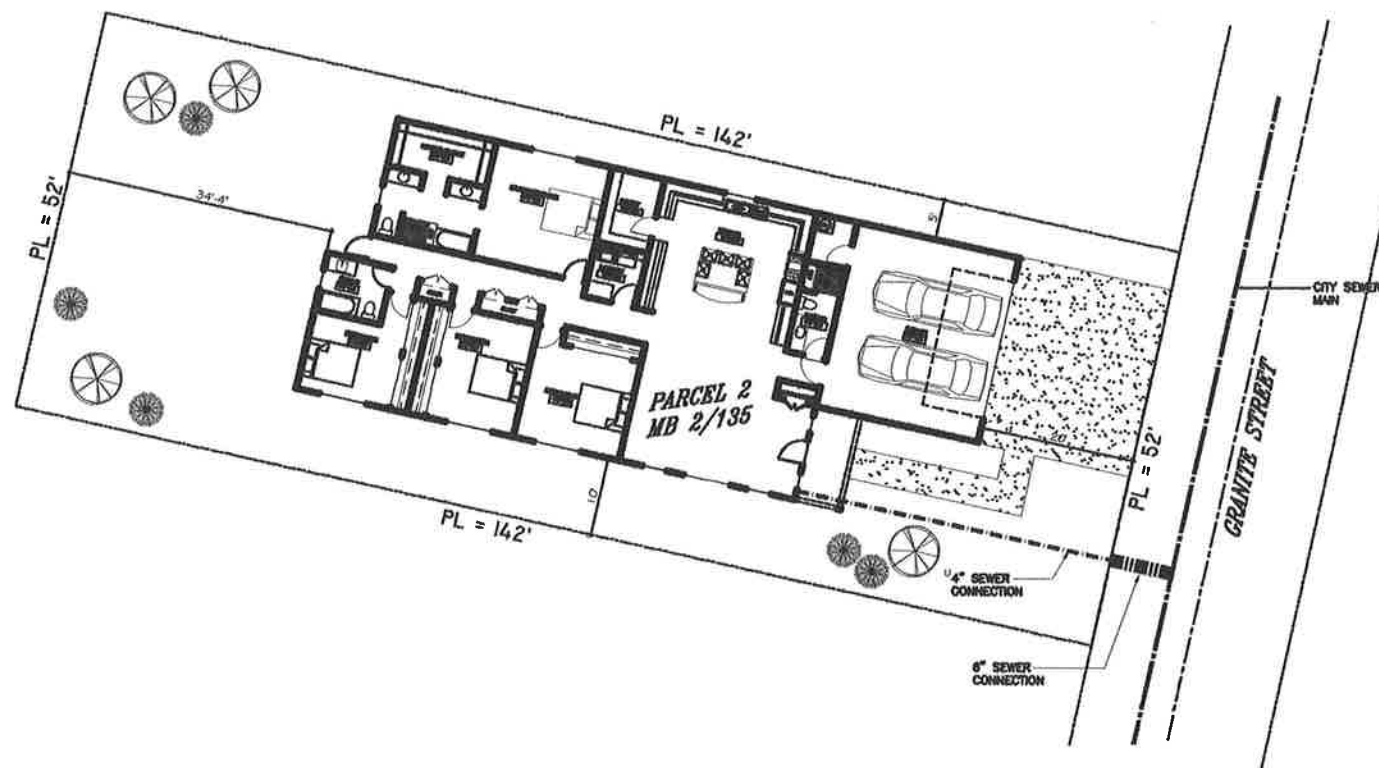


FAHMIAM RESIDENCE

GRANITE ST., LAKE ELSINORE, CA 92530

APN# 377-272-016



ADDITIONAL NOTES:

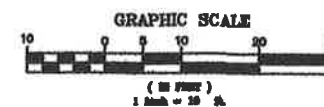
1) BUILDING SHALL HAVE ADDRESS NUMBER PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. NUMBERS SHALL BE CONTRAST WITH BACKGROUND AND BE MINIMUM OF 4" HIGH WITH A MIN STROKE OF $\frac{1}{8}$ ".

