

GENERAL DISCUSSION

- STRUCTURAL REQUIREMENTS
1. REFER TO THE CURRENT CALCULATIONS FOR ANY QUESTION REGARDING LUMBER GRADES, BEAM AND HEADER SIZES, FOOTINGS AND SHEAR REQUIREMENTS.
 2. NO DEVIATIONS FROM STRUCTURAL DETAILS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL DESIGN ENGINEER. ANY VARIATION BY ORY REFLECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM PLANS OR SPECIFICATIONS.
 3. VARIATION EFFECTS OF MECHANICAL EQUIPMENT HAVE NOT BEEN CONSIDERED BY THE ENGINEER.
 4. THE DESIGN ADEQUACY AND SAFETY OF EJECTION CHARGES, SHORING, TEMPORARY SUPPORTS, ETC IS SOLE RESPONSIBILITY OF THE CONTRACTOR. ACHS HAS NOT BEEN CONSIDERED BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS. THE CONTRACTOR SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE APPLICATION OF THE ABOVE MENTIONED MATERIALS. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT/ENGINEER SHALL NOT INCLUDE THE PROTECTION OF THE ABOVE ITEMS.
 5. CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON FRAMED FLOORS OR ROOF. LOAD SHALL NOT EXCEED THE DESIGN LOAD (KIP PER SQUARE FOOT) PROVIDE ADEQUATE SHORING. MAJOR BRACING WHERE STRUCTURE HAS NOT ATTAINED OF SIGHT STRUCTURE.

- 1 ALL FOOTINGS SHALL BE SET ON NATURAL SOILS OR APPROVED COMPACTED FILL WITH D
- 2 REFER TO THE CURRENT CIVIL ENGINEER'S GRADING AND PLOT PLANS IF APPLICABLE
- 3 REFER TO THE CURRENT LANDSCAPE ARCHITECT'S GRADING AND CONSTRUCTION DOCUMENTS
- 4 ALL FRESH GROUND TO DRAIN AWAY FROM THE BUILDING FOOTINGS
- 5 CONTRACTOR SHALL INVESTIGATE SITE DURING CLEARING AND EARTHWORK OPERATIONS FOR
PILED EXCAVATIONS OR BURIED STRUCTURES SUCH AS CREEPSLOES, CISTERNS, LINDATIONS, OR
FIELD. IF ANY SUCH STRUCTURES ARE FOUND, THE ARCHITECT, ENGINEER AND THE SOILS
ENGINEER SHALL BE NOTIFIED IMMEDIATELY
- 6 PROVIDE SURVEY STAKES PRIOR TO FOUNDATION INSPECTION TO VERIFY LOT LINES
WHERE PROPERTY BOUNDARIES HAVE NOT ALREADY BEEN ESTABLISHED

UNDER: RETURN TO SPECIFICATIONS SHEET 501

PROTECT AGAINST DECAY AND TERMITES

1. WOOD EXPOSED IN THE GROUND OR IN DIRECT CONTACT WITH THE EARTHED USER FOR THE SUPPORT OF PERMANENT STRUCTURES SHALL BE PRESURE TREATED WOOD

2. WOOD JOISTS ON THE BOTTOM OF WOOD FLOORS CLOSER THAN 18 INCHES, OR WOOD GABLES CLOSER THAN 12 INCHES TO THE GROUND UNDER FLOOR AREAS AND THEIR SUPPORTS, SHALL BE PRESURE TREATED WOOD OR HEART WOOD OF APPROXIMATELY NATURALLY DURABLE SPECIES AS LISTED IN THE LATEST EDITION OF CALIFORNIA BUILDING CODE (2016 C.C.)

[illegible]

ADDRESS:	31887 CRYDON ST. LAKE ELSINORE CA 92530 unit # 150 & 160	
APN:		
LOT #:		--
LOT AREA (SQ. FT):		--
ZONING:		--
CONSTRUCTION TYPE:		--

[illegible]

