

CODE INFORMATION

BUILDING CODE:  
CBC 2016  
PLUMBING CODE:  
CPC 2016  
MECHANICAL CODE:  
CMC 2016  
ELECTRICAL CODE:  
CEC 2016  
ENERGY CODE:  
TITLE 24 - 2016 EDITION  
FIRE CODE:  
CFC 2016  
GREEN CODE:  
CGC 2016  
LOCAL CODE AMENDMENTS:  
LA AMENDMENTS APPLICABLE.

BUILDING DATA

OCCUPANCY: A2 (RESTAURANT)  
FIRE SPRINKLERED: YES  
CONSTRUCTION TYPE: V-B  
SITE AREA: 49,659 S.F.  
BUILDING AREA: 4,801 S.F.  
FAR: .09  
ZONING: C-2 GENERAL COMMERCIAL

PARKING

STANDARD SPACES REQUIRED: 1 FOR 45SF OF CUSTOMER SPACE  
1 ADDITIONAL FOR 200SF NON-CUSTOMER SPACE  
  
TOTAL SPACES REQUIRED: CUSTOMER AREA: 1,893 SF/45 = 42  
NON-CUSTOMER AREA: 2,908 SF/200 = 15  
TOTAL REQUIRED = 60 SPACES  
  
TOTAL SPACES PROVIDED: 59 SPACES PROVIDED

Architect:

C.R.H.O.  
195 SOUTH "C" STREET 200  
TUSTIN, CA, 92780  
PHONE: (714) 832-1834  
FAX: (714) 832-1910  
CONTACT: RUSSELL HATFIELD  
E-MAIL: RUSSELL@CRHO.COM

Civil Engineer:

TRUXAW AND ASSOCIATES  
265 ANITA DRIVE  
SUITE III  
ORANGE, CA, 92868  
PHONE: (714) 935-0265  
CONTACT: STEVE HAGER  
E-MAIL: STEVEHAGER@TRUXAW.COM

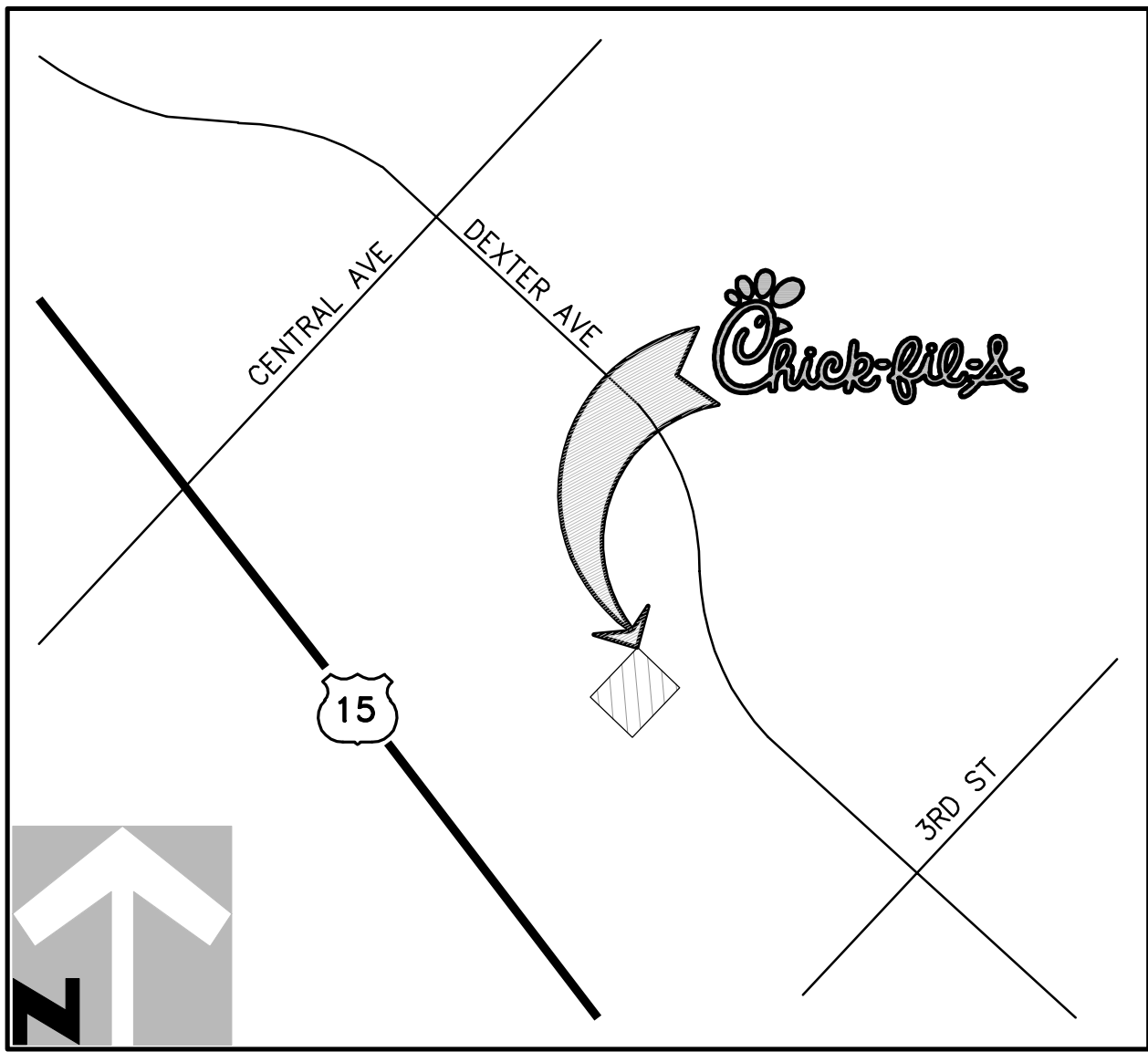
Landscape Architect:

JOHN HOURIAN & ASSOC.  
107 AVENIDA MIRAMAR, SUITE "D"  
SAN CLEMENTE, CA 92672  
PHONE: (949) 489-5623  
FAX: (949) 489-5632  
CONTACT: JOHN HOURIAN  
E-MAIL: TEAM@HOURIANASSOCIATES.COM



5200 BUFFINGTON ROAD  
ATLANTA, GEORGIA 30349-2998  
PHONE: (404) 765-8000  
FAX: (404) 684-8550

18601 DEXTER AVE.  
LAKE ELSINORE, CA 92532



1 VICINITY MAP  
NOT TO SCALE

Drawing Index

T-1.1	COVER SHEET
SP-1	SITE PLAN
1 OF 4	CIVIL TITLE SHEET
2 OF 4	CONCEPTUAL GRADING PLAN
3 OF 4	CONSTRUCTION NOTES
4 OF 4	CONCEPTUAL UTILITY PLAN
1 OF 2	ALTA/ACSM LAND TITLE SURVEY
2 OF 2	ALTA/ACSM LAND TITLE SURVEY TOPO
L-1	PRELIMINARY LANDSCAPE SITE PLAN
A-1.0	FLOOR PLAN
A-1.7	ROOF PLAN
A-2.1	EXTERIOR ELEVATIONS
A-3.1	BUILDING SECTION



5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:

Mark Date By  
△ \_\_\_\_\_

Mark Date By  
△ \_\_\_\_\_

Mark Date By  
△ \_\_\_\_\_

Seal



195 South C Street, Suite 200  
Tustin, CA 92780  
phone 714.832.1834

STORE  
CENTRAL AVE &  
DEXTER AVE.

