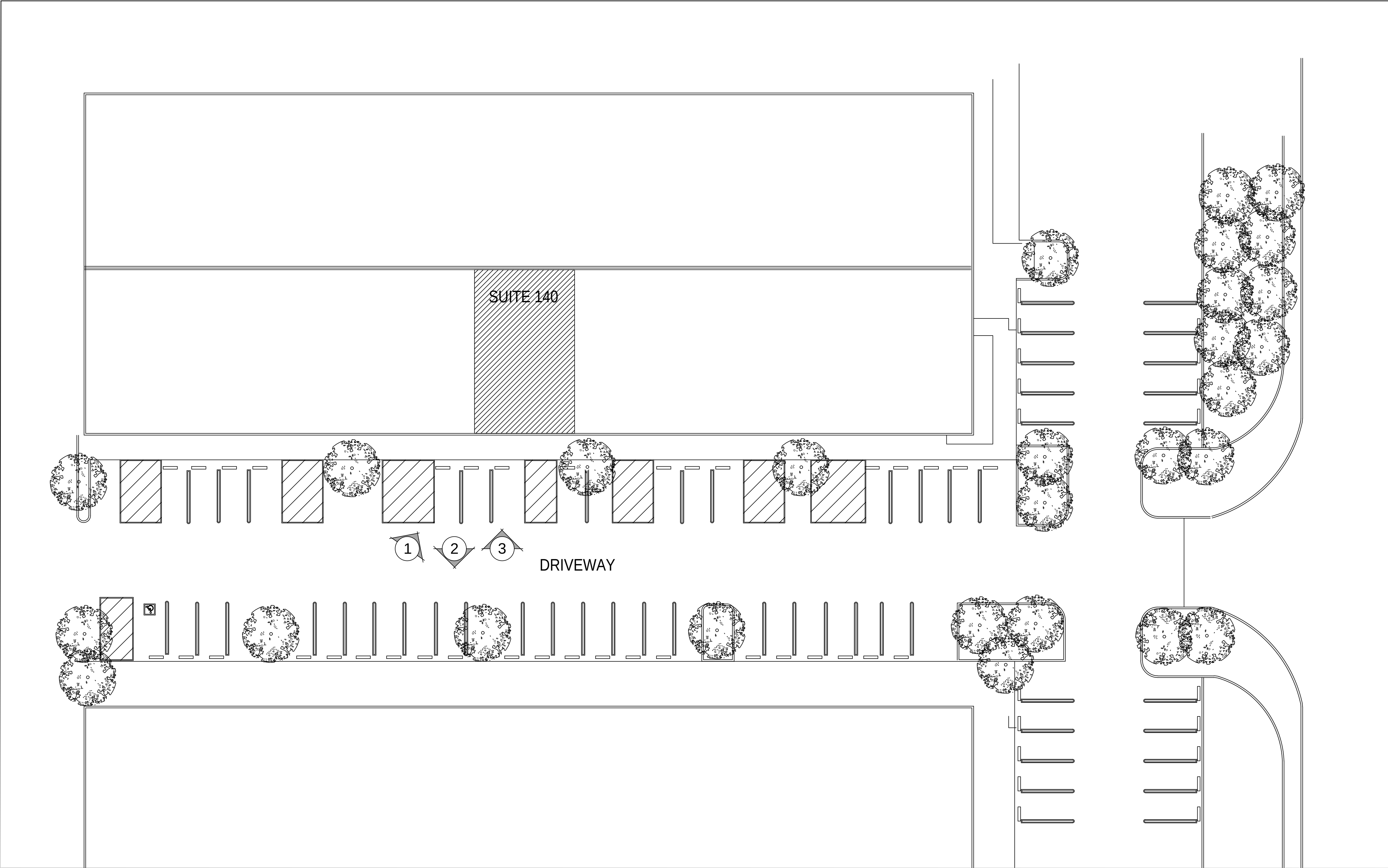




SITE PLAN



1



2



3

PHOTOS

Scale 1/16"=1'-0"

PROJECT DATA

JURISDICTION: CITY OF LAKE ELSINORE, CA
CONSTRUCTION TYPE: III B SPRINKLERED
ZONE: INDUSTRIAL USE: MEDICAL CANBUS EXTRACTION
OCCUPANCY: F-1 MANUFACTURING
SQUARE FOOTAGE: SUITE 140 1500 SQUARE FEET
CODE: 2016 CALIFORNIA BUILDING CODE
2016 CALIFORNIA PLUMBING CODE
2016 CALIFORNIA MECHANICAL CODE
2016 CALIFORNIA FIRE CODE
2016 CALIFORNIA ELECTRICAL CODE
2016 CALIFORNIA ENERGY CODE
2016 CALIFORNIA GREEN CODE
CITY OF LAKE ELSINORE ORDINANCES

OWNER

OWNER: PRUITT JAMES W
22400 SKYBREESE CT
MURRIETA CA 92562

SITE DATA

OWNER: PRUITT JAMES W
LEGAL DISCRIPTION:
Lot: CU4 Tract No: 30680 Abbreviated Description: LOT:CU4
CITY:LAKE ELSINORE SUBD:INDUSTRIAL CONDOMINIUM
TR#:30680 UNIT CU4 CM 131/081 INT IN COMMON LOT 2
TR 30680 MB 205/058 City/Muni/Twp: LAKE ELSINORE

PARKING

NO INCREASE IN PARKING USE.