2) THIS PROJECT IS SUBJECT TO THE REQUIREMENTS OF CHAPTER 7A OF THE CALIFORNIA BUILDING CODE.

FIRE SPRINKLER NOTES:

THE RESIDENTIAL DWELLING AND ATTACHED GARAGE SHALL BE PROVIDED WITH AN NFPA-13-D AUTOMATIC FIRE EXTINGUISHING SYSTEM PER THE 2013 CALIFORNIA RESIDENTIAL CODE.

A SEPARATE FIRE SPRINKLER PERMIT SHALL BE OBTAINED FROM THE COUNTY OF RIVERSIDE FIRE DEPARTMENT.



SITE DATA

ADDRESS: GRANITE STREET
LAKE ELSINORE, CA 92530
APN: 377-272-016
NEW RESIDENCE: NEW SINGLE FAMILY RESIDENCE OF 2368 SQ. FT.
LOT SIZE: 0.17 ACRES
CONSTRUCTION TYPE: V - B (NFPA-130 FIRE SPRINKLER SYSTEM)
OCCUPANCY: R3 / U1
LEGAL DESCRIPTION: PARCEL 2 of MB 2/135
HIGH FIRE ZONE: NO
CITY: LAKE ELSINORE
COUNTY: RIVERSIDE

APPLICANT / AGENT

GROUP DESIGN
28545 OLD TOWN FRONT STREET #205
TEMECULA, CA 92590
(951) 250-0808
ATTN: GARRET HODSON

SCOPE OF WORK

1. PROPOSED 1 STORY 2368 SQ. FT. SINGLE FAMILY RESIDENCE, SLAB ON GRADE, WOOD FRAMED, WITH TRUSS ROOF AND 526 SQ. FT. ATTACHED GARAGE & 74 SQ. FT COVERED PATIO.

APPLICABLE CODES:

2018 CALIFORNIA MECHANICAL CODE (CMC)
2018 CALIFORNIA PLUMBING CODE (CPC)
2016 CALIFORNIA ELECTRICAL CODE (CEC)
2016 CALIFORNIA ENERGY CODE (CEC)
2018 CALIFORNIA RESIDENTIAL CODE (CRC)
2016 CALIFORNIA GREEN BUILDING CODE
2016 CALIFORNIA BUILDING CODE (C.B.C)

INDEX OF DRAWINGS

AS1 ARCHITECTURAL SITE PLAN
GEN GENERAL NOTES
A-1 FLOOR PLAN
A-2 ROOF PLAN
A-3 ELECTRICAL PLAN
A-4 ELEVATIONS
A-5 ELEVATIONS
A-6 SECTIONS
D-1 ARCHITECTURAL DETAILS
S-1 FOUNDATION PLAN
S-2 ROOF FRAMING PLAN
SD1 GENERAL NOTES AND TYPICAL DETAILS
SD2 STRUCTURAL DETAILS
CIBC.1 CALIFORNIA GREEN CODE
CIBC.2 CALIFORNIA GREEN CODE

DEFERRED SUBMITTALS:

1) TWO STAMPED AND WET SIGNED COPIES OF THE TRUSS CALCS WILL BE REVIEWED AND APPROVED BY THE ENGINEER OF RECORD AND PROVIDED TO THE BUILDING DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.

VICINITY MAP



GROUP
DESIGN

28545 OLD TOWN FRONT ST.
SUITE #205
TEMECULA, CA 92590
TEL: 951-250-0808

All plans, drawings and reports shall be prepared in accordance with the requirements of the California Building Code and the California Fire Code. The designer shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The designer shall also be responsible for ensuring that all plans, drawings and reports are accurate and complete. The designer shall also be responsible for ensuring that all plans, drawings and reports are submitted in a timely manner.