18601 DEXTER AVE.  
LAKE ELSINORE, CA

SHEET TITLE  
TITLE SHEET

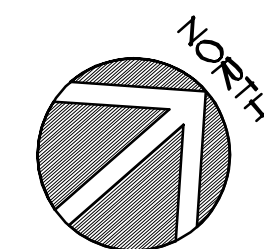
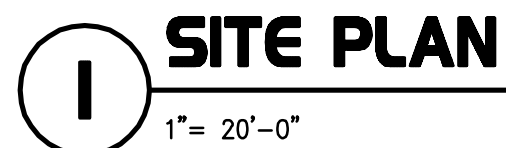
VERSION: V7.025  
ISSUE DATE: 08-2016

Job No. : 17-200  
Store : 04261  
Date : 03-07-18  
Drawn By : AM  
Checked By: RH

Sheet

T-1.1





OCCUPANCY:	A2 (RESTAURANT)
FIRE SPRINKLERED:	YES
CONSTRUCTION TYPE:	V-B
SITE AREA:	46,659S.F.
BUILDING AREA:	4,801 S.F.
FAR:	.09
ZONING:	C2 GENERAL COMMERCIAL

STANDARD SPACES REQUIRED:	1 FOR 45SF OF CUSTOMER SPACE 1 ADDITIONAL FOR 200SF NON-CUSTOMER SPACE		
TOTAL SPACES REQUIRED:	CUSTOMER AREA:	1,893 SF/45	= 42
	NON-CUSTOMER AREA:	2,908 SF/200	= 15
	TOTAL REQUIRED		= 57 SPACES
TOTAL SPACES PROVIDED:	60 SPACES PROVIDED		



NOT TO SCALE

5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

revisions:

Mark	Date	By
------	------	----



Mark	Date	By
------	------	----



Mark	Date	By
------	------	----



deal

95 South C Street; Suite 200  
 Austin, CA. 92780  
 Phone 714.832.1834

CORE  
CENTRAL AVE &  
EXETER AVE.

8601 DEXTER AVE.  
LAKE ELSINORE, CA

SHEET TITLE  
RELIMINARY  
SITE PLAN

VERSION: V7.025  
ISSUE DATE: 08-2016

Job No. : 17-200

Store : 04261

ate : 03-07-18

Drawn By :     

Checked By:     

meet

5P-1



# CONCEPTUAL GRADING AND UTILITY PLANS

## FOR

# CHICK-FIL-A RESTAURANT NO. 4261

## CENTRAL AVENUE AND DEXTER AVENUE

# LAKE ELSINORE, CA

### UTILITY PROVIDERS \*\*

SEWER.....ELSNORE VALLEY MUNICIPAL WATER DISTRICT, 31315 CHANEY STREET, LAKE ELSINORE 92530, CHRISTINA BACHINSKI (951) 674-3146 x8427  
WATER.....ELSNORE VALLEY MUNICIPAL WATER DISTRICT, 31315 CHANEY STREET, LAKE ELSINORE 92530, CHRISTINA BACHINSKI (951) 674-3146 x8427  
STORM DRAIN.....CITY OF LAKE ELSINORE, 130 S. MAIN STREET, LAKE ELSINORE 92530, RITA THOMPSON (951) 674-3121 x308  
GAS.....SO. CALIF. GAS CO., 1981 W. LUCOMA AVENUE, REDLANDS 92374, ROBERT FIGUEROA (909) 335-7755  
ELECTRIC.....SO. CALIF. EDISON, 24487 PRIELIPP DRIVE, WILDOMAR 92595, SCE PLANNING SUPERVISOR (951) 249-8301  
CABLE.....CHARTER COMMUNICATIONS, 560 S. PROMENADE AVE. #102, CORONA 92879, KEITH KLUMP (951) 547-3831  
PHONE.....

ROADWAY.....CITY OF LAKE ELSINORE, 130 S. MAIN STREET, LAKE ELSINORE 92530, RITA THOMPSON (951) 674-3124 x308  
ROADWAY.....COUNTY OF RIVERSIDE TRANSPORTATION DEPT., 4080 LEMON ST. 3RD FLOOR, RIVERSIDE 92501, (951) 955-6880

+ AGENCY RECORD INFORMATION NOT AVAILABLE AT THE TIME OF THIS SURVEY.

### GRADING NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF LAKE ELSINORE MUNICIPAL CODE, CHAPTER 15.72 AND APPLICABLE STANDARDS AND SPECIFICATIONS AND THE LATEST EDITION OF THE UNIFORM BUILDING CODE (U.B.C.), CHAPTER 3.3.
- A PERMIT SHALL BE OBTAINED FROM THE ENGINEERING DEPARTMENT, CITY OF LAKE ELSINORE, PRIOR TO ANY OPERATIONS.
- THE DEVELOPER AND/OR THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AND U.S.A. ALERT (1-800-422-4133) FORTY-EIGHT (48) HOURS PRIOR TO GRADING.
- THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEERING DEPARTMENT AT LEAST TWENTY-FOUR (24) HOURS IN ADVANCE OF BEGINNING GRADING OPERATIONS.
- DUST SHALL BE CONTROLLED BY WATERING OR OTHER METHODS APPROVED BY THE CITY ENGINEER.
- CUT SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL, UNLESS OTHERWISE APPROVED, AND SHALL BE SHOWN ON THE PLAN.
- FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL, UNLESS OTHERWISE APPROVED, SHALL BE SHOWN ON PLAN, AND SHALL NOT HAVE LESS THAN 90% RELATIVE COMPACTION OUT TO THE FINISHED SURFACE.
- FILLS SHALL BE COMPACTED THROUGHOUT TO 90% DENSITY AS DETERMINED BY THE MODIFIED THREE (3) LAYER A.S.T.M. D-1557-70 TEST METHOD.
- FILL AREAS SHALL BE CLEARED OF ALL VEGETATION AND DEBRIS, SCARIFIED, AND INSPECTED BY THE GRADING INSPECTOR AND APPROVED SOILS TESTING AGENCY PRIOR TO THE PLACING OF FILL.
- ALL FILL MATERIAL SHALL BE CLEAN EARTH. NO FILL SHALL BE PLACED UNTIL PREPARATION OF GROUND IS APPROVED BY THE SOILS ENGINEER.
- FINISH GRADE SHALL BE SLOPED AWAY FROM ALL EXTERIOR WALLS AT NOT LESS THAN 1/4" PER FOOT FOR A MINIMUM OF THREE (3) FEET, THEN 1% (MINIMUM) TO FLOW LINE OF EARTH SWALE.
- MINIMUM BUILDING PAD AND DRAINAGE SWALE SLOPE SHALL BE 1% IF CUT OR FILL SLOPE IS LESS THAN TEN FEET (10FT), AND 2% IF CUT OR FILL IS GREATER THAN TEN FEET (10FT). DRAINAGE SWALES SHALL BE A MINIMUM OF 0.5FT DEEP AND CONSTRUCTED A MINIMUM OF TWO FEET (2) FROM THE TOP OF CUT OR FILL SLOPES.
- PROVIDE 5FT WIDE BY 1FT HIGH BERM OR EQUIVALENT ALONG THE TOP OF ALL FILL SLOPES OVER 5FT HIGH.
- PROVIDE A BROW DITCH, DESIGNED TO HANDLE ONE HUNDRED (100) YEAR STORM FLOWS ALONG THE TOP OF CUT SLOPES.
- NO OBSTRUCTION OF FLOOD PLAINS OR NATURAL WATER COURSES SHALL BE PERMITTED.

A SOILS ENGINEER SHALL BE RETAINED BY THE DEVELOPER, TO SUPERVISE GRADING AND PROVIDE A FINAL SOILS REPORT WHICH INCLUDES FOUNDATION REQUIREMENTS (SUBDIVISIONS) AND EXPANSIVE CHARACTERISTICS OF THE SOIL.

GRADING CERTIFICATION BY THE DEVELOPER'S CIVIL ENGINEER AND A FINAL COMPACTION REPORT BY A SOILS ENGINEER SHALL BE SUBMITTED TO THE BUILDING AND ENGINEERING DEPARTMENTS PRIOR TO ISSUANCE OF BUILDING PERMITS.

THE SOILS ENGINEERING INVESTIGATION DATED JANUARY 23, 2018 PREPARED BY (GILES ENGINEERING ASSOCIATES, INC.) DATED \_\_\_\_\_ AND THE ENGINEERING GEOLOGIC INVESTIGATION DATED \_\_\_\_\_ PREPARED BY (GEOLOGIC CONSULTANT), SHALL BE CONSIDERED A PART OF THIS GRADING PLAN AND SHALL BE IN COMPLIANCE.

A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR SHALL SUBMIT CERTIFICATION OF BUILDING PAD ELEVATION, WHERE SPECIFIC ELEVATIONS ARE REQUIRED, THE ELEVATION (WITH RESPECT TO MEAN SEA LEVEL) SHALL BE GIVEN, IF AN ELEVATION WITH RESPECT TO ADJACENT GROUND SURFACE IS REQUIRED, THE ACTUAL DISTANCE ABOVE THE ADJACENT GROUND SHALL BE GIVEN.

ALL PROPERTY CORNERS SHALL BE CLEARLY DELINEATED IN THE FIELD PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION/GRADING.