LANDSCAPING

ALL LANSAPING IS EXISTING

SIGNAGE

ANY SIGNAGE BY SEPARATE PERMIT

SCOPE OF WORK

ADD NEW NON BEARING INTERIOR WALLS TO AN EXISTING MANUFACTURING BUILDING, EXISTING OFFICE AND ACCESSIBLE RESTROOM TO REMAIN.
ADD NEW THREE COMPARTMENT SINK.
EXISTING ELECTRICAL SERVICE AND MECHANICAL SYSTEM TO REMAIN.



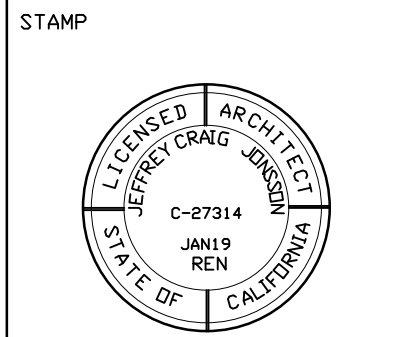
VICINITY MAP

Jeffrey Jonsson
Architect

1046 Calle Recodo
Suite J
San Clemente Ca
92673

949 412 3955

architecture
planning



PROJECT NAME:

IE LICENSING LLC

31885 CORYDON RD
SUITE 140
LAKE ELSINORE, CA
92530

SHEET TITLE:

SITE PLAN

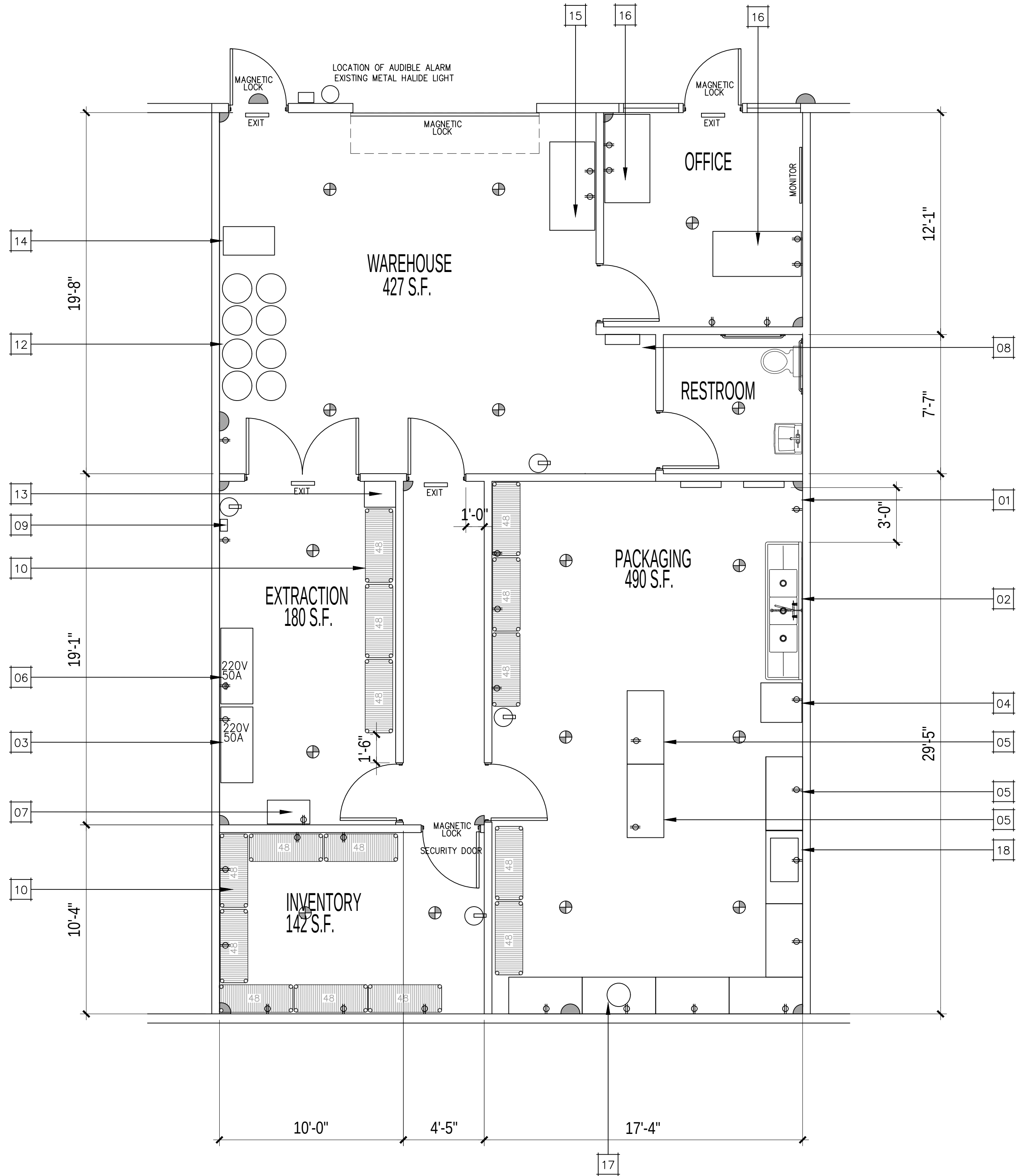
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LAST ISSUE DATE: 04-07-18