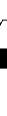
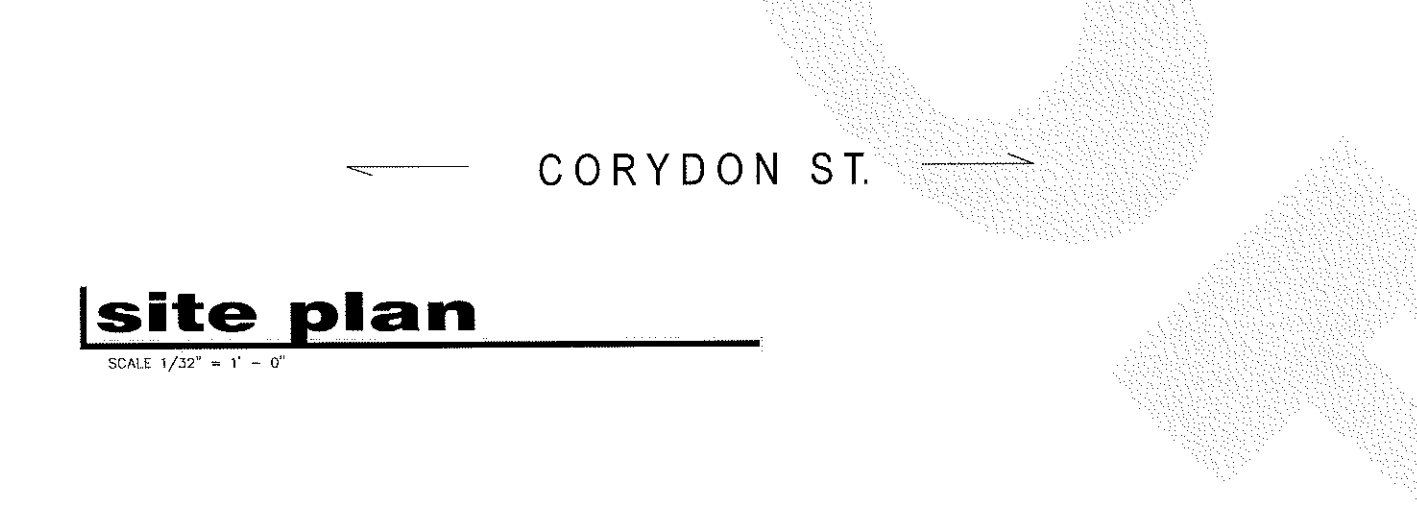
SITE PLAN & GENERAL NOTES	A0
EXISTING FLOOR PLAN	A1
EXISTING MEZZANINE	A2
PROPOSED FLOOR PLAN	A3
PROPOSED SECOND FLOOR	A4
EXISTING ELEVATIONS	A5
EXISTING ROOF PLAN	A6

PROPOSED TENANT IMPROVEMENT:
CULTIVATION AND MANUFACTURING
CANNABIS PRODUCTS

ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE FOLLOWING CODES AND LOCAL ORDINANCES:

- 2016 CALIFORNIA BUILDING CODE
- 2016 CALIFORNIA MECHANICAL CODE
- 2016 CALIFORNIA PLUMBING CODE
- 2016 CALIFORNIA ELECTRICAL CODE
- 2016 GREEN BUILDING
- 2015 CALIFORNIA ENERGY CODE

A detailed map of the coastal region of Cambodia, showing the coastline, major cities like Phnom Penh, and various islands and rivers. A compass rose is located in the top right corner.



Commercial & Residential Design

- SHOPPING CENTERS
- TOWN HOUSES
- SINGLE FAMILY RESIDENTIALS

1055 W 7TH, SUITE 3300
LOS ANGELES CA 90017
Tel. 562-991-8637

[illegible][illegible]