STABILITY CALCULATIONS WITH A SAFETY FACTOR OF AT LEAST 1.5 SHALL BE SUBMITTED BY A SOILS ENGINEER TO THE BUILDING AND ENGINEERING DEPARTMENTS FOR CUT AND FILL SLOPES OVER THIRTY FEET (30') IN VERTICAL HEIGHT.

A FINAL COMPACTION REPORT WILL BE REQUIRED FOR ALL FILLS GREATER THAN ONE (1) FOOT.

IF STEEP SLOPING TERRAIN OCCURS UPON WHICH FILL IS TO BE PLACED, IT MUST BE CLEARED, KEYED AND BENCHED INTO FIRM NATURAL SOIL FOR FULL SUPPORT. PREPARATION SHALL BE APPROVED BY A REGISTERED SOILS ENGINEER PRIOR TO PLACEMENT OF FILL MATERIAL. SLOPES GREATER THAN 5:1 ARE REQUIRED TO BE KEYED AND BENCHED.

THE SOILS ENGINEER SHOULD INSPECT THE CONSTRUCTION IN THE FOLLOWING STAGES: A. UPON COMPLETION OF CLEARING AND DURING EXCAVATION AND BEFORE BACKFILL OF ALLUVIAL, COLLUVIAL AND TERRACED AREAS AND ANY SUBSTRUCTURES. B. DURING ALL ROUGH GRADING AND OPERATIONS INCLUDING PRE-COMPACTION, BENCHING AND FILLING OPERATIONS. C. DURING INSTALLATION OF BUTTRISS AND CANYON SUB-DRAINS AND FILTER MATERIAL. D. WHEN ANY UNUSUAL GRADING CONDITIONS ARE ENCOUNTERED DURING CONSTRUCTION.

EROSION CONTROL: ALL GRADED SLOPES SHALL BE PLANTED WITH ROSEA ICE PLANT OR ANOTHER APPROVED GROUND COVER, AT TWELVE INCHES (12IN) ON CENTER. SLOPES OVER FIFTEEN FEET (15FT) IN VERTICAL HEIGHT, IN ADDITION TO GROUND COVER, SHALL BE PLANTED WITH APPROVED TREES, SHRUBS OR COMBINATION THEREOF. SHRUBS SHALL BE PLANTED AT TEN FEET (10FT) ON CENTER. TREES AT TWENTY FEET (20FT) ON CENTER. COMBINATIONS FIFTEEN FEET (15FT) ON CENTER. SLOPES OVER THREE FEET (3FT) IN VERTICAL HEIGHT SHALL HAVE PERMANENT IRRIGATION SYSTEMS WITH BACKFLOW PREVENTION DEVICES PER U.B.C.

APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING PROJECT.

APPROVED EROSION PREVENTIVE DEVICES SHALL BE PROVIDED AND MAINTAINED DURING THE RAINY SEASON AND SHALL BE IN PLACE AT THE END OF EACH DAYS WORK.

ALL WORK SHALL CONFORM TO THE CITY AND STATE CONSTRUCTION SAFETY ORDERS.

THE LOCATION AND PROTECTION OF ALL UTILITIES IS THE RESPONSIBILITY OF THE PERMITTEE.

AN APPROVED SET OF GRADING PLANS SHALL BE ON THE JOB SITE AT ALL TIME.

SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE FROM BEGINNING TO COMPLETION OF GRADING OPERATION.

ALL SLOPES SHALL BE PLANTED AND IRRIGATION FACILITIES SHALL BE PROVIDED FOR ALL SLOPES IN EXCESS OF THREE (3) FEET VERTICAL HEIGHT WITHIN NINETY (90) DAYS AFTER COMPLETION OF ROUGH GRADING AND SHALL BE IN ACCORDANCE WITH CITY OF LAKE ELSINORE GRADING ORDINANCE NO. 882 PRIOR TO THE APPROVAL OF FINAL INSPECTION.

ANY CONTRACTOR PERFORMING WORK ON THIS PROJECT SHALL FAMILIARIZE HIMSELF WITH THE SITE AND BE SOLELY RESPONSIBLE TO ANY DAMAGE TO EXISTING FACILITIES RESULTING DIRECTLY OR INDIRECTLY FROM HIS OPERATIONS, WHETHER OR NOT SUCH FACILITIES ARE SHOWN ON THESE PLANS.

THE DESIGN ENGINEER SHALL PROVIDE A MINIMUM OF ONE (1) BLUE TOP PER FINISHED PAD, PRIOR TO ROUGH GRADE APPROVAL.

APPROXIMATE DATE OF: BEGINNING OPERATION: \_\_\_\_\_ COMPLETION: \_\_\_\_\_

- NO ROCK OR OTHER IRREDUCIBLE MATERIAL WITH A MAXIMUM DIMENSION GREATER THAN THREE INCHES (3IN) WILL BE PLACED IN FILLS WITHIN ROADBED AREAS OR THREE FEET (3FT) OF FINISH GRADES, UNLESS THE LOCATION, MATERIALS, AND DISPOSAL METHODS ARE SPECIFICALLY APPROVED BY THE SOILS ENGINEER.
- THE ENGINEER MUST SET GRADE STAKES FOR ALL DRAINAGE DEVICES AND OBTAIN INSPECTION BEFORE APPROVAL.
- GRADING PLANS WILL NOT BE APPROVED UNTIL ALL RETAINING WALLS ARE APPROVED BY THE BUILDING DEPARTMENT.
- THIS SITE HAS OBTAINED A NATIONAL POLLUTION PREVENTION ELIMINATION SYSTEM (NPDES) PERMIT TO REGULATE MUNICIPAL AND INDUSTRIAL STORM WATER DISCHARGES. NPDES WOOD # \_\_\_\_\_ DATE PERMIT ISSUED: \_\_\_\_\_
- DRAINAGE EASEMENTS WILL BE KEPT CLEAR OF ALL OBSTRUCTIONS. NO BUILDINGS OR WALLS SHALL BE PLACED WITHIN EASEMENT LIMITS. TEMPORARY IMPROVEMENTS ARE SUBJECT TO REMOVAL AT OWNER'S EXPENSE

### EROSION CONTROL NOTES

ALL EROSION CONTROL PLANS SHALL BE IN ACCORDANCE WITH CITY OF LAKE ELSINORE ORDINANCE NOS.1237, 772, 529, 1004, CONSTRUCTION SITE BEST MANAGEMENT PRACTICES (BMP'S) AND STANDARDS OUTLINED WITHIN THE LAKE ELSINORE DESIGN MANUAL. NO GRADING PERMIT SHALL BE ISSUED WITHOUT AN EROSION CONTROL PLAN APPROVED BY THE CITY ENGINEER. THE EROSION CONTROL PLAN SHALL INCLUDE DETAILS OF PROTECTIVE MEASURES, INCLUDING DESILTING BASINS OR OTHER TEMPORARY DRAINAGE OR CONTROL MEASURES, OR BOTH, AS MAY BE NECESSARY TO PROTECT THE WATER QUALITY OF RECEIVING WATER BODIES OR TO PROTECT ADJOINING PUBLIC AND PRIVATE PROPERTY FROM DAMAGE FROM EROSION, FLOODING OR THE DEPOSITION OF MUD OR DEBRIS WHICH MAY ORIGINATE FROM THE SITE OR RESULT FROM SUCH GRADING OPERATIONS. THE FOLLOWING EROSION CONTROL AND NPDES NOTES AS WORDED WITH BLANKS FILLED IN, SHALL BE PLACED ON THE PLANS:

- ALL EROSION CONTROL PLANS SHALL BE IN ACCORDANCE WITH CITY OF LAKE ELSINORE ORDINANCE NOS. 529, 772, 1237, 1004, CONSTRUCTION SITE BEST MANAGEMENT PRACTICES (BMP'S), AND STANDARDS OUTLINED WITHIN THE LAKE ELSINORE DESIGN MANUAL.
- THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR ANY DISCHARGES BY SUBCONTRACTORS.
- IN CASE OF EMERGENCY, CALL \_\_\_\_\_ (RESPONSIBLE PERSON) AT \_\_\_\_\_ (24-HOUR PHONE NUMBER).

DEVICES TO REDUCE EROSION DAMAGE SHALL NOT BE PLACED MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE QUALIFIED SWPPP DEVELOPER, CITY ENGINEER, OR IN AN EMERGENCY, BY THE PERSON RESPONSIBLE FOR GRADING OPERATIONS.

