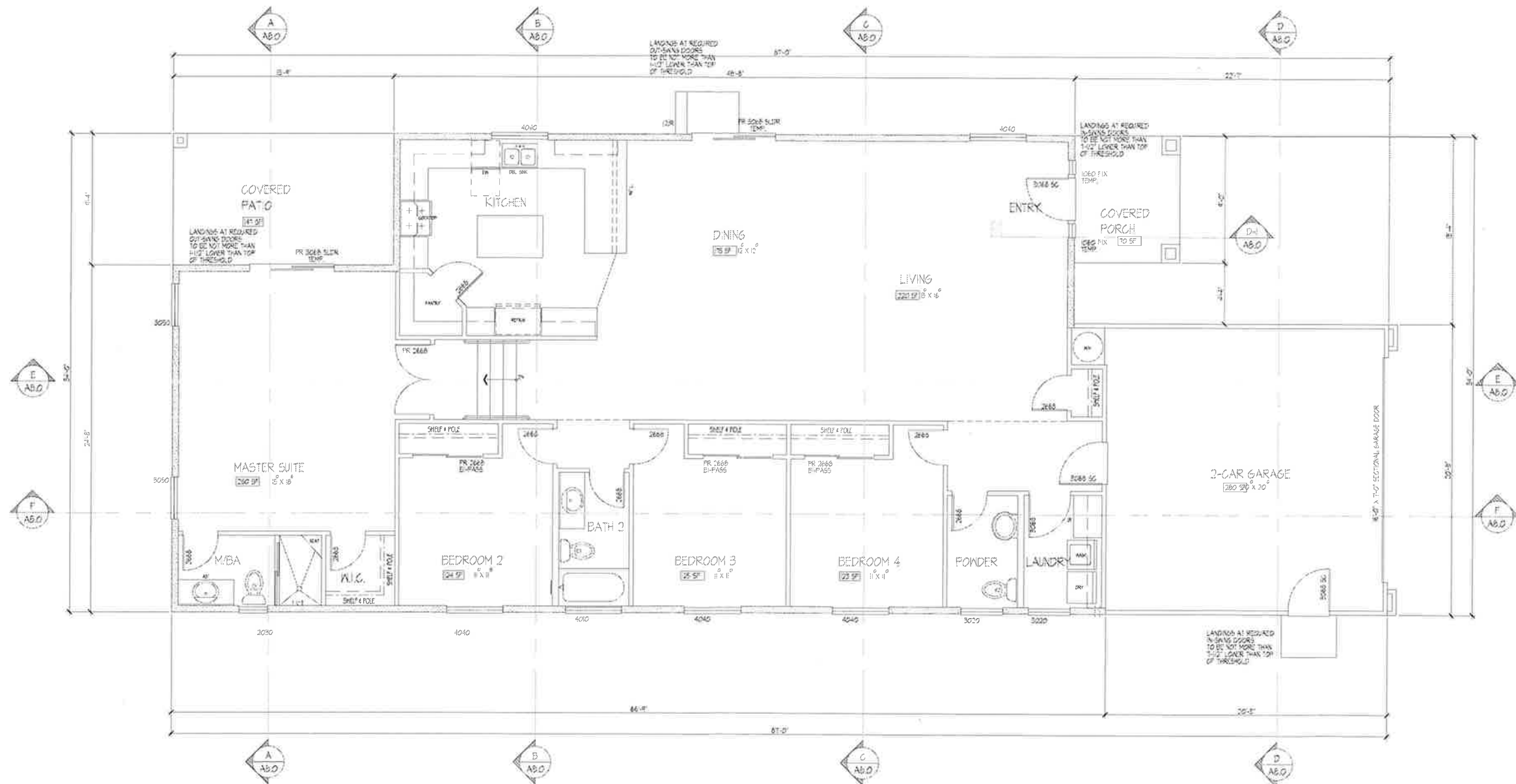


A.P.N. 374-10-007-



Revisions:		
No.	Date	Revision
04.10.18		TURN TO CLIENT & PLANNING DEPT.

#2 pencil



FLOOR PLAN

NOTE:

FOR THE PURPOSE OF CLARITY AND LEGIBILITY, THE DRAWINGS ARE ESSENTIALLY DIMENSIONAL AND A PAPER SIZE AND LOCATIONS OF EQUIPMENT IS DRAWN TO SCALE PROXIMITY POSSIBLE. THE CONTRACTOR SHALL MAKE USE OF ALL DATA IN ALL OF THE CONTRACT DOCUMENTS AND VERIFY THIS INFORMATION BEFORE ORDERING, FABRICATING OR INSTALLATION OF ANY MATERIALS.



SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE:

FLOOR PLAN:	
LIVING	208.5 SF
KITCHEN	144.0 SF
DINING	144.0 SF
COVERED PORCH	100.0 SF
COVERED PATIO	144.0 SF

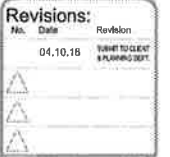
WALL LEGEND:

- 2x4 EXTERIOR STUDS AT 16" O.C.
- 2x4 INTERIOR STUDS AT 16" O.C.

NOTE:

CONTRACTOR AND/OR SUB-CONTRACTOR SHALL CAREFULLY STUDY & COMPARE (ON SITE) ALL CONDITIONS, DIMENSIONS AND DATA BEFORE PROCEEDING WITH ANY WORK & REPORT AT ONCE TO OWNER & ENZO DESIGNS. ANY ERROR OR INCONSISTENCY WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.

Job Name	CUSTOM SINGLE FAMILY RESIDENCE
1513 SUMNER AVENUE	LAKE ELSINORE, CA. 92530
Job Number:	17-126
Drawing Title:	FLOOR PLAN
Date Submitted:	OCT 02, 2017
Drawn By:	BE
Sheet Number:	A2.0