JOB NO. 18

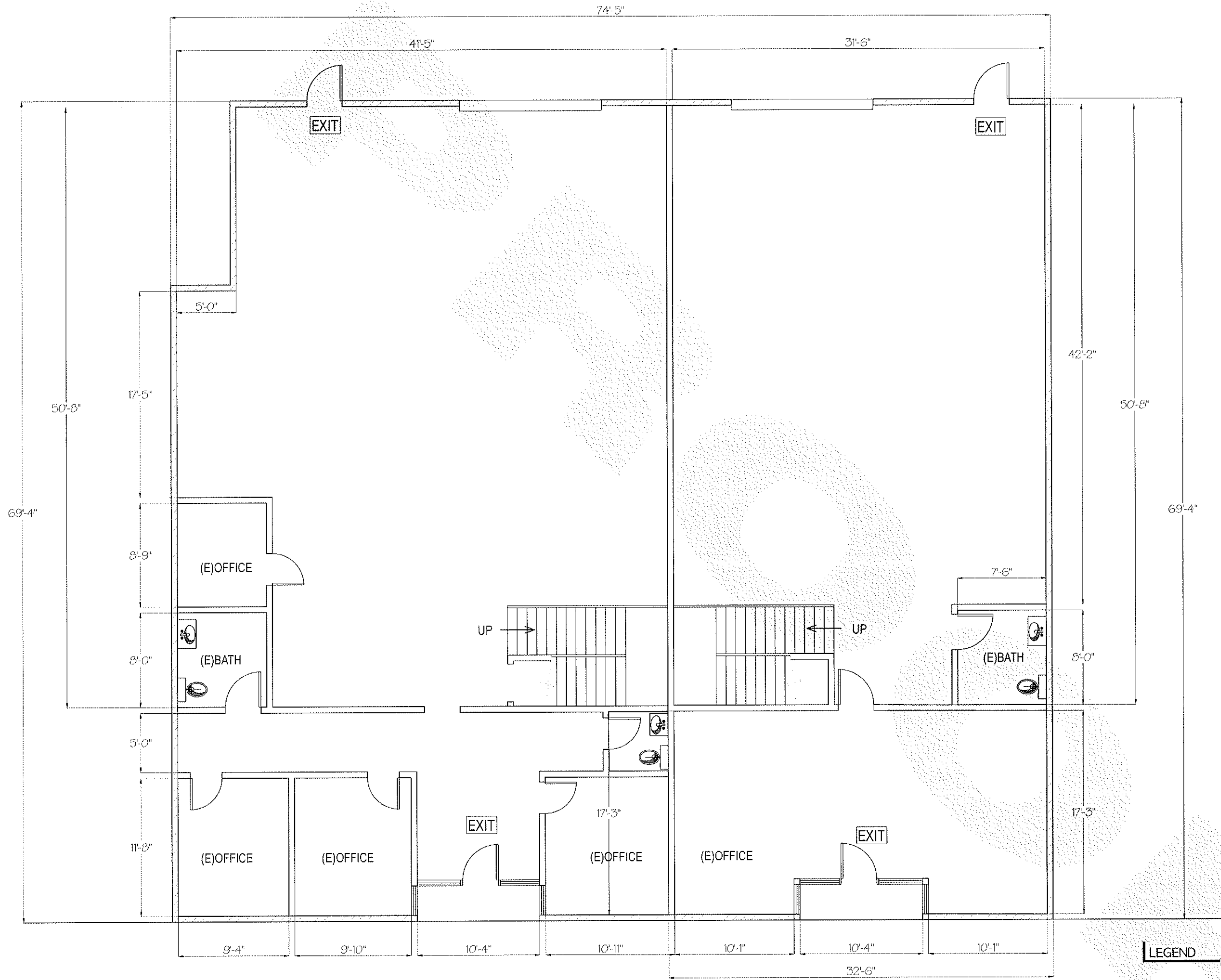
DRAIN

CHECKED

SCALE	NO
DATE	03/

SHEET NO. 10

AU



existing floor plan
SCALE 1/4" = 1' - 0"

- LEGEND**
- INDICATES EXISTING 2 X STUD WALL
 - INDICATES EXISTING WALL TO BE REMOVED
 - INDICATES EXISTING CONCRETE WALL
 - INDICATES NEW 2 X STUD WALL