AREAS THAT ARE CLEARED AND GRADED SHALL BE LIMITED TO ONLY THE PORTION OF THE SITE THAT IS NECESSARY FOR CONSTRUCTION. THE CONSTRUCTION SITE SHALL BE MANAGED TO MINIMIZE THE EXPOSURE TIME OF DISTURBED SOIL AREAS THROUGH PHASING AND SCHEDULING OF GRADING AND THE USE OF TEMPORARY AND PERMANENT SOIL STABILIZATION.

ONCE DISTURBED, GRADED SLOPES EXCEEDING A 3:1 RATIO AND/OR TEN (10) FEET IN HEIGHT (TEMPORARY OR PERMANENT) SHALL BE STABILIZED IF THEY WILL NOT BE WORKED WITHIN 7 DAYS. DURING THE STORM SEASON, ALL SLOPES SHALL BE STABILIZED 24 HOURS PRIOR TO A PREDICTED STORM EVENT. CONSTRUCTION SITES SHALL BE REVEGETATED AS EARLY AS FEASIBLE AFTER SOIL DISTURBANCE AND WITHIN 7-DAYS OF COMPLETION.

FILL SLOPES AT THE TRACT PERMITTER MUST DRAIN AWAY FROM THE TOP OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.

THE CONTRACTOR SHALL BE RESPONSIBLE AND HAVE SIGNS POSTED ON THE SITE TO WARN AGAINST PUBLIC TRESPASS INTO AREAS WHERE WATER IS IMPOUNDED.

DUST SHALL BE CONTROLLED BY WATERING OR OTHER METHODS APPROVED BY THE CITY ENGINEER.

PLACEMENT OF DEVICES TO REDUCE EROSION DAMAGE WITHIN THE DEVELOPMENT SHALL BE SHOWN ON THE APPROVED PLAN.

DESILTING FACILITIES AT ALL DRAINAGE INLETS FOR THE GRADED SITE SHALL BE DESIGNED FOR A TWENTY-FIVE (25) YEAR, SIX (6) HOUR STORM INTENSITY. THEY MUST BE DETAILED ON THE PLANS. DESIGN AND SPECIFIC RECOMMENDATIONS SHALL BE SUBMITTED FOR THE FOLLOWING: A) DESILTING BASIN VOLUME BASED ON GRADIENT AND NATURE OF SOILS. B) THE EXTENT OF ALL GRADED AREAS AND IDENTIFICATION OF ANY TEMPORARY SOIL STABILIZATION MEASURES. C) SIZE OF DESILTING BASIN OUTLET PIPE AND OVERFLOW. D) DIKE REQUIREMENTS. SHOW MINIMUM WALL WIDTH, SLOPE OF WALLS, PERCENT COMPACTION, ETC. E) OUTLET CONDITIONS FROM THE DESILTING BASIN SHALL NOT EXCEED DOWNSTREAM LIMITATIONS, WITH THE EXCEPTION OF OVERFLOW, WHICH IS TO BE DESIGNED TO PROVIDE CAPACITY OF 1.5 TIMES THE MAXIMUM DESIGN FLOW.

NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES OR TO REPAIR ANY DAMAGED EROSION CONTROL MEASURES WHEN A 50% CHANCE OR GREATER OF RAIN WITHIN A 48 HOUR PERIOD IS FORECAST FOR LAKE ELSINORE BY THE NATIONAL OCEANIC AND ATMOSPHERIC AGENCY (NOAA).

BMP'S SHALL BE MAINTAINED AND INSPECTED DAILY TO MINIMIZE AND/OR PREVENT THE ENTRAINMENT OF SOIL IN RUNOFF FROM DISOBTURBED SOIL AREAS ON CONSTRUCTION SITES. ALL REMOVABLE PROTECTIVE EROSION CONTROL DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FOUR (4) DAY RAIN PROBABILITY FORECAST EXCEEDS FORTY PERCENT (40%).

AFTER A RAINSTORM, ALL PROJECT GENERATED SILT AND DEBRIS SHALL BE REMOVED FROM CHECK BERMS, ONSITE PUBLIC DRAINS AND PIPES, DRAINS AND PIPES OF ADJACENT PROPERTIES AND DESILTING BASINS AND THE BASINS PUMPED DRY. ANY GRADED SLOPE BMP'S DAMAGED DURING A RAINSTORM SHALL ALSO BE IMMEDIATELY REPAIRED. FAILURE TO PROVIDE EFFECTIVE MAINTENANCE MAY RESULT IN PENALTIES.

DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED.

CONSTRUCTION ACCESS POINTS SHALL BE STABILIZED WITH A COMBINATION OF ROCK AND SHAKER PLATES YEAR-ROUND TO PREVENT TRACK-OUT. ROUTINE STREET SWEEPING SHALL BE PERFORMED ON ALL PAVED STREETS WHERE TRACKING IS OBSERVED. VACUUM SWEEPERS SHALL BE USED WHEN STREET SWEEPING BECOMES INEFFECTIVE.

### NPDES / STORM WATER POLLUTION NOTES

- FOR PROJECTS THAT REQUIRE COVERAGE UNDER THE GENERAL CONSTRUCTION PERMIT, THE PROPERTY OWNER IS RESPONSIBLE FOR ENSURING THAT A QUALIFIED SWPPP PRACTITIONER (QSP) AND QUALIFIED SWPPP DEVELOPER (QSD) IMPLEMENT AND MAINTAIN THE SWPPP-APPROVED, PRE-QUALIFIED BMP'S FROM THE CALIFORNIA STORM WATER QUALITY ASSOCIATION (CASQA) HANDBOOK / WEBSITE FOR CONSTRUCTION TO RETAIN SEDIMENTS AND POLLUTANTS OF CONCERN FROM AREAS DISTURBED ONSITE TO THE MAXIMUM EXTENT PRACTICABLE DURING ANY PHASE OF CONSTRUCTION OPERATIONS. FOR ALL OTHER PROJECTS, THE PROPERTY OWNER IS RESPONSIBLE FOR ENSURING THAT BMP'S FOR CONSTRUCTION ARE IMPLEMENTED TO RETAIN SEDIMENTS AND POLLUTANTS OF CONCERN FROM AREAS DISTURBED ONSITE TO THE MAXIMUM EXTENT PRACTICABLE. THE EROSION CONTROL MEASURES INCLUDE THOSE SHOWN ON THIS PLAN AS WELL AS ANY ADDITIONAL EROSION CONTROL MEASURES DICTATED BY FIELD CONDITIONS TO PREVENT EROSION AND/OR THE INTRODUCTION OF POLLUTANTS INTO EXISTING PUBLIC STREETS AND/OR ONTO ADJACENT PROPERTIES DURING ANY PHASE OF CONSTRUCTION.
- FOR PROJECTS THAT REQUIRE COVERAGE UNDER THE GENERAL CONSTRUCTION PERMIT, THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE KEPT ON-SITE AND MADE AVAILABLE UPON REQUEST OF A REPRESENTATIVE OF THE REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) - SANTA ANA REGION AND/OR THE CITY OF LAKE ELSINORE.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORM WATER (NON-STORM WATER) ARE PROHIBITED EXCEPT AS AUTHORIZED BY AN INDIVIDUAL

NPDES PERMIT UNDER THE STATEWIDE GENERAL PERMIT CONSTRUCTION ACTIVITY.

- POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDES, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES, AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES, WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPER-CHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORM WATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.

- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITE AND MUST NOT BE DISCHARGED TO RECEIVING WATERS OR THE LOCAL STORM DRAIN SYSTEM.

- APPROPRIATE BMP'S FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED TO ELIMINATE OR REDUCE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR RUNOFF.

- MATERIAL STORAGE AND STAGING AREAS SHALL BE ESTABLISHED. FUEL TANK, PORTABLE TOILETS, LIQUIDS, GELS AND POWDERS SHALL HAVE SECONDARY CONTAINMENT AND BE STORED AWAY FROM ALL PRIVATE / PUBLIC STORM WATER CONVEYANCE SYSTEMS, SIDEWALKS, RIGHTS-OF-WAYS AND FLOW-LINES.

- ALL PORTABLE MIXERS SHALL HAVE PLASTIC LINERS UNDERNEATH WITH GRAVEL BAGS PLACES ON THE DOWN-HILL SIDE OF THE LINERS TO CONTAIN DISCHARGES.