FAHMIAM RESIDENCE
--- GRANITE ST.
LAKE ELSINORE, CA 92530
APN # 377-272-016

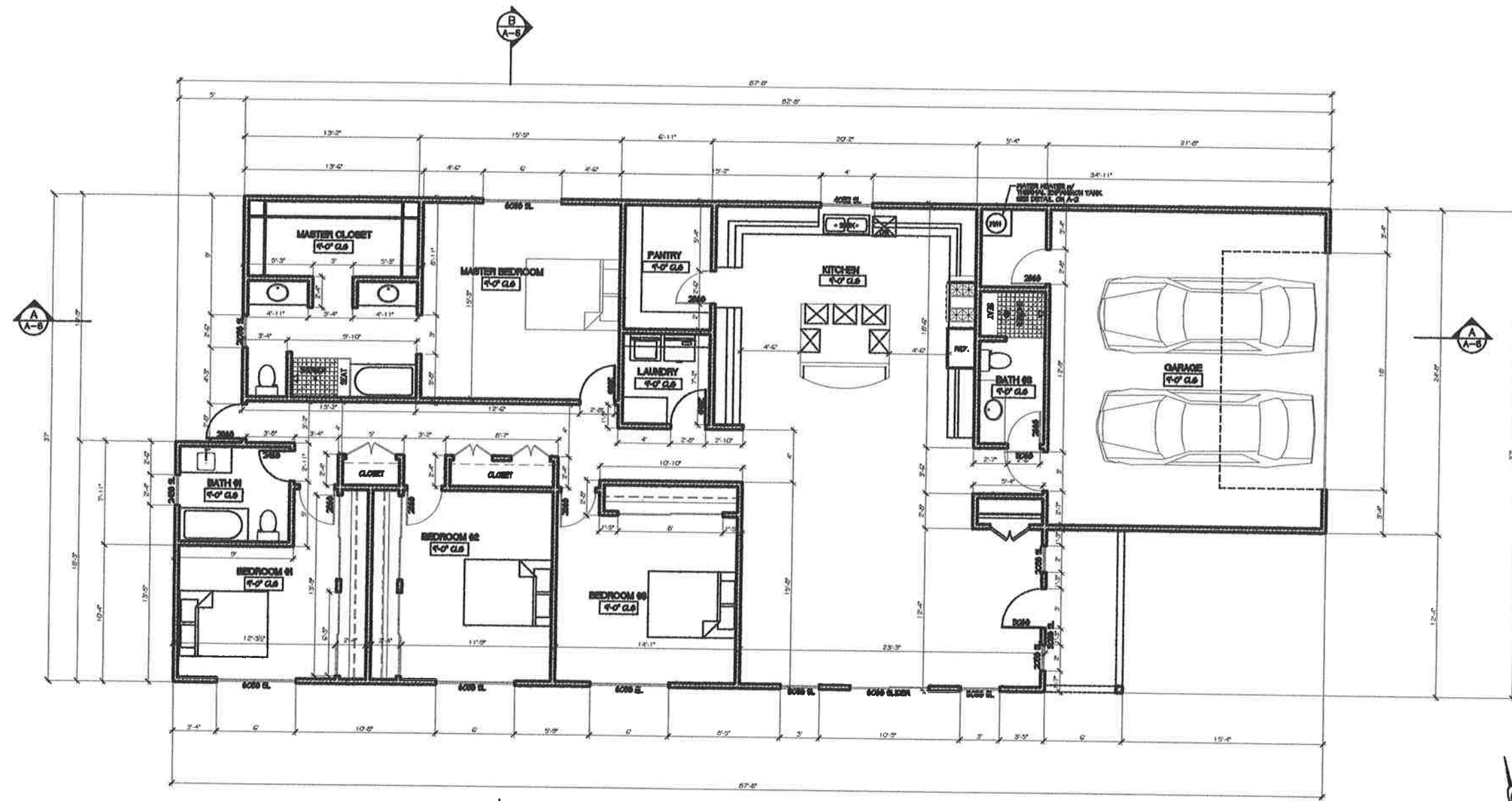
SITE PLAN

AS1

28545 OLD TOWN FRONT ST
SUITE #205
TEMECULA, CA 92590
TEL: 951-250-0808

at these desks and handle them as they come, including all documents on electronic media so the property of the group could be an indicator of its use to determine the specific project only and that the character be used for any other purpose without the consent of the group and not be reproduced or altered without the written permission of the group.