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• SINGLE FAMILY RESIDENCES

1065 W 7TH, SUITE 3300
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Tel: 562-991-9537

REVISIONS	BY

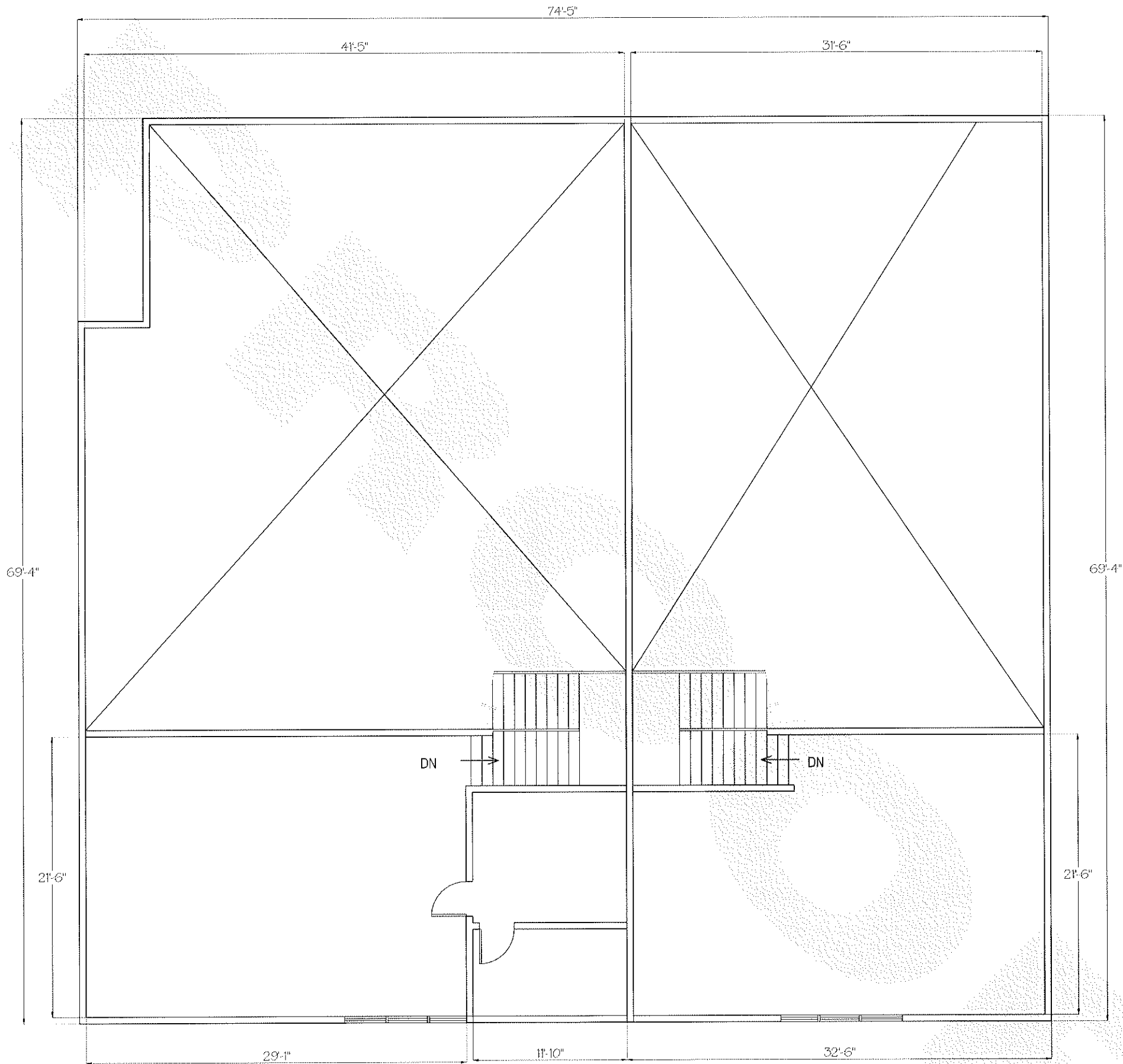
**31887 CORYDON ST.
LAKE ELSINORE CA 92530
UNIT #150 & 160**

PROPOSED TENANT: IMPROVEMENT CANNABIS

JOB NO.	16-013
DRAWN	VR
CHECKED	EP
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DATE	03/20/18
SHEET NO.	A1

existing mezzanine

SCALE 1/4" = 1' - 0"



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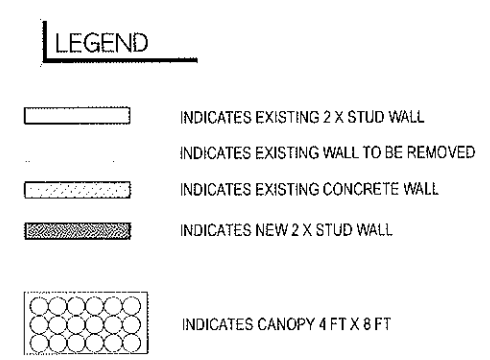
**31887 CORYDON ST.
LAKE ELSINORE CA 92530
UNIT #150 & 160**