- CONTROLLED STREET WASHING WILL ONLY BE ALLOWED PRIOR TO THE APPLICATION OF ASPHALT SEAL COATS AND ONLY WHEN ALL PERTINENT DRAINAGE INLETS ARE PROTECTED.

- ALL CONSTRUCTION CONTACTORS AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BMP'S AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.

- DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES MAY REQUIRE A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE REGIONAL WATER QUALITY CONTROL BOARD.

- STORM WATER RUNOFF SHALL NOT BE DIRECTED OVER ANY SLOPES WITHOUT PERMANENT DOWN DRAINS INSTALLED. EROSION AND SEDIMENTATION CONTROLS INCLUDING MAINTENANCE ARE REQUIRED ON ALL EXPOSED SLOPES UNTIL SUFFICIENT PERMANENT LANDSCAPING HAS BEEN ESTABLISHED. 100% SLOPE PROTECTION MUST BE IN PLACE PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.

- VEGETATION CLEARING AND BRUSHING ACTIVITIES SHALL NOT BE INITIATED DURING THE WET SEASON ON ANY SITES WHICH ARE NOT ADEQUATELY PROTECTED WITH DESILTING BASINS OR OTHER TEMPORARY DRAINAGE OR CONTROL MEASURES.

- STOCKPILES OF SOIL SHALL BE PROPERLY SECURED WITH BMP'S TO ELIMINATE OR REDUCE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES.

- STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO ELIMINATE OR REDUCE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING OR WIND. INACTIVE FOR A PERIOD OF 14-DAYS OR MORE SHALL BE COVERED; ACTIVE STOCKPILES SHALL BE COVERED PRIOR TO A FORECASTED RAIN.

- FOR PROJECT REQUIRING COVERAGE UNDER THE CONSTRUCTION GENERAL PERMIT, SPECIAL ATTENTION SHALL BE GIVEN TO PREPARATION AND INSTALLATION OF THE RAIN EVENT ACTION PLAN (REAP) AS REQUIRED BASED ON SITE RISK LEVEL OR AS MANDATED BY THE SANTA ANA REGIONAL BOARD NPDES PERMIT, GENERAL PERMIT CONSTRUCTION ACTIVITIES.

- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED OF IN COVERED TRASH OR COVERED RECYCLE BINS.

- THIS SITE HAS OBTAINED A NATIONAL POLLUTION PREVENTION ELIMINATION SYSTEM (NPDES) PERMIT TO REGULATE MUNICIPAL AND INDUSTRIAL STORM WATER DISCHARGES. NPDES WOOD # \_\_\_\_\_ DATE WOOD ISSUED: \_\_\_\_\_

- THE UNDERSIGNED CIVIL ENGINEER, A QUALIFIED QSP AND/OR QSD WILL REVIEW PLACEMENT OF EROSION CONTROL AND INSURE THAT WORK IS IN ACCORDANCE WITH THE APPROVED PLANS. (SIGNATURE) (RCE NO.) (EXP) (DATE)

### RECORD DATA \*\*

(R1) = RECORD DATA PER LOT LINE ADJUSTMENT NO. 2007-12, RECORDED MARCH 18, 2008 AS INSTRUMENT NO. 2008-0131995, OFFICIAL RECORDS

(R2) = PARCEL MAP 8914, BOOK 34, PAGE 84.

(R3) = CALTRANS R/W MAP 916532, RECORDS OF CALTRANS DISTRICT NO. 8

(DE) = MISCELLANEOUS RECORD DEED LEGAL DESCRIPTION.

### BASIS OF BEARINGS \*\*

THE BEARING NORTH 08° 01' 28" WEST FOR THE CENTERLINE OF DEXTER AVENUE AS SHOWN ON LOT LINE ADJUSTMENT NO. 2007-12 RECORDED MARCH 18, 2008 AS INSTRUMENT NO. 2008-0131995 OF MAPS, RECORDS OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

### BENCHMARK \*\*

CITY OF LAKE ELSINORE BENCHMARK NO. B-95-55  
ELEVATION = 1270.68 FEET (DEC. 1995)

CHISELED SQUARE ON TOP OF HEADWALL. FROM THE APPROXIMATE INTERSECTION OF COLLIER AVENUE AND THIRD STREET 45 FEET NORTHWESTERLY ALONG COLLIER AND 45 FEET SOUTHWESTERLY TO THE SOUTHERLY END OF HEAD WALL AT CHANNEL.

### FLOOD ZONE \*\*

COMMUNITY NUMBER: 060636 2029G EFFECTIVE DATE: AUGUST 28, 2008  
ZONE X (UNSHADED): PROPERTY NOT IN A SPECIAL FLOOD HAZARD AREA. AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

INFORMATION OBTAINED FROM CERTIFIED FLOOD SYSTEMS, INC. ON 12/8/17

### SITE AREA \*\*

SUBJECT SITE CONTAINS APPROXIMATELY:

GROSS TO P/L = 52,717 SQUARE FEET OR 1.210 ACRES

NET TO R/W = 49,872 SQUARE FEET OR 1.145 ACRES

### TITLE REPORT \*\*

THIS SURVEY AND EASEMENTS SHOWN HEREON ARE BASED ON INFORMATION CONTAINED IN THE PRELIMINARY TITLE REPORT PREPARED BY:

FIRST AMERICAN TITLE INSURANCE COMPANY  
4380 LA JOLLA VILLAGE DRIVE, SUITE 110  
SAN DIEGO, CA 92122  
(658) 410-2151

COMMITMENT NUMBER: NCS-882366-SO  
COMMITMENT DATE: NOVEMBER 27, 2017  
TITLE OFFICER: TRIKY BROWN / JANICE TREANOR

### EASEMENT NOTES \*\*

REFER TO TITLE REPORT FOR ADDITIONAL INFORMATION AND DETAILS:

- ③ ABUTTER'S RIGHTS OF INGRESS AND EGRESS TO OR FROM FREEWAY HAVE BEEN RELINQUISHED IN THE DOCUMENT RECORDED OCTOBER 10, 1978 AS INSTRUMENT NO. 213000 OF OFFICIAL RECORDS.

NOTE: SAID DOCUMENT ACCOUNTS FOR A PORTION OF RELINQUISHED ACCESS RIGHTS AS SHOWN ON THE SURVEY. RELINQUISHED ACCESS RIGHTS ALONG THE WESTERLY PARCEL 1 (R1) LINE ARE SHOWN PER CALTRANS MAP (R3).

- ④ AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED APRIL 16, 2008 AS INSTRUMENT NO. 2008-0189715 OF OFFICIAL RECORDS. IN FAVOR OF: SOUTHERN CALIFORNIA Edison COMPANY, A CORPORATION, ITS SUCCESSORS AND ASSIGNS AS DESCRIBED THEREIN.

NOTE: THE LAST COURSE OF STRIP NO. 4 IN SAID DOCUMENT APPEARS TO BE IN ERROR. THE COURSE OF NORTH 43°43'52" EAST IS PLOTTED HEREON INSTEAD OF NORTH 43°43'52" WEST AS STATED IN THE DOCUMENT. IN ORDER TO ALIGN WITH THE GIVEN DISTANCE AND CONNECTED TO STRIP NO. 5. PER THE DOCUMENT. ALSO AN EXISTING ELECTRICAL VAULT IS LOCATED OUTSIDE OF STRIP NO. 5 ALONG DEXTER PLACE.

- ⑤ THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "FREEWAY SIGN EASEMENT AGREEMENT" RECORDED APRIL 18, 2008 AS INSTRUMENT NO. 2008-0195591 OF OFFICIAL RECORDS.

NOTE: THE EXACT LOCATION OF THE FREEWAY SIGN EASEMENT CANNOT BE DETERMINED FROM THE RECORD DOCUMENT. THE SHOPPING CENTER FREEWAY PYLON SIGN IS LOCATED AT WESTERLY CORNER AS SHOWN ON THE SURVEY.

- ⑥ AN EASEMENT FOR PUBLIC STREET AND INCIDENTAL PURPOSES, RECORDED OCTOBER 09, 2008 AS INSTRUMENT NO. 2008-0546334 OF OFFICIAL RECORDS.