FAHAMJAM RESIDENCE
--- GRANITE ST.
LAKE ELSINORE, CA 92530
APN # 377-272-016



FIRST FLOOR PLAN

SQ. FOOTAGE	STD. PLAN
FLOOR PLAN	2359
COVERED PATIO	74
GARAGE	526
TOTAL	2959

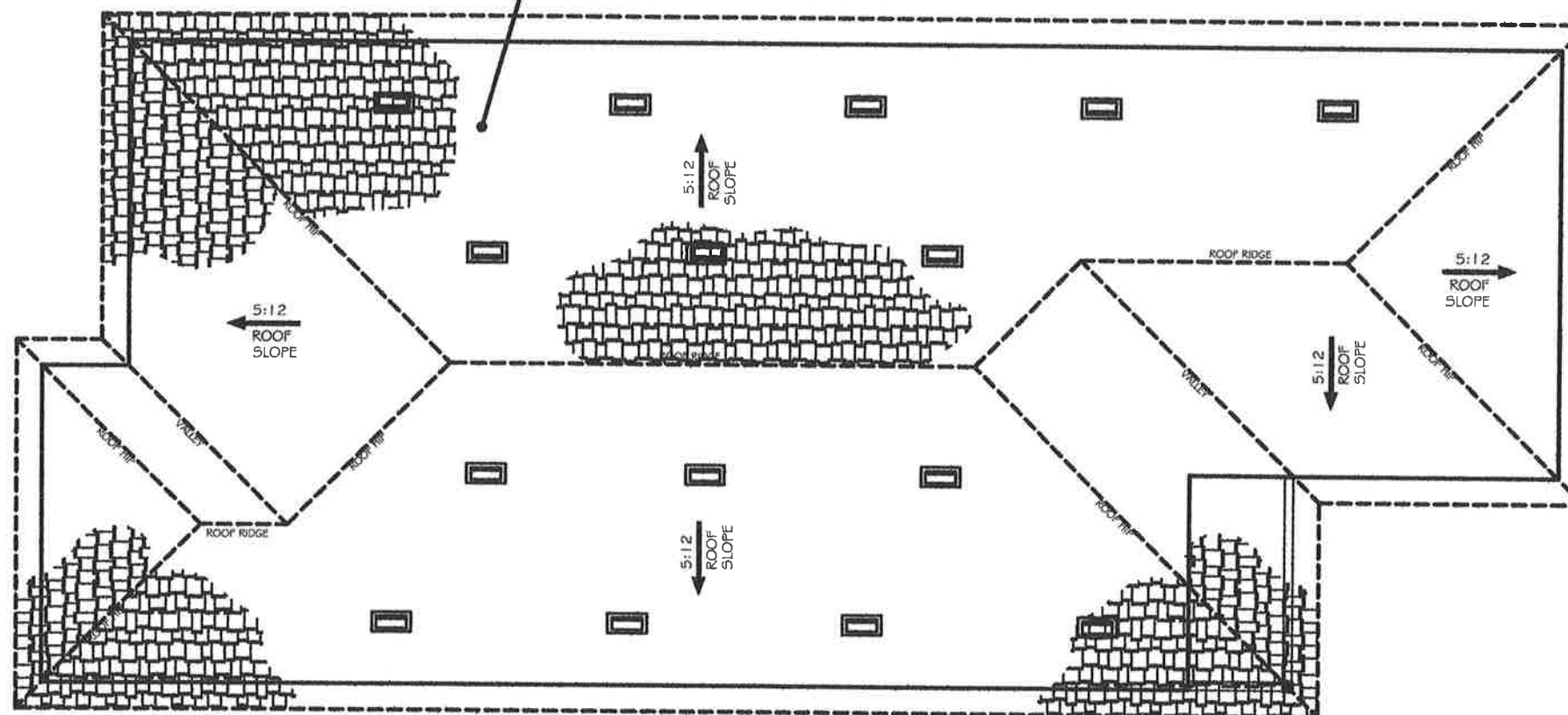
NOTE: FINISHED SQUARE FOOTAGE CALCULATIONS FOR THE HOUSE WERE BASED ON PLANS DIMENSIONS ONLY AND MAY VARY FROM THE FINISHED SQUARE FOOTAGE OF THE HOUSE AS BUILT.