PROPOSED TENANT: IMPROVEMENT CANNABIS

JOB NO.	18-013
DRAWN	V.R.
CHECKED	EP
SCALE	NOTED
DATE	03/20/18
SHEET NO.	A2

A2

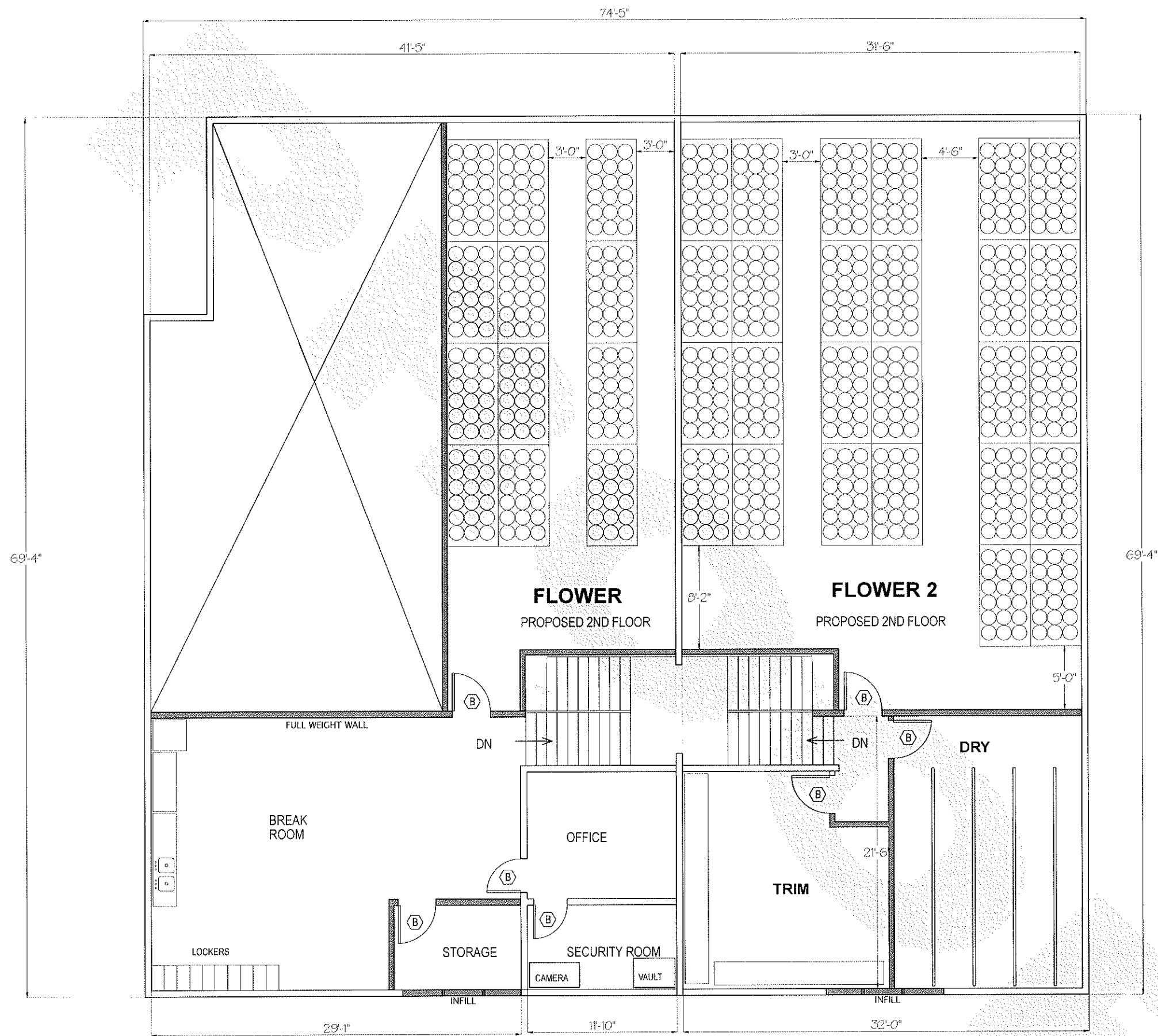
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DOOR SCHEDULE				
NO.	DOOR SIZE	TYPE	FRAME	HDWR. NOTES
(A)	3'-0"X7'-0"	SELF-CLOSING	ALUM	TEMP GLASS EXISTING
(B)	3'-0"X6'-8"	SELF-CLOSING	WD	SOLID CORE SELF-CLOSING
(C)	3'-0"X6'-8"	SELF-CLOSING	ALUM	TEMP GLASS EMERGENCY EXIT
(D)	3'-0"X6'-8"	SELF-CLOSING	WD	SOLID CORE EMERGENCY ACCESS

proposed floor plan

SCALE 1/4" = 1' - 0"



proposed second floor

SCALE 1/4" = 1' = 0"

LEGEND

- INDICATES EXISTING 2 X STUD WALL
- INDICATES EXISTING WALL TO BE REMOVED
- INDICATES EXISTING CONCRETE WALL
- INDICATES NEW 2 X STUD WALL
- INDICATES CANOPY 4 FT X 8 FT