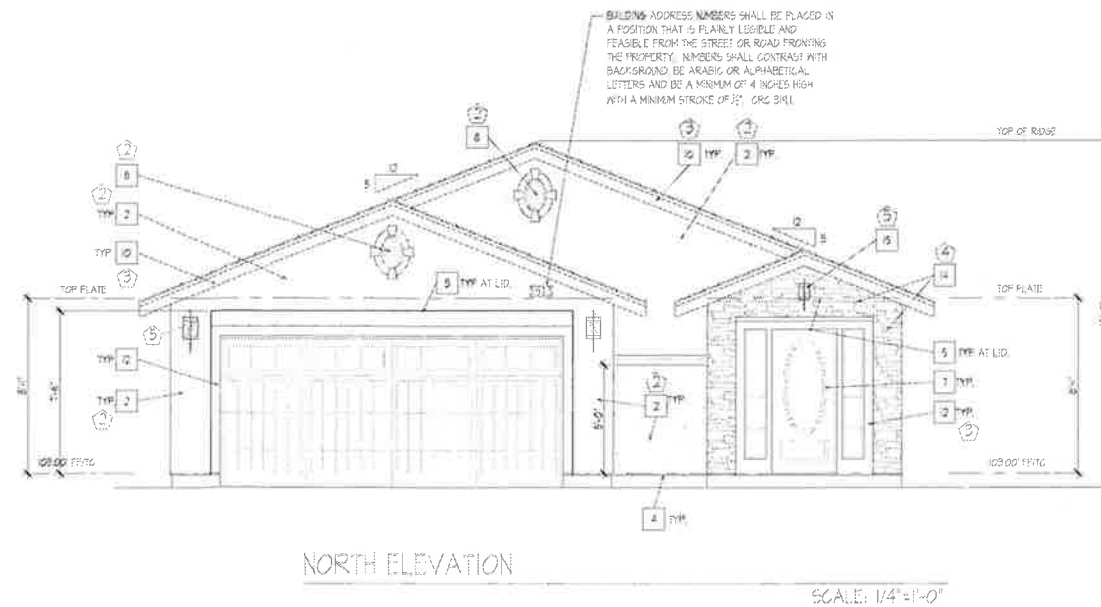
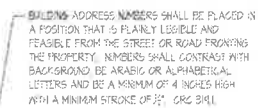
Source: <http://www.fishbase.org>. Accessed 12/10/2010.



- * FIRE DEPARTMENT CLEARANCE IS REQUIRED PRIOR TO PERMIT ISSUANCE PER 241 AND GOVERNMENT CODE 51182
- * FIRE SPRINKLERS ARE REQUIRED PER SECTION 905 OF THE 2016 IRC
- * EAVE, FASGA, SLL & ARCHITECTURAL SHAPES ARE SCHEMATIC AND FOR ILLUSTRATION / PRESENTATION. ACTUAL SHAPE & DESIGN MAY VARY.

☐ ADDITIONAL NOTES APPLICABLE TO THIS PLAN ONLY
(INDICATE WHERE NOTED OTHERWISE)
REFER TO GENERAL NOTE SHEETS ON-SITE FOR ADDITIONAL INFORMATION

- 1 ALL THROUGHT THE ROOF SHINGLES ARE OK, WERE REJECTED FOR
2 BEING RESIN AND TIES OF LOOSE, BRIMS TAP AND SPLITS FOR
3 3-6" G-CONT. THICKNESS OF BLDG PARTS
4 STALLS OF 2" WATER ON FLATNESS SHALL BE HAND
5 TAPPED (GROSS) MAX. 1" IN 10' (GROSS) WITH
6 WITH BLDG INDICATIONS (MIN. 10" DOWNS) DOWN
7 DOWNWARD AND NO GUARDS
8 MINIMUM DOWNS 10" LATH (NO G-CONT.)
9 EXPANSION JOINTS
10 1" MIN. LATHING & G-CONT. LATHING WITH G-CONT. AT
11 INTERSECTION OF ROOF TO WALL
12 1" MIN. NON-BEADED G-CONT. LATHING ALONG
13 BEGINS, 1" OVER 1" KEEPS LATH 1" MIN.
14 1" MIN. NON-BEADED G-CONT. LATHING ALONG
15 (APPROX. 1" IN 10' MIN. BEAD TIES AND LATH
16 CLIPS ROOF MATERIAL TO BE NOTICED IN WALL SPOTS, PROVIDE
17 1" MIN. LATHING & G-CONT. LATHING ALONG
18 1" MIN. NON-BEADED G-CONT. LATHING ALONG
19 1" MIN. NON-BEADED G-CONT. LATHING ALONG
20 1" MIN. NON-BEADED G-CONT. LATHING ALONG
21 1" MIN. NON-BEADED G-CONT. LATHING ALONG
22 1" MIN. NON-BEADED G-CONT. LATHING ALONG
23 1" MIN. NON-BEADED G-CONT. LATHING ALONG
24 1" MIN. NON-BEADED G-CONT. LATHING ALONG