**FIRST FLOOR
PLAN**

A-1



REFER TO MANUFACTURE
SPECIFICATION ON PAGE
#23, PROVIDE MIN 1 FOOT
FROM BOTTOM OF DISCHARGE

$$1385 \text{ SQ. INCHES} / 98.75 \text{ SQ INCHES PER VENT} = 14.0 \text{ REQUIRED}$$


ROOF PLAN

SCALE, 1/4" = 1'-0"

4. ROOF MATERIAL : CLASS "A" CERTAINEED ARCH80
ASPHALT ROOF SHINGLES INSTALL
PER REPORT #ESR-1389

1. ALL VENT OPENINGS SHALL BE COVERED W/ 1/4" CORROSION RESISTANT METAL MESH.
2. FRAMER SHALL BE RESPONSIBLE FOR COORDINATING WITHRUS5 MFR. TO ACCOMMODATE ALL ATTIC VENTS
3. ALL VENTS SHALL BE INSTALLED SO AS TO MAKE THEM WATER-PROOF AND WALL MOUNTED LOUVERS SHALL BE SEALED AND FLASHED WITH "MOISTOP" IN THE SAME MANNER PRESCRIBED FOR WINDOW INSTALLATIONS.
4. PROVIDE APPROVED INSULATION DAMS (BAFFLES) WHERE VENT BLOCKS ARE USED BETWEEN ROOF FRAMING MEMBERS TO PREVENT VENT HOLES BEING BLOCKED BY INSULATION.
5. PAINT DORMER VENTS TO MATCH ROOF COLOR.

**GROUP
DESIGN**

28545 OLD TOWN FRONT ST.
SUITE #205
TEMECULA, CA 92590
TEL: 951-250-0508

All items, defects and brands shown on these documents, including all documents on electronic media are the property of group dealers, and are intended to be used in connection with this specific product only and shall not otherwise be used for any purpose whatsoever without the written consent, and may not be reproduced or used without the written permission of group dealers.

All rights reserved.

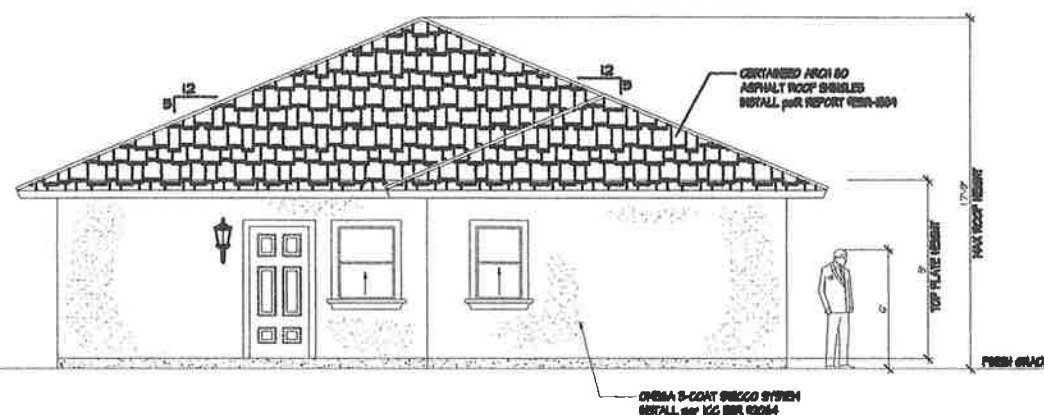
FAHAMIAM RESIDENCE
--- GRANITE ST.
LAKE ELSINORE, CA 92530
APN # 377-272-016

[illegible]