IN FAVOR OF: CITY OF LAKE ELSINORE, A MUNICIPAL CORPORATION, ITS SUCCESSORS AND ASSIGNS AS DESCRIBED THEREIN

- ⑦ AN OFFER OF DEDICATION FOR RIGHT OF WAY AND INCIDENTAL PURPOSES, RECORDED OCTOBER 09, 2008 AS INSTRUMENT NO. 2008-0546335 OF OFFICIAL RECORDS. TO: CITY OF LAKE ELSINORE, A MUNICIPAL CORPORATION, ITS SUCCESSORS AND ASSIGNS

ITEM(S) BELOW IS NOT LISTED IN THE SUBJECT TITLE REPORT LISTED HEREON:

- ⑧ = PROPOSED 15 FOOT PUBLIC STORM DRAIN EASEMENT, SHOWN PER CITY OF LAKE ELSINORE GRADING PLAN FOR LONESTAR STEAK HOUSE DATED NOV. 2007.

### LEGAL DESCRIPTION \*\*

REAL PROPERTY IN THE CITY OF LAKE ELSINORE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1 AS SHOWN ON NOTICE OF LOT LINE ADJUSTMENT NO. 2007-12, AS EVIDENCED BY DOCUMENT RECORDED ON MARCH 18, 2008 AS INSTRUMENT NO. 2008-000131995, OF OFFICIAL RECORDS, BEING MORE DESCRIBED AS FOLLOWS:

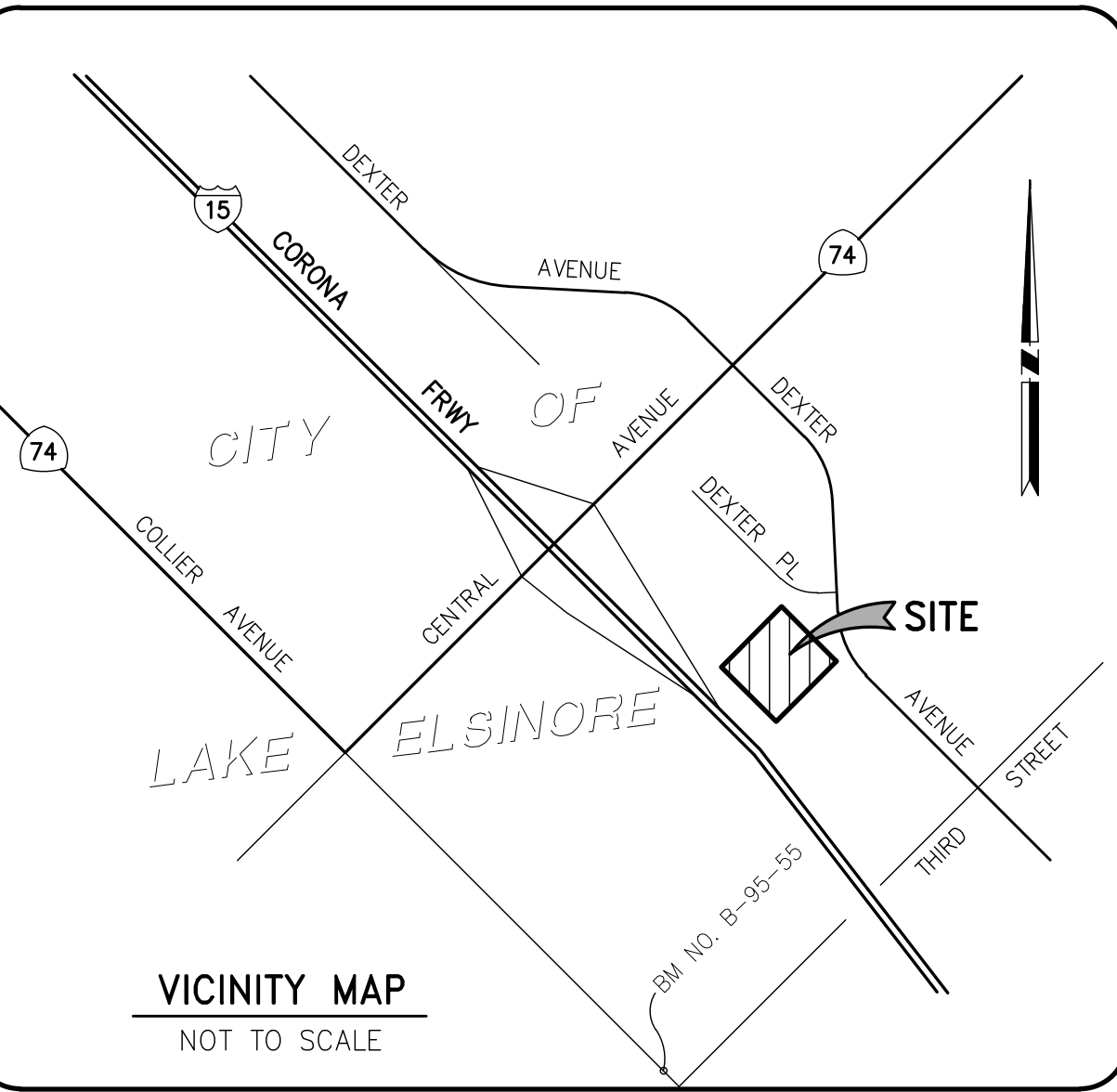
THAT PORTION OF PARCEL 3 & 4 ON RECORD OF SURVEY ON FILE IN BOOK 42, PAGE 61 OF RECORDS OF SURVEY, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

TOGETHER WITH THAT PORTION OF DEXTER AVENUE ABUTTING SAID LAND AND LYING BETWEEN THE NORTHERLY PROLONGATION OF THE NORTHWESTERLY AND THE SOUTHEASTERLY BOUNDARIES OF SAID LAND AS CONTAINED IN RESOLUTION RECORDED MAY 11, 1990 AS INSTRUMENT NO. 174610 OF OFFICIAL RECORDS.

EXCEPT THEREFROM THAT PORTION AS CONVEYED TO THE STATE OF CALIFORNIA BY DEED RECORDED OCTOBER 10, 1978 AS INSTRUMENT NO. 213000, OFFICIAL RECORDS.

BEGINNING AT THE CENTERLINE INTERSECTION OF DEXTER AVENUE AND THIRD AVENUE (OLD ALIGNMENT) AS SHOWN ON A CALTRANS RIGHT OF WAY MAP NO. 916532, RECORDS OF CALTRANS, DISTRICT NO. 8, SHOWING THIS AREA WITHIN THE CITY OF ELSINORE AREA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA. THENCE NORTH 46° 13' 18" WEST ALONG THE CENTERLINE OF DEXTER AVENUE A DISTANCE OF 246.44 FEET THENCE SOUTH 43° 46' 11" WEST 30.00 FEET TO THE NORTHEAST CORNER OF SAID PARCEL 3; THENCE NORTH 46° 13' 18" WEST 103.73 FEET ALONG SOUTHERLY RIGHT OF WAY OF DEXTER AVENUE 30 FEET WIDE AS IT NOW EXIST TO A NON-TANGENT CURVE CONCAVE NORTHEASTERLY WITH A RADIUS OF 330.00 FEET, A RADIAL LINE THROUGH SAID POINT BEAR NORTH 43° 46' 42" EAST; THENCE NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 12° 43' 37", AN ARC DISTANCE OF 73.08 FEET TO THE TRUE POINT OF BEGINNING THENCE SOUTH 57° 36' 58" WEST 34.72 FEET; THENCE SOUTH 43° 45' 11" WEST 142.98 FEET; THENCE SOUTH 58° 46' 55" WEST 49.49 FEET TO THE SOUTH WESTERLY LINE OF SAID PARCEL 3 THENCE NORTH 31° 49' 10" WEST 223.51 FEET; THENCE NORTH 43° 45' 11" EAST 150.84 FEET; THENCE NORTH 43° 43' 52" EAST 27.42 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY OF DEXTER PLACE 30.00 FEET WIDE AS IT NOW EXIST SAID POINT ON A NON-TANGENT CURVE, CONCAVE SOUTHEASTERLY, WITH A RADIUS OF 190.00 FEET, A RADIAL LINE THROUGH SAID POINT BEAR NORTH 19° 03' 05" EAST; THENCE NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 27° 04' 33", AN ARC DISTANCE OF 89.79 FEET; THENCE NORTH 81° 58' 32" EAST 5.93 FEET; THENCE NORTH 53° 01' 28" WEST 21.21 FEET TO THE WESTERLY RIGHT OF WAY OF DEXTER AVE THENCE SOUTH 08° 01' 28" EAST 14.60 FEET TO A NON TANGENT CURVE, CONCAVE SOUTHEASTERLY, WITH A RADIUS OF 330.00 FEET, A RADIAL LINE THROUGH SAID POINT BEAR NORTH 81° 58' 32" EAST THENCE SOUTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 25° 30' 13", AN ARC DISTANCE OF 146.92 FEET TO THE TRUE POINT OF BEGINNING.