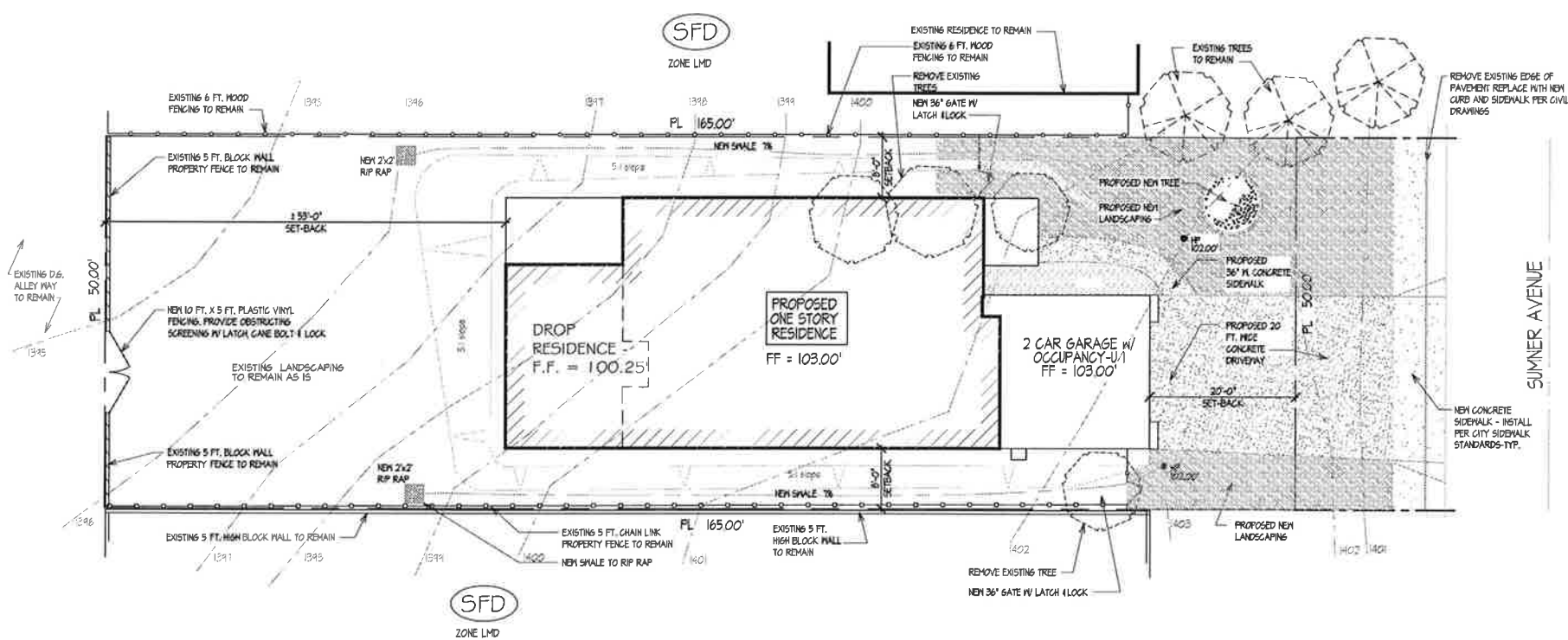


CONTRACTOR AND/OR SUB-CONTRACTOR SHALL CAREFULLY STUDY & COMPARE (OR BITE) ALL CONDITIONS, DIMENSIONS AND DATA BEFORE PROCEEDING WITH ANY WORK & REPORT AT ONCE TO OWNER & ENCO DESIGNS ANY ERROR OR INCONSISTENCY HE

Job Name:
**CUSTOM SINGLE
FAMILY RESIDENCE**
1513 SUMMER AVENUE
LAKE ELSINORE, CA. 92530
Job Number:
17-126
Drawing Title:
ELEVATIONS
Date Submitted:
OCT 02, 2017
Drawn By:
BE
Sheet Number:

A3.0

PROPOSED SINGLE FAMILY DWELLING
1513 SUMNER AVENUE
LAKE ELSINORE, CALIF. 92530
A.P.N. 374-101-007-1



NOTE:
PROVIDE 24\"/>

CONCEPTUAL LANDSCAPE PLAN



SCALE: 1" = 10'-0"

PLANTING LEGEND

SYMBOL	ABBREVIATION	BOTANICAL NAME	COMMON NAME	SIZE	NUMBER	REMARKS	WATER USE
TREES:							
	EXISTING	-	-	-	3	TO REMAIN AS IS	-
	AG. FLEX	AGAVE FLEXIOSA AND GVS.	AUSTRALIAN WILLOW	5.6\"/>	1	DOUBLE STAKE / HEIGHT 6'-8\"/>	LOW
GROUND COVER:							
	1\"/>	-	MEXICAN BEACH PEBBLE	160 S.F.	-	-	-
	2\"/>	-	SMALL MIX PEBBLES	1284 S.F.	-	-	-
	NEW CONCRETE DRIVEWAY	-	INCLUDE 36\"/>	740 S.F.	-	BROOM FINISH w/ CONTROL JOINTS AS SHOWN - TYP.	-

NOTES:

1. ALL PLANTING AND IRRIGATION SHALL CONFORM TO THE CITY OF RANCHO CUCAMONGA LANDSCAPE DESIGN STANDARDS FOR WATER CONSERVATION, ADOPTED WATER EFFICIENT LANDSCAPE DESIGN ORDINANCE.
2. TURF IS NOT IN PARKWAYS, OR OTHER AREAS WITHIN LANDSCAPED AREA ANY DIMENSION LESS THAN FIVE FEET, AND THE TURF IS NOT TO BE LOCATED ON SLOPES IN EXCESS OF 5%.
3. DRIP IRRIGATION ON AT LEAST 25% OF THE LANDSCAPED AREAS.
4. 4% SLOPE AWAY FROM EXTERIOR FOUNDATION FOR FIRST THREE FEET.
5. FIRE DEPARTMENT CLEARANCE IS REQUIRED PRIOR TO PERMIT ISSUANCE.
6. DEVELOPMENT OF ANY NEW PROPERTY REQUIRES THAT ALL SURFACE WATER WILL DRAIN AWAY FROM BUILDING.
7. PROVIDE A WEATHER-BASED IRRIGATION CONTROLLER WITH A WEATHER STATION/MODULE ALLOWING AUTOMATIC ADJUSTMENTS BASED ON CHANGES IN THE WEATHER AND RAIN SHUTOFF CAPABILITY.
8. DEVELOPMENT OF ANY NEW PROPERTY REQUIRES THAT ALL SURFACE WATER WILL DRAIN AWAY FROM BUILDING.
9. PROVIDE A WEATHER-BASED IRRIGATION CONTROLLER WITH A WEATHER STATION/MODULE ALLOWING AUTOMATIC ADJUSTMENTS BASED ON CHANGES IN THE WEATHER AND RAIN SHUTOFF CAPABILITY.
10. FIRE DEPARTMENT CLEARANCE IS REQUIRED PRIOR TO PERMIT ISSUANCE.

SCOPE OF WORK:

GROUND UP CONSTRUCTION OF NEW 2,068 SQ. FT. ONE (1) STORY SINGLE FAMILY HOME WITH ATTACHED GARAGE.

OWNER:

VALE INVESTMENT PROPERTIES, LLC.
3500 GRAPE STREET, SUITE 103
LAKE ELSINORE, CA. 92530
PHONE 949.360.5304

LEGAL DESCRIPTION:

APN 374-101-007
LOT 08 MB 008/81B
1513 SUMNER AVENUE
LAKE ELSINORE, CA. 92530
TERRAIN SEC 8 RND

CIVIL:

FEN YONG & ASSOCIATES ENGINEERS
2715 JEFFERSON AVE. SUITE 103F
THERESA, CA. 92590
PHONE 951.324.6730

DESIGNER:

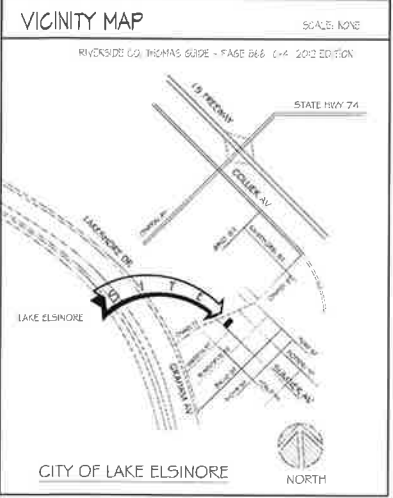
ENZO DESIGNS
22873 TIMNEY STREET
WILDMAN, CA. 92595
PHONE 951.316.9212

PROJECT DATA:

SCAFFOLDING
LIVING: 2,068 SQ. FT.
GARAGE: 421 SQ. FT.
PORCH: 48 SQ. FT.
PATIO: 141 SQ. FT.