ROOF PLAN

KEYWORDS

A-2



1. EXTERIOR PLASTER (STUCCO) 7" MINIMUM THICKNESS. (3 COAT) PORTLAND CEMENT W/PAPER BACK METAL LATH. PROVIDE TWO (2) LAYERS GRADE "D" BUILDING PAPER WHEN APPLIED OVER WOOD SHEETING OR 60 MINUTE MOISTURE BARRIER.
2. PROVIDED 30# FELT UNDERLAYMENT FOR ALL ROOF TITLE.
3. ALL VALLEYS SHALL HAVE 72# UNDERLAYMENT APPLIED UNDER 26 GAUGE FLASHING. PER HIGH FIRE HAZARD.

REAR VIEW

WEST ELEVATION

0 10' 20'

SCALE 1/4" = 1'-0"



FRONT VIEW

EAST ELEVATION

0 10 SCALE 1/4" = 1'-0"

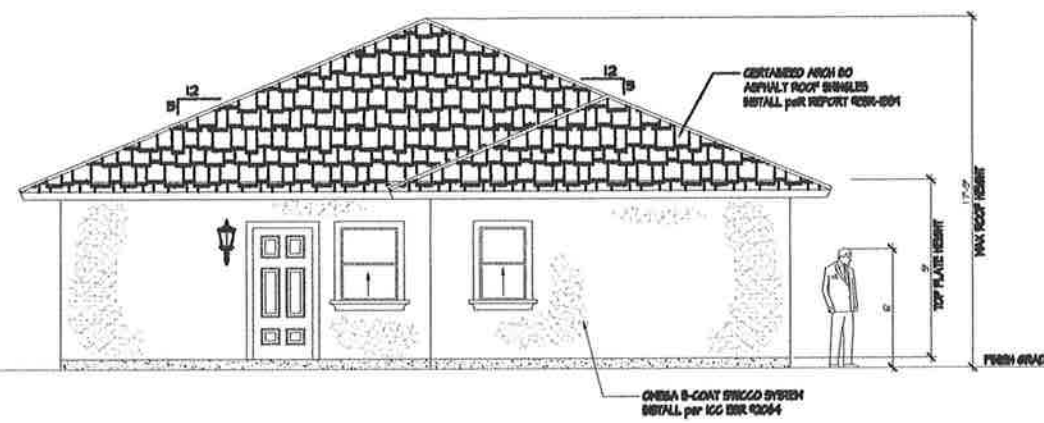
FAHAMIAM RESIDENCE
--- GRANITE ST.
LAKE ELSINORE, CA 92530
APN # 377-272-016

A-5

28545 OLD TOWN FRONT ST.
SUITE #205
TEMECULA, CA 92590
TEL: 951-250-0808

THE

FAHAMIAM RESIDENCE
--- GRANITE ST.
LAKE ELSINORE, CA 92530
APN # 377-272-016



REAR VIEW

WEST ELEVATION

0' 10' 20'

SCALE 1/4" = 1'-0"

GENERAL NOTE:
EXTERIOR FINISH NOTE

1. EXTERIOR PLASTER (STUCCO) 7/8" MINIMUM THICKNESS. (3 COAT) PORTLAND CEMENT W/PAPER BACK METAL LATH. PROVIDE TWO (2) LAYERS GRADE "D" BUILDING PAPER WHEN APPLIED OVER WOOD SHEETING OR 60 MINUTE MOISTURE BARRIER.
2. PROVIDED 30# FELT UNDERLAYMENT FOR ALL ROOF TITLE.
3. ALL VALLEYS SHALL HAVE 72# UNDERLAYMENT APPLIED UNDER 26 GAUGE FLASHING. PER HIGH FIRE HAZARD.