BY: _____ CHKD: _____

SHEET

SP-1



PLAN NOTES

01. EXISTING ELECTRICAL 200 AMP SUMPANELS
02. 3 COMPATMENT SINK
03. CO2 EXTRACTION
04. DISH WASHER
05. 24"x48" S.S.TABLE
06. CO2 EXTRACTION
07. CHILLER
08. SECURITY CABINET
09. CO2 SENSOR AND ALARM
10. 18"x48" WIRE SHELVEING
11. ---
12. CO2 TANK STORAGE AREA QUANTITY NOT TO EXCEED ALLOWABLE PER FIRE CODE
13. AIR VENT TO OUTSIDE LINK TO SENSOR AND ALARM
14. AIR COMPRESSOR
15. SHIPPING AND RECEIVING DESK
16. RECEPTION FRONT OFFICE DESK
17. 20 QT.MIXER
18. TINCTURE FILLING MACHINE
19. ALL WALLS TO BE COVERED WITH FRP MOISTURE RESISTANT COVERING

LEGEND

- SECURITY CAMERA
- ALL DOORS ARE 3068 WITH CARD ACCESS TO REMAIN UNLOCKED FOR EGRESS
- FIRE EXTINGUISHER 2A40BC
- FIRE SUPPRESSION HEAD

FIRE NOTES

PLANS SHALL COMPLY WITH THE 2016 CALIFORNIA FIRE CODE.

EMERGENCY LIGHTING FIXTURES SHALL BE APPROVED BY THE FIRE DEPARTMENT.

CONTRASTING EXIT SIGNS AND/OR DIRECTIONAL ARROWS SHALL BE ILLUMINATED DURING EMERGENCY LIGHTING OPERATIONS.

LOCKS, IF PROVIDED, SHALL NOT REQUIRE THE USE OF A KEY FOR OPERATION FROM THE INSIDE. INSIDE HARDWARE SHALL NOT REQUIRE THE USE OF KEY OR SPECIAL KNOWLEDGE AND SHALL BE SELF-RELEASING.

INTERIOR FINISH (WALLS, CORRIDORS) SHALL BE IN ACCORDANCE WITH CHAPTER 42 CBC.

PROVIDE FIRE EXTINGUISHER TYPE 2A40BC). TRAVEL DISTANCE SHALL NOT EXCEED 75' BETWEEN EXTINGUISHERS.

PROVIDE ADDRESS NUMBERS--MUST BE CONTRASTING IN COLOR AND CLEARLY VISIBLE FROM THE STREET AND REAR IF NECESSARY.

EXIT SIGN GRAPHICS TO COMPLY WITH SECTION 1003.2.8.3. EXIT ILLUMINATION OF 5--FOOT CANDLE IS REQUIRED. SECTION 1003.2.8.4. EXIT SIGNS TO HAVE POWER ALSO CONNECTED TO EMERGENCY POWER FROM STORAGE BATTERIES THAT WILL LAST FOR AT LEAST 1 1/2 HOURS, OR OTHER APPROVED SOURCE OF POWER. SECTION 1003.2.8.5.

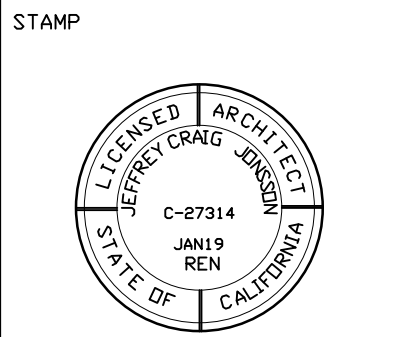
DUAL CHECK W/DETECTOR TO BE INSTALLED PER CURRENT CITY STANDARDS W-10

Jeffrey Jonsson
Architect

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architecture
planning



PROJECT NAME:
IE LICENSING LLC

31885 CORYDON RD
SUITE 140
LAKE ELSINOR, CA

SHEET TITLE:

BLDG
FLOOR PLAN

NOTICE: THE BUILDING SHOWN AND DESCRIBED HEREIN, IN WHOLE OR IN PART, IS THE PROPERTY OF THE ARCHITECT. THE ARCHITECT'S RESPONSIBILITY IS TO PROVIDE THE ARCHITECTURAL DESIGN AND CONSTRUCTION DOCUMENTS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT'S RESPONSIBILITY IS TO PROVIDE THE ARCHITECTURAL DESIGN AND CONSTRUCTION DOCUMENTS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT'S RESPONSIBILITY IS TO PROVIDE THE ARCHITECTURAL DESIGN AND CONSTRUCTION DOCUMENTS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.

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BY: _____ CHKD: _____

SHEET
A-1