FENCE / WALL LEGEND:

- EXISTING 6'-0" HIGH WOOD FENCE (TO REMAIN AS IS)
- EXISTING 5'-0" HIGH CHAIN LINK FENCE TO REMAIN
- EXISTING 5'-0" HIGH (TO REMAIN AS IS) STUCCO FINISH BLOCK WALL



NOTE:

CONTRACTOR AND/OR SUB-CONTRACTOR SHALL CAREFULLY STUDY & COMPARE (ON SITE) ALL CONDITIONS, DIMENSIONS AND DATA BEFORE PROCEEDING WITH ANY WORK. I REPORT AT ONCE TO OWNER & ENZO DESIGNS, ANY ERROR OR INCONSISTENCY HE MAY DISCOVER.



Revisions:	
No.	Date
04.10.18	

#2 Pencil

CUSTOM SINGLE FAMILY RESIDENCE
1513 SUMNER AVENUE
LAKE ELSINORE, CA. 92530
Job Number: 17-126
Drawing Title: CONCEPTUAL LANDSCAPE PLAN
Date Submitted: OCT 02, 2017
Drawn By: BE

A4.0

#2 Pencil

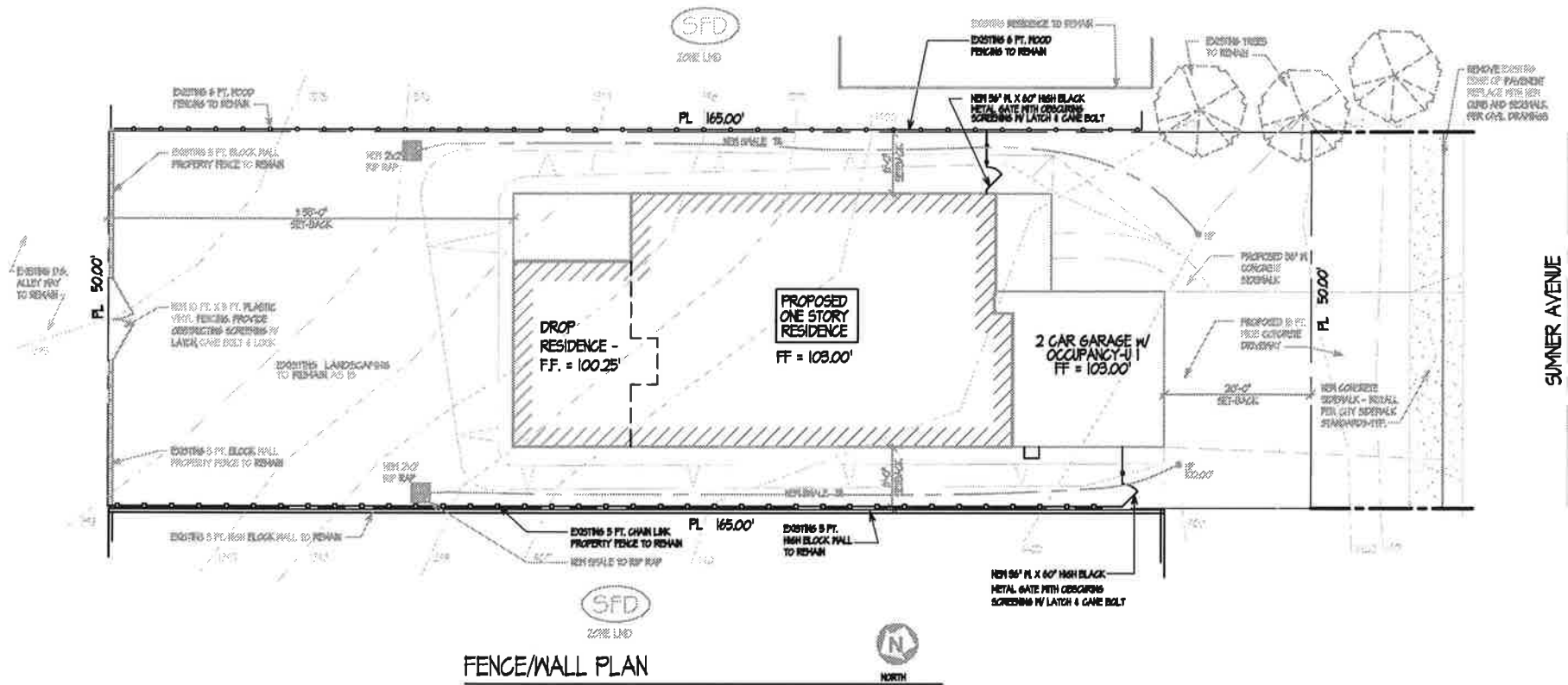
A5.0

PROPOSED SINGLE FAMILY DWELLING

1513 SUMNER AVENUE

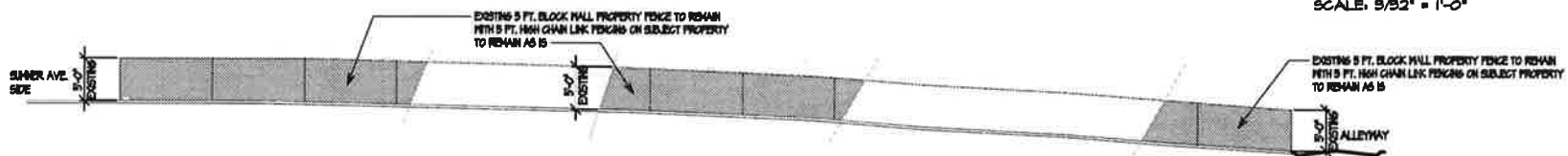
LAKE ELSINORE, CALIF. 92530

A.P.N. 374-101-007-1

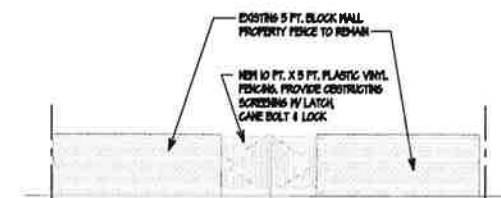


FENCE/WALL PLAN

SCALE: 9/32" = 1'-0"