APN: 377-080-084-7



### SHEET # TITLE

- |   |   |                         |
|---|---|-------------------------|
| 1 | — | TITLE SHEET             |
| 2 | — | CONCEPTUAL GRADING PLAN |
| 3 | — | CONSTRUCTION NOTES      |
| 4 | — | CONCEPTUAL UTILITY PLAN |

- |     |   |                           |
|-----|---|---------------------------|
| * 1 | — | ALTA SURVEY (TITLE SHEET) |
| * 2 | — | ALTA SURVEY (TOPO)        |
- \* FOR REFERENE ONLY

### NOTICE TO CONTRACTOR

THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ALL UTILITIES, PIPES, AND





Chick-fil-A

5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:

Mark Date By

△

Mark Date By

△

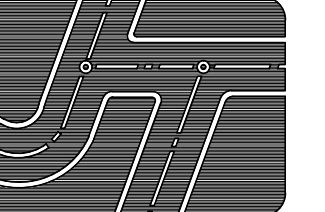
Mark Date By

△

Seal



Prepared by:



**JOSEPH C. TRUXAW  
& ASSOCIATES, INC.**

Civil Engineers and  
Land Surveyors

265 S. ANITA DRIVE, SUITE 111  
ORANGE, CA 92668  
(714) 935-0265  
(714) 935-0106 (FAX)

STORE  
CENTRAL AVENUE  
& DEXTER AVENUE

LAKE ELSINORE,  
CALIFORNIA

SHEET TITLE  
CONCEPTUAL  
GRADING  
PLAN

VERSION:  
ISSUE DATE:

Job No. : CFA06105

Store : #04261

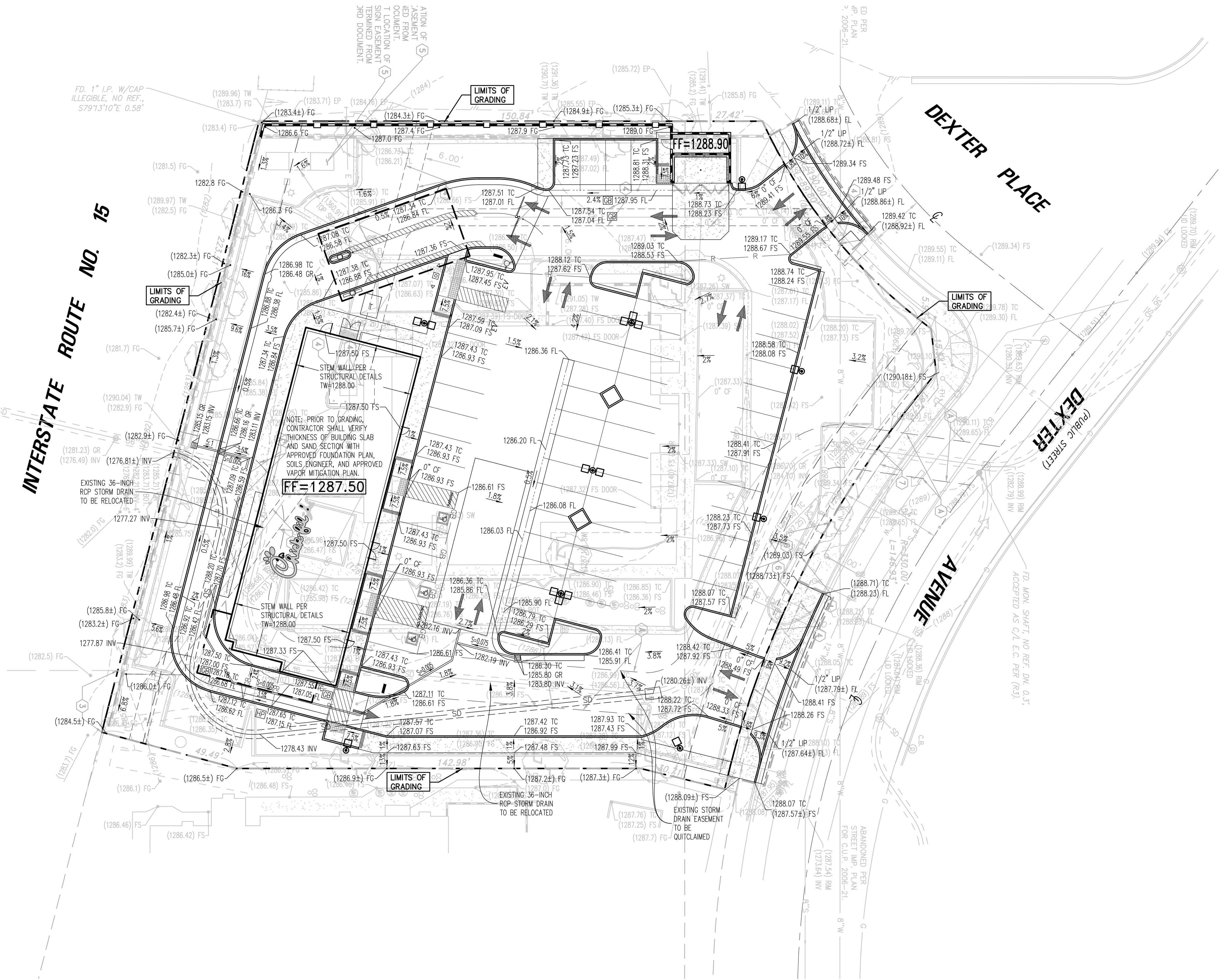
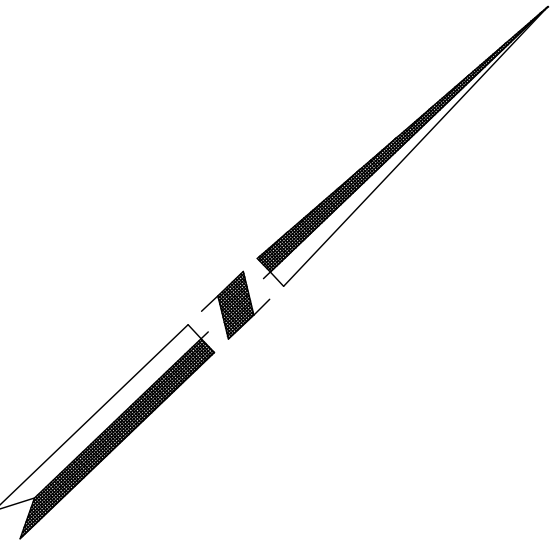
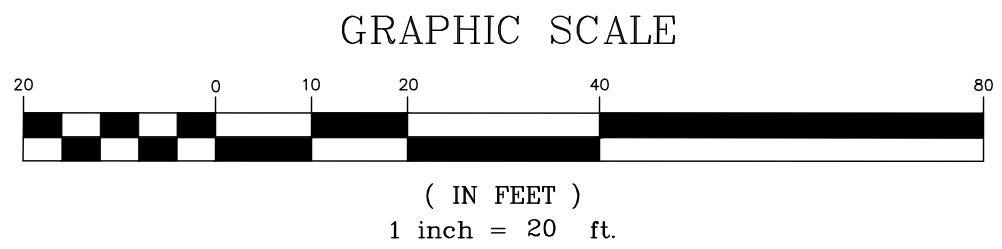
Date : 03-07-18

Drawn By : MME/GI

Checked By : SMH

Sheet

2 of 4



#### LEGEND

AB = AGGREGATE BASE  
AC = ASPHALT CONCRETE  
BFP = BACKFLOW PREVENTOR  
BLK = CONCRETE BLOCK  
BS = BACK OF SIDEWALK  
CB = CATCH BASIN  
CF = CURB FACE  
CL = CENTERLINE  
CLF = CHAIN LINK FENCE  
CO = CLEANOUT  
DS = ROOF DOWNSPOUT  
EG = EDGE OF GUTTER  
EP = EDGE OF PAVEMENT  
FD = FOUND  
FDC = FIRE DEPT. CONNECTION  
FF = FINISHED FLOOR  
FG = FINISHED GRADE  
FH = FIRE HYDRANT  
FL = FLOW LINE  
FS = FINISHED SURFACE  
GB = GRADE BREAK