DOOR SCHEDULE				
NO.	DOOR SIZE	TYPE	FRAME	HDWR. NOTES
(A)	3'-0"x7'-0"	SELF-CLOSING	ALUM	TEMP GLASS EXISTING
(B)	3'-0"x6'-8"	SELF-CLOSING	WD	SOLID CORE SELF-CLOSING
(C)	3'-0"x6'-8"	SELF-CLOSING	ALUM	TEMP GLASS EMERGENCY EXIT
(D)	3'-0"x6'-8"	SELF-CLOSING	METAL	SOLID CORE RESTRICTED ACCESS

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1055 W 7TH SUITE 3300

LOS ANGELES CA 90017

Tel: 562-981-9637

REVISIONS

BY

31887 CORYDON ST.

LAKE ELSINORE CA 92530

UNIT #150 & 160

PROPOSED TENANT: IMPROVEMENT CANNABIS

JOB NO.

18-013

DRAWN

Y.R.

CHECKED

EP

SCALE

NOTED

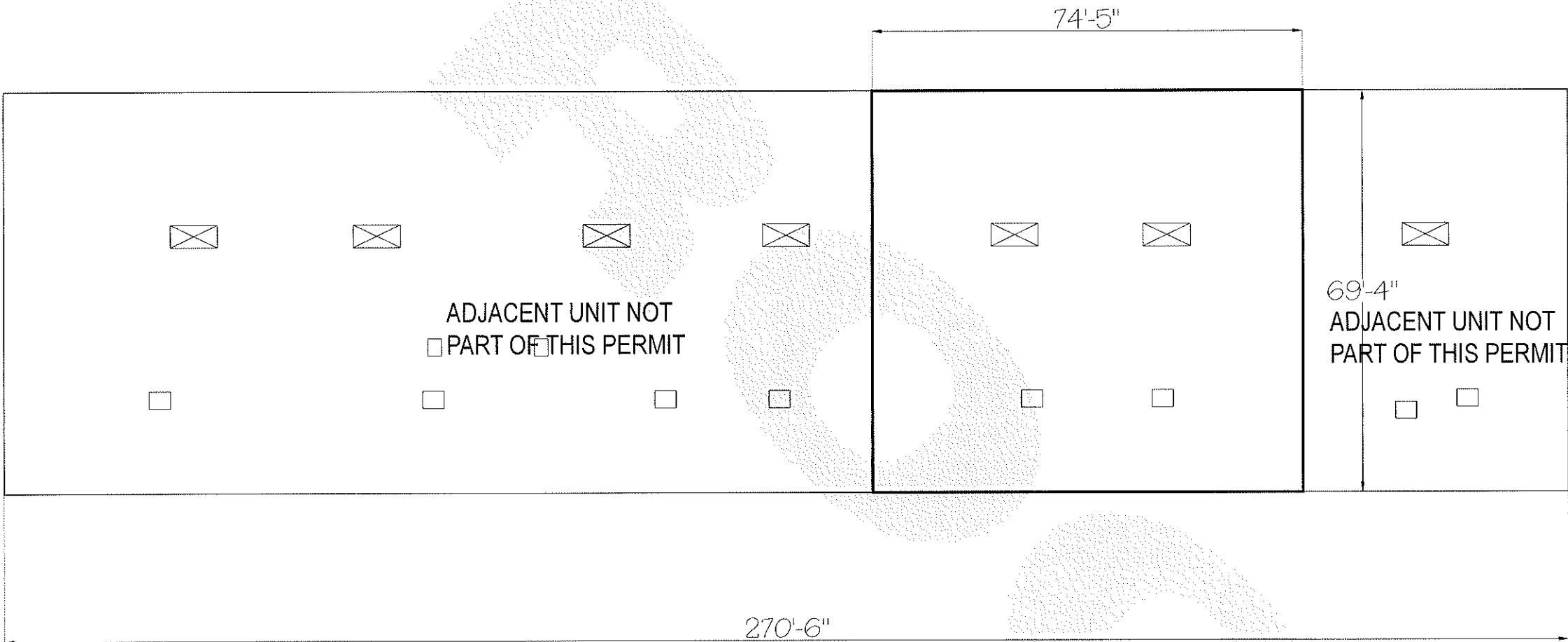
DATE

03/20/18

SHEET NO

A4

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(e) roof plan

SCALE 3/32" = 1' - 0"

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LAKE ELSINORE CA 92530
UNIT #150 &160
PROPOSED TENANT: IMPROVEMENT CANNABIS

JOB NO. 18-013

DRAWN V.R.

CHECKED EP

SCALE NOTED

DATE 03/20/18

SHEET NO. A5

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