FENCE ELEVATION of WEST FACING WALL



ALLEYWAY ELEVATION of BLOCK WALL



SUMNER STREET ELEVATION



FENCE ELEVATION of EAST FACING WALL

SCOPE OF WORK:

GROUND UP CONSTRUCTION OF NEW 2,066
SQ. FT. ONE (1) STORY SINGLE FAMILY
HOME WITH ATTACHED GARAGE

OWNER:

VALE INVESTMENT PROPERTIES, I.L.C.
3500 GRAPE STREET, SUITE 100
LAKE ELSHORE, CA 92550
PHONE 949.550.3504

LEGAL DESCRIPTION:

APH 514-101-001
LOT 08 MB CORP/STB
1815 SUMNER AVENUE
LAKE ELSDORE, CA 92550
TIGRAM SEC 6 PND

CIVIL:

FEI YONG & LAKESHORE ENGINEERING
2715 JEFFERSON AVE. SUITE 107
TAMECULA, CA 92060
PHONE 619/246-1500

DESIGNER:

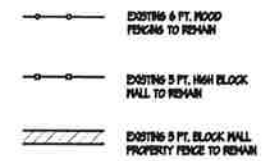
EX2D DESIGNS
22875 TENET STREET
MILDONAR, CA. 92545
PHONE 415.94.4272

PROJECT DATA:

SQUARE FOOTAGE:

LIVING:	2066 SQ. FT.
GARAGE:	427 SQ. FT.
PORCH:	90 SQ. FT.
PATIO:	141 SQ. FT.

FENCE / WALL LEGEND:



VICINITY MAP

SCALE: NONE

RIVERSIDE CO. THOMAS GUIDE - PAGE 066 C-1 2012 EDITION



NOTE:

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Enzio Designs
22873 Tenet Street Wilton, Ca. 92695
Tel. No. (951) 316-9272 Fax (951) 746-3555

Revisions:

No.	Date	Revision
	04.10.18	SUBMIT TO CLIENT & PLANNING DEPT.
△		
△		
△		

#2 Pencil



FOR THE PURPOSE OF CLARITY AND LEGIBILITY, THE DRAWINGS ARE ESSENTIALLY DIAGRAMMATIC AND ALTHOUGH SIZES AND LOCATIONS OF EQUIPMENT IS DRAWN TO SCALE IN WHEREVER POSSIBLE, THE CONTRACTOR SHALL MAKE USE OF ALL DATA IN ALL OF THE CONTRACT DOCUMENTS AND VERIFY THIS INFORMATION BEFORE ORDERING, FABRICATING OR INSTALLATION OF ANY MATERIALS.



1. ROOFING MATERIAL: GLASS OR "MILK" OYSTER COLORED WOODSHAKE
ACRYLIC SHUKE COMPOSITION ROOFING COLOR: MESSINE
22.5% SOLIDS
OR APPROVED SOLAR IN ROOF, 10% BRAKE TRIM TRIMS AND SAVE TILE CLIPS
ROOF MATERIAL TO BE INSTALLED PER MSPS' SPECIFICATION 26 00 01
FLASHING & GUTTER FLASHING AS REQUIRED AT ROOF WALL CORRECTIONS
2. TYPICAL ROOF PITCH 5:12 (30:10)
3. THE ROOF VAIL FLASHING SHALL BE PROVIDED OF NOT LESS THAN NO.26
GALVANEZED STEEL CORROSION-RESISTANT METAL APPLIED OVER A
MINIMUM 36 INCH DEEP ANDRYMENT OF NOT LESS THAN ONE LAYER NO.12
ASPH CMT SHEET FULL LENGTH OF VALLEY OR ONE LAYER NO.30 A 5/16 PLT,
THE METAL SHALL EXTEND AT LEAST 18 INCHES FROM THE CENTRE LINE EACH
SIDE OF THE VALLEY. THE FLASHING SHALL OVERLAP THE FLASHING FROM ROOF AT
THE FLOW LINE FORMED AS PART OF THE FLASHING SECTIONS OF FLASHING
SHALL HAVE AN END LAP OF NOT LESS THAN 4 INCHES

INDICATES 5:12 SLOPE
UNLESS NOTED OTHERWISE
ON PLAN

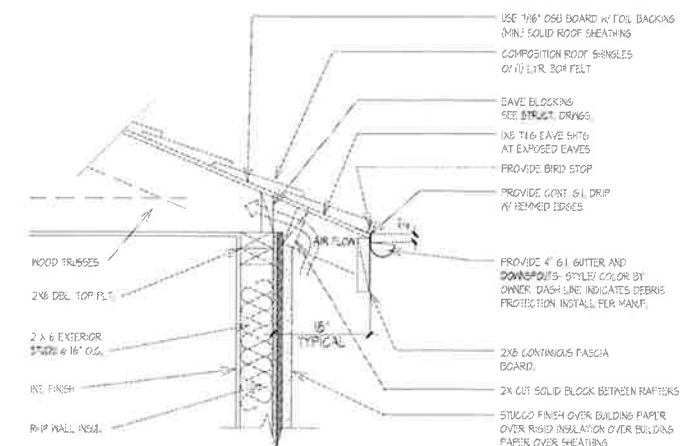
TYPICAL ROOF OVERHANG AT EAVE, CONDITION
TO BE 18" UNLESS NOTED OTHERWISE ON
PLAN

TYPICAL ROOF OVERHANGS AT RAKE CONDITION
TO BE 12" UNLESS NOTED OTHERWISE ON
PLAN

5. ALL VENT OPENINGS SHALL BE COVERED IN 1/4" CORROSION RESISTANT METAL MESH.
6. FRAMER SHALL BE RESPONSIBLE FOR COORDINATING IN THREE WEEKS TO ACCOMMODATE ALL ATTIC VENTS.

ALL VENTS SHALL BE INSTALLED SO AS TO MAKE THEM WATER-PROOF AND WELL MAINTAINED LOUVERS SHALL BE SEALED AND FLASHED WITH "MOSQUITO" IN THE SAME MANNER PRESCRIBED FOR WINDOW INSTALLATIONS.
7. DOWNSPUTS LOCATED ON THE ROOF SHOULD BE PLACED IMMEDIATELY ABOVE THE ATTIC INSULATION AREA WITHIN THE BALANCE OF VENTS 3 FEET ABOVE.
8. ATTIC OVERHANGS AND OTHER CONVEYED ROOF SPACES FORMED OF COMBUSTIBLE MATERIALS SHALL BE PROVIDED WITH DRAFT STOPS OF APPROVED MATERIALS, AND SHALL COMPLY WITH SECTION CBC 903.9.
9. GENERAL CONTRACTOR SHALL VERIFY THE NET FREE VENTILATION OF THE VENT PROVIDED SELECTED AGAINST THOSE NOTED ABOVE.
THE REQUIRED VENTILATION SHALL BE MAINTAINED PROVIDED INSULATION SHALL BE INSTALLED TO PREVENT AIR FROM OBSTRUCTING FREE AIR MOVEMENT

AS REQUIRED BY THE BUILDING OFFICIAL.