GM = GAS METER  
GR = TOP OF GRATE  
GP = GAS VALVE  
HP = HIGH POINT  
HT = HEIGHT  
ICV = IRRIGATION CONTROL VALVE  
IP = IRON PIPE  
L-U = LIU UNKNOWN  
LS = LIGHT STANDARD  
L&T = LEAD & TAG  
MH = MANHOLE  
NG = NATURAL GROUND  
N&T = NAIL & TAG  
OHW = OVERHEAD WIRE  
PB = PULL BOX  
PCC = CONCRETE  
PIV = POST INDICATOR VALVE  
PL = PROPERTY LINE  
PR = PAPER RACK  
PWMT = PAVEMENT  
RD = ROOF DRAIN

RWH = REDWOOD HEADER  
SCB = SIGNAL CONTROL BOX  
SMH = SEWER MANHOLE  
SPK = SPIKE  
SW = SIDEWALK  
TE = TOP OF CURB  
TE = TRASH ENCLOSURE  
TP = TELEPHONE POLE  
TRAN = TRANSITION  
TRANS = TRANSFORMER  
TRW = TOP OF RETAINING WALL  
TW = TOP OF WALL  
UG = UNDERGROUND  
UP = UTILITY POLE  
VAR = VARIABLE  
W = WASHER  
WIF = WROUGHT IRON FENCE  
WM = WATER METER  
WV = WATER VALVE  
N = NORTH  
S = SOUTH

E. = EAST  
W. = WEST  
N'LY = NORTHERLY  
S'LY = SOUTHERLY  
E'LY = EASTERLY  
W'LY = WESTERLY  
N/O = NORTH OF  
S/O = SOUTH OF  
E/O = EAST OF  
W/O = WEST OF  
P = PROPERTY LINE  
C = CENTERLINE  
R/W = RIGHT OF WAY  
Δ = DELTA  
R = RADIUS  
L = LENGTH  
T = TANGENT  
M = MEASURED DATA  
C = CALCULATED DATA  
(RAD) = RADIAL BEARING  
PRO = PROPORTIONATE MEASUREMENT

(210.00' R) = RECORD DATA  
210.00' PRO. = MEASURED DATA  
210.00' C. = PRORATED DATA  
210.00' C. = CALCULATED DATA  
(427.00) TC = EXISTING ELEVATION  
427.00 TC = DESIGN ELEVATION  
—GATV— = CABLE TV LINE  
—E— = ELECTRICAL LINE  
—G— = GAS LINE  
—GB— = GRADE BREAK LINE  
—R— = RIDGE LINE  
—S— = SEWER LINE  
—SD— = STORM DRAIN LINE  
—T— = TELEPHONE LINE  
—W— = WATER LINE

#### SYMBOLS

—○— FIRE HYDRANT  
—○— STREET LIGHT  
—○— TRAFFIC SIGNAL  
—○— TRAFFIC SIGNAL ARM & POLE  
—○— LIGHT STANDARD  
—○— UTILITY POLE  
—○— GUY WIRE & ANCHOR  
WM WATER METER  
OM GAS METER  
WV WATER VALVE  
PB GAS VALVE  
PB PULL BOX  
GRATE INLET  
SIGN

VENT  
SEWER MANHOLE  
STORM DRAIN MANHOLE  
TELEPHONE MANHOLE  
MANHOLE  
SEWER CLEANOUT  
MONUMENT WELL  
HANDICAP PARKING STALL  
LANDSCAPED AREA  
PROTECT IN PLACE  
REMOVE AND DISPOSE OFFSITE  
PARKING ROW COUNT  
PLOTABLE EASEMENT ITEM  
NO. PER TITLE REPORT



THIS PLAN IS:  
**PRELIMINARY**  
(NOT FOR CONSTRUCTION)


#### NOTICE TO CONTRACTOR

THE CONTRACTOR SHALL ASCERTAIN THE TRUE  
VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ALL  
UTILITIES, PIPES, AND/OR STRUCTURES AND SHALL BE  
RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE  
UTILITIES, SHOWN OR NOT SHOWN HEREON.

#### IMPORTANT NOTICE

Section 4216 of the Government Code  
requires a Dig Alert Identification  
Number be issued before a  
"Permit to Excavate" will be valid.  
For your Dig Alert I.D. Number call  
Underground Service Alert  
CALL 811  
Two working days before you dig.






5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

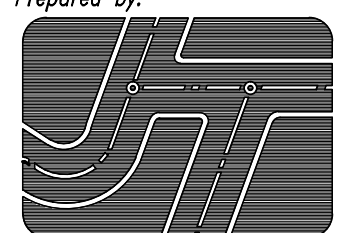
Revisions:

Mark	Date	By
△		
△		
△		
△		
△		

Seal



Prepared by:



**JOSEPH C. TRUXAW & ASSOCIATES, INC.**  
Civil Engineers and  
Land Surveyors  
265 S. ANITA DRIVE, SUITE 111  
ORANGE, CA 92668  
(714) 935-0265  
(714) 935-0106 (FAX)

STORE

CENTRAL AVENUE  
& DEXTER AVENUE

LAKE ELSINORE,  
CALIFORNIA

SHEET TITLE

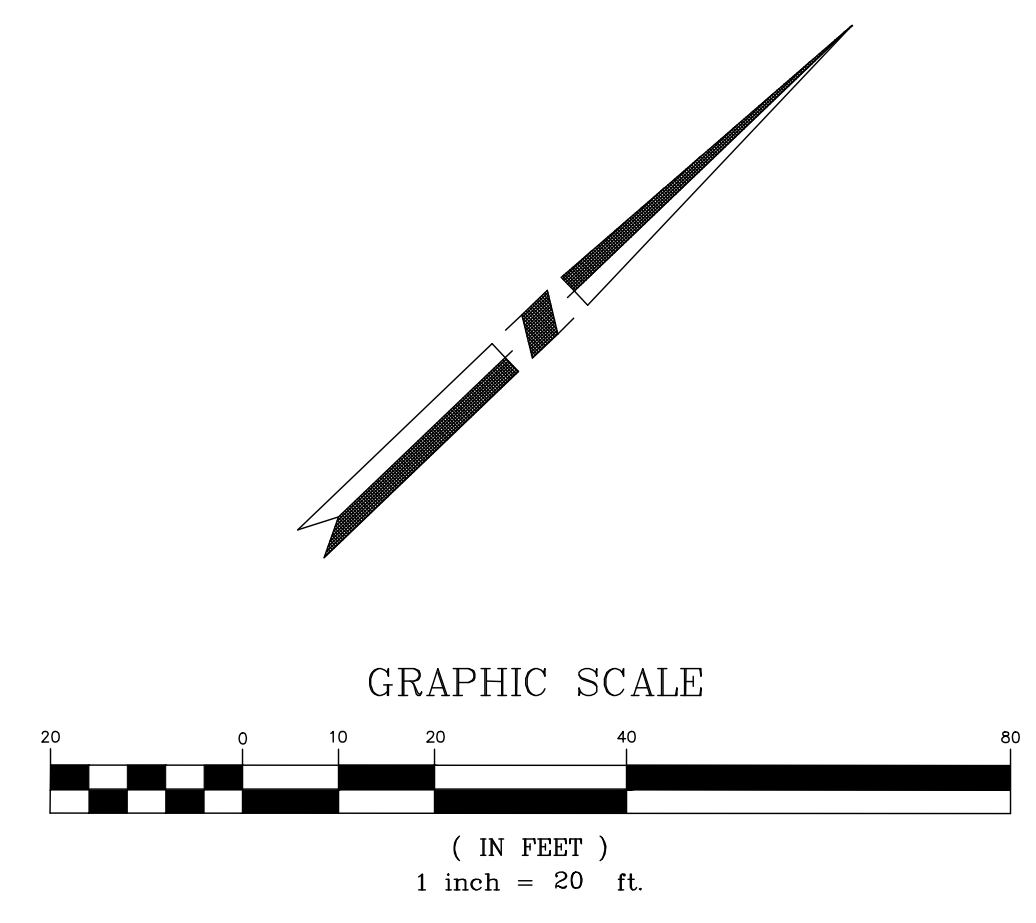