FRONT VIEW

EAST ELEVATION

0 10' 20'

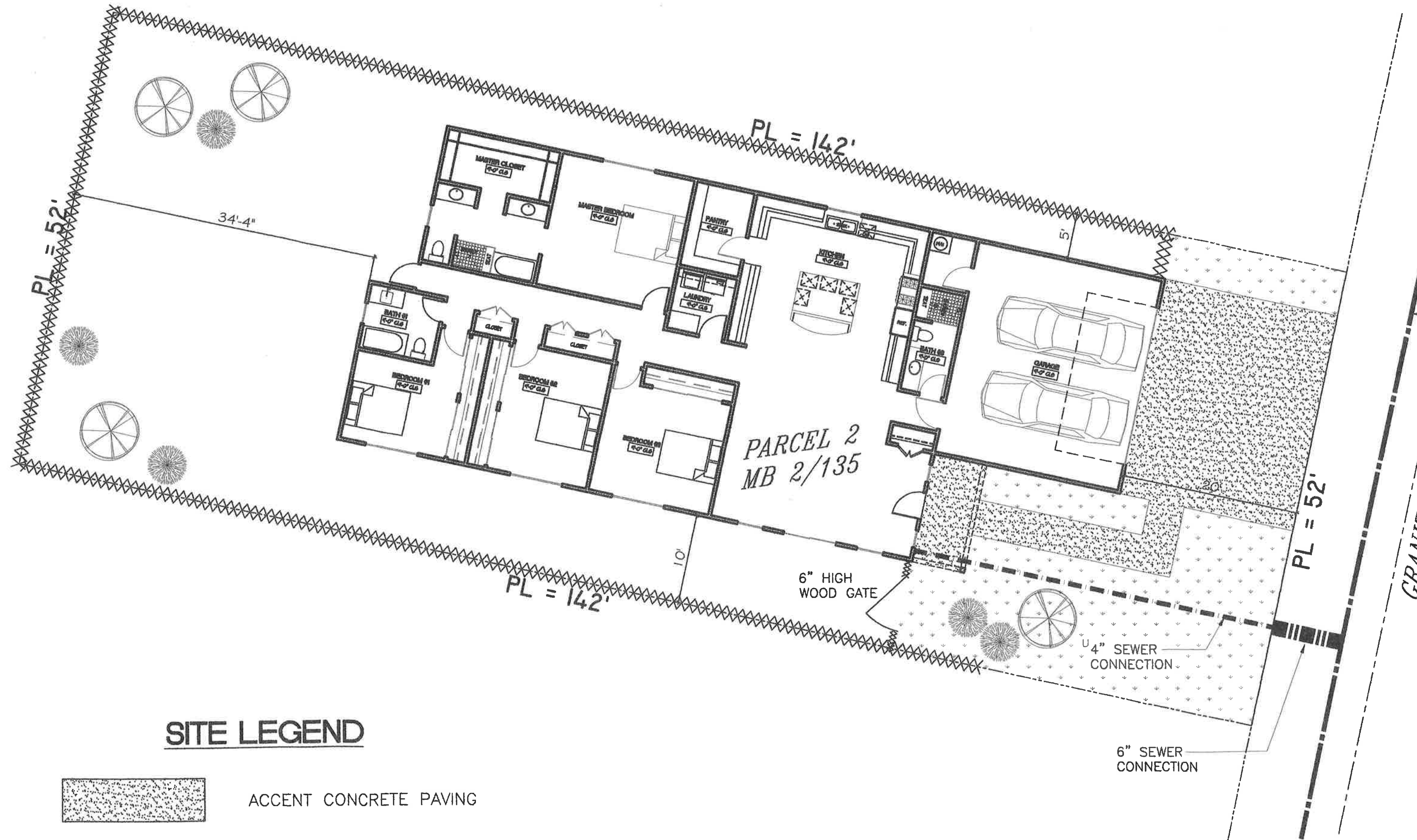
SCALE 1/4" = 1'-0"

[illegible]

ELEVATIONS

1054

A-5



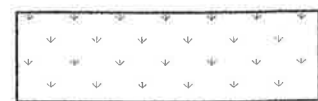
SITE LEGEND



ACCENT CONCRETE PAVING



6' HIGH WOOD GATE



ST. AUGUSTINE GRASS
(STENOTAPHRUM SECUNDATUM)