SCALE: NONE

CONTRACTOR AND/OR SUB-CONTRACTOR SHALL CAREFULLY
~~STUDY~~ 1. COMPARE (ON SITE) ALL CONDITIONS, DIMENSIONS AND
 DATA BEFORE PROCEEDING WITH ANY WORK & REPORT AT ONCE
 TO OWNER 1. IN THE EVENT OF ANY ERROR OR INCONSISTENCY HE
 SHALL BE RESPONSIBLE.

A7.0

Revisions:		
No.	Date	Revision
1	04.10.18	SUBMIT REVISIONS DRAWING DEPT.

#2 Pencil

Job Name	CUSTOM SINGLE FAMILY RESIDENCE
Job Address	1513 SUMNER AVENUE LAKE ELSINORE, CA. 92530
Job Number	17-126
Drawing Title	SECTIONS
Date Submitted	OCT 02, 2017
Drawn By	BE
Sheet Number	A8.0

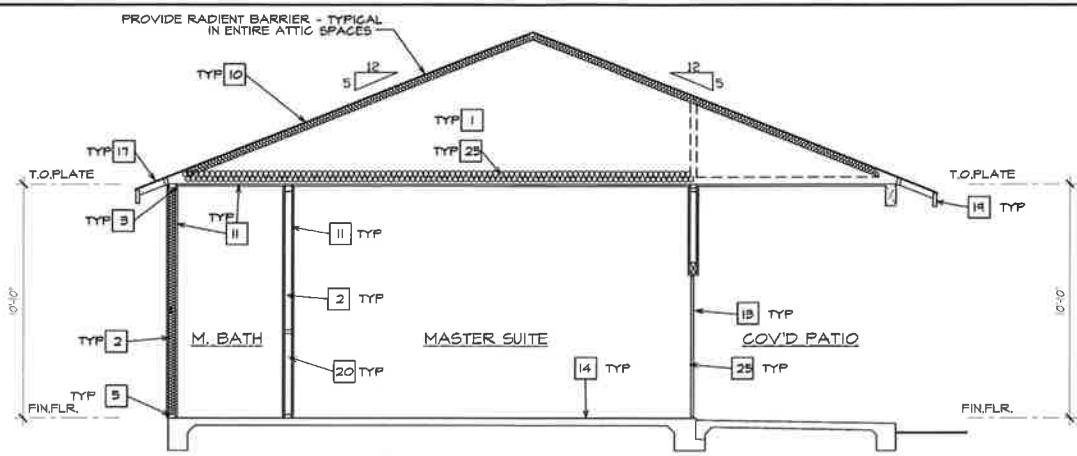
SECTION NOTES

- 1. PROVIDE R-30 (MIN) FIBER BATT INSULATION AT ALL ROOF AREAS.
- 2. PROVIDE R-13 (MIN) FIBER BATT INSULATION AT ALL EXTERIOR WALL AREAS.
- 3. PROVIDE R-21 (MIN) FIBER BATT INSULATION AT ALL GARAGE/HOUSE WALL AREAS.

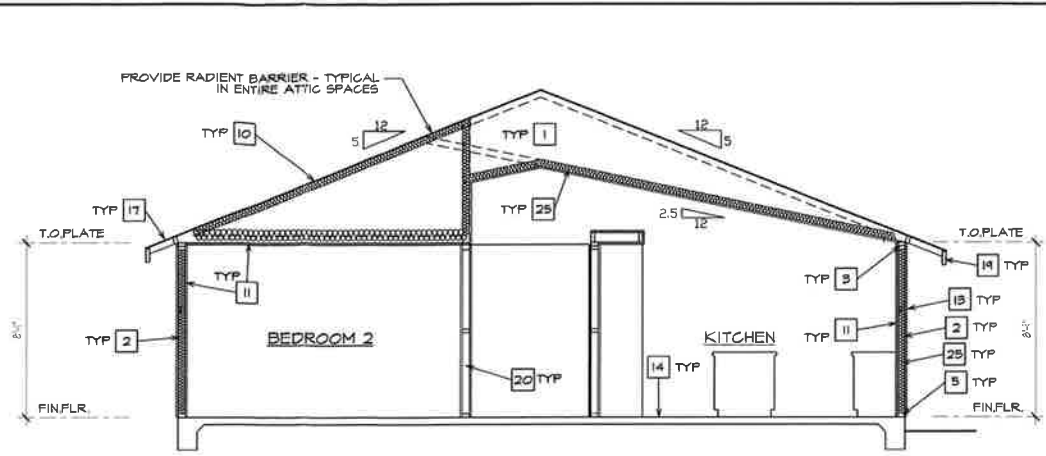
SECTION SCHEDULE

INDICATES NOTES APPLICABLE TO THIS PLAN ONLY
 UNLESS NOTED OTHERWISE
 REFER TO GENERAL NOTE SHEETS (GNI-GMA) FOR ADDITIONAL INFORMATION

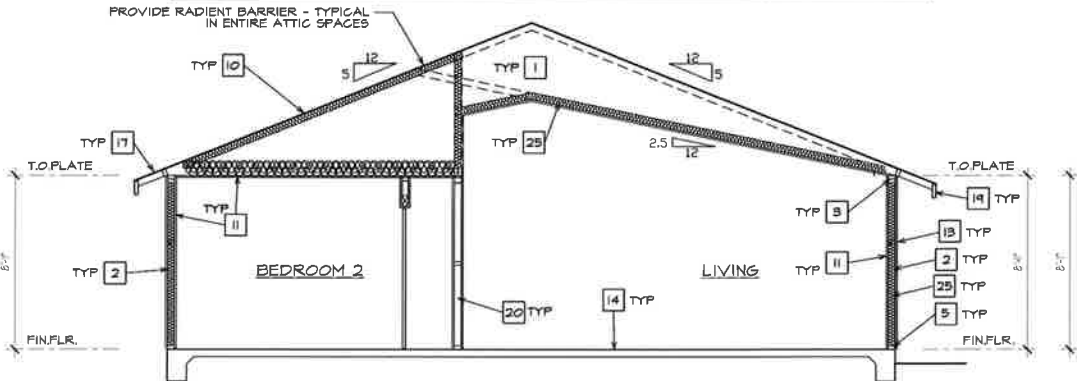
1. MF6, MD, TRUSSES @ 24" O.C. (UNLO.) SEE TRUSS CO. DRAWINGS, GALC'S & SPECS, UNDER SEPARATE COVER.
2. 2X6 STUDS @ 16" O.C. (UNLO.) END NAILED TO TOP PLATES, MID SILLS & SOLE PLATES W/2" 16d UNLO.
3. (2) 2X6 TOP PLATES SAME WIDTH AS STUDS, INSTALLED TO PROVIDE OVERLAPPING AT CORNERS & AT INTERSECTIONS OF OTHER PARTITIONS. END JOINTS OF DBL TOP PLATES TO OFFSET 48" (MIN.) & NAILED W/2" 16d NAILS (UNLO. ON PLANE).
4. 2X SOLE PLATE, SAME WIDTH AS STUDS, FACE NAILED TO JOISTS AND/OR BLOCKING W/16d (UNLO.)
5. 2X6 MID SILL, PRESSURE TREATED OR FOUNDATION GRADE REDWOOD, CALIF. OR OVER FRAMING, 2 X 6 @ 16" O.C. (UNLO.)
6. LEDGER - SEE FRAMING PLAN FOR SIZE & SPAN.
7. BEAM - SEE FRAMING PLAN FOR SIZE & SPAN.
8. 1/2" PLYWOOD, SOLID ROOF SHEATHING.
9. 1/2" DRYWALL (TYPICAL, UNLO.)
10. 5/8" TYPE 'X' 61P, BD. ON ALL WALLS & CLG. OF GARAGE, UNLO.
11. EXTERIOR FINISH - SEE ELEVATIONS.
12. CONC. SLAB & FOOTINGS - SEE FOUNDATION PLAN.
13. FLOOR JOISTS - SEE FRAMING PLAN FOR SIZE SPAN & SPACING.
14. LEDGER - SEE FRAMING PLAN FOR SIZE & SPAN, FACE NAIL (2) 16d EACH STUD (UNLO.)
15. 1X T & 6 AT EXPOSED OVERHANGS/EAVES.
16. 36" HIGH GUARDRAIL, VERIFY W/ OWNER.
17. 2X8 FASCIA, SEE ELEVATIONS FOR MATERIAL AND FINISH.
18. 2 X 4 STUD FRAMING @ 16" O.C. (UNLO.)
19. 5/8" T16 PLYWOOD, UNDERLAYMENT SOLID SHEATHING INSTALLED PERPENDICULAR TO FLOOR FRAMING.
20. 2X SOLID BLOCKING.
21. BALLOON FRAMED WALL.
22. 1/2" DRYWALL @ 1/2" PLYWOOD SHELF.
23. FIBER BATT INSULATION PER SECTION NOTES ABOVE.



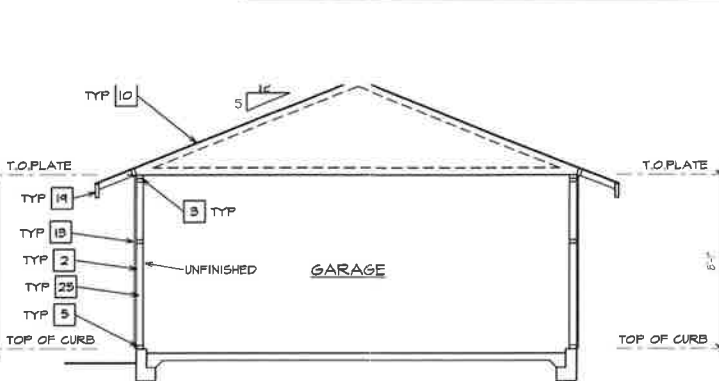
SECTION A



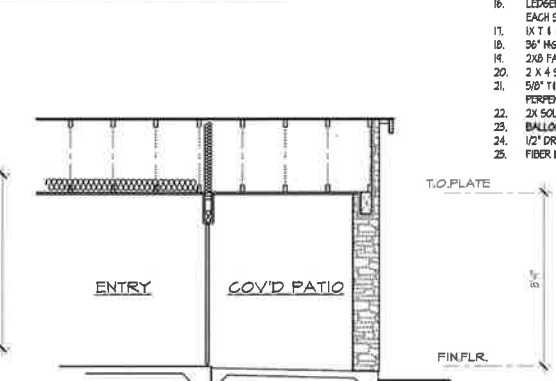
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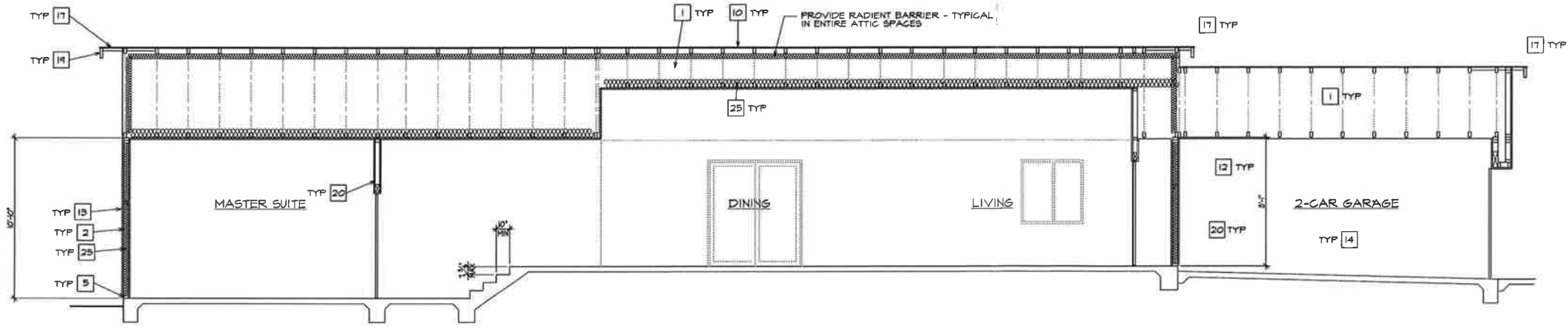
SECTION C



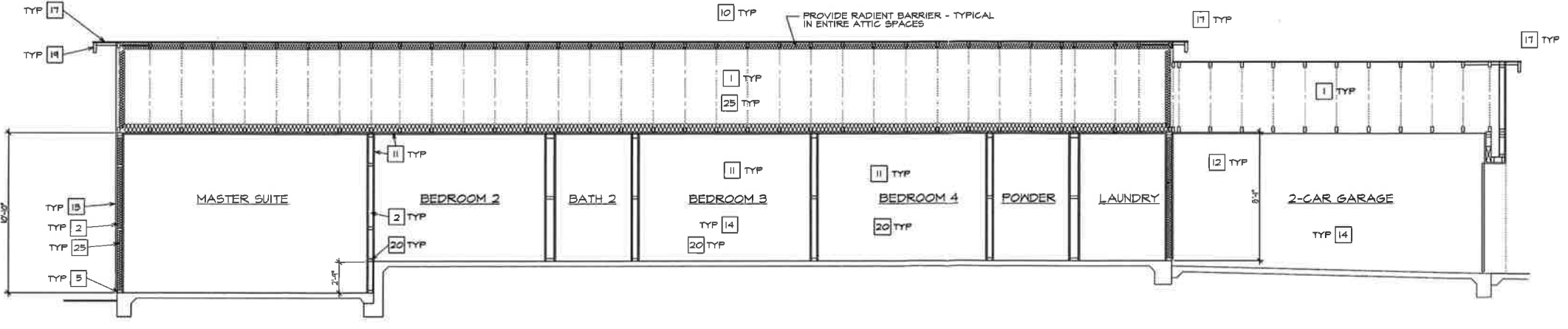
SECTION D



SECTION D-1



SECTION E



SECTION F

NOTE:

CONTRACTOR AND/OR SUB-CONTRACTOR SHALL CAREFULLY STUDY & COMPARE (ON SITE) ALL CONDITIONS, DIMENSIONS AND DATA BEFORE PROCEEDING WITH ANY WORK & REPORT AT ONCE TO OWNER & ENZIO DESIGNS. ANY ERROR OR INCONSISTENCY HE MAY DISCOVER.



"Owens Corning",
Style: Woodmoor asphalt shake;
Color: Mesquite



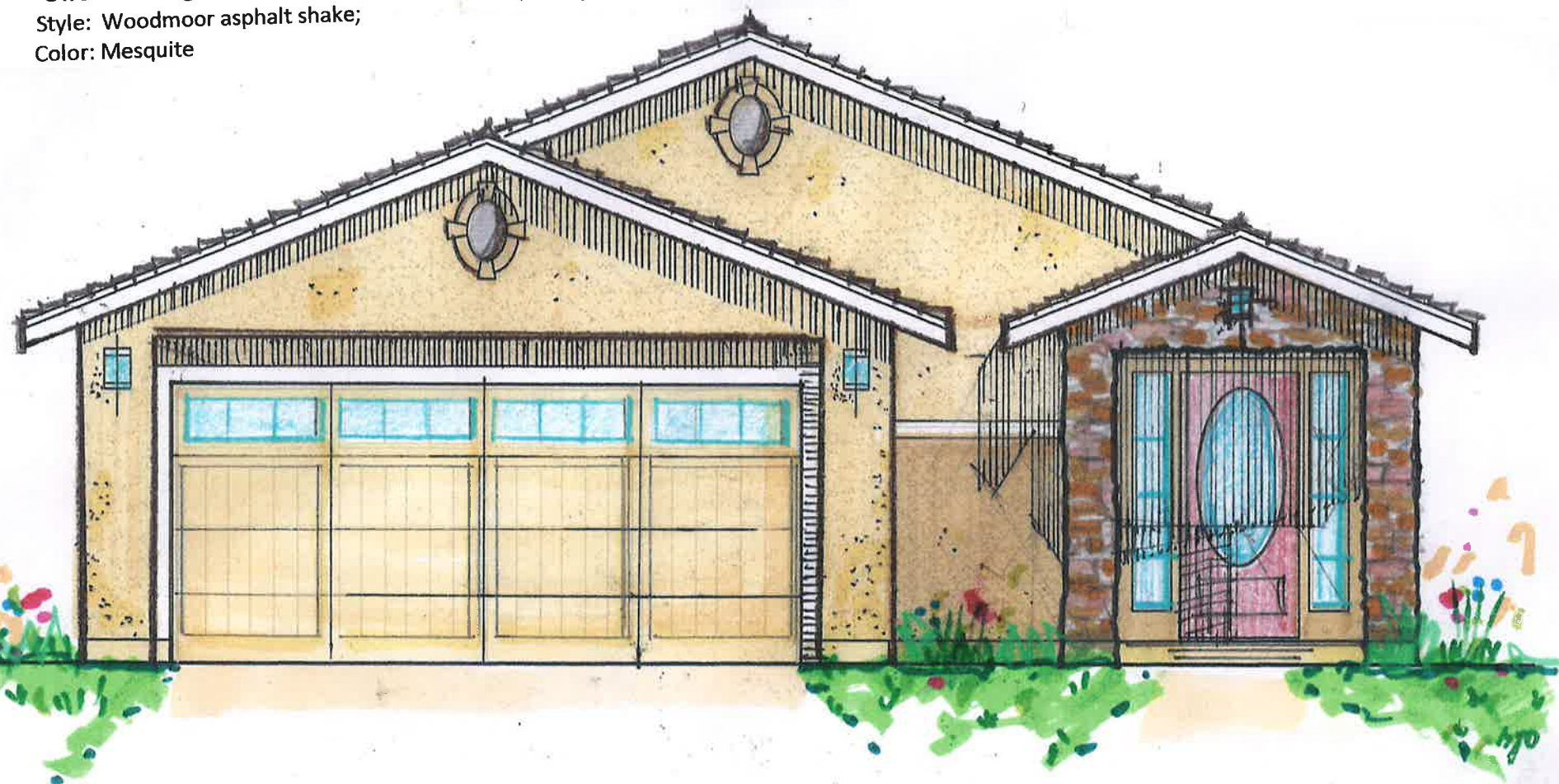
"Dunn Edwards",
Fascia Board;
Color: DEW340, Whisper



"La Habra Stucco",
Style: Sand Float;
Color: X-524 (43)



"Coronado Stone", OR EQUAL
Style: Quick Stack;
Color: Carmel Mountain



SUMNER AVE. STREET ELEVATION

1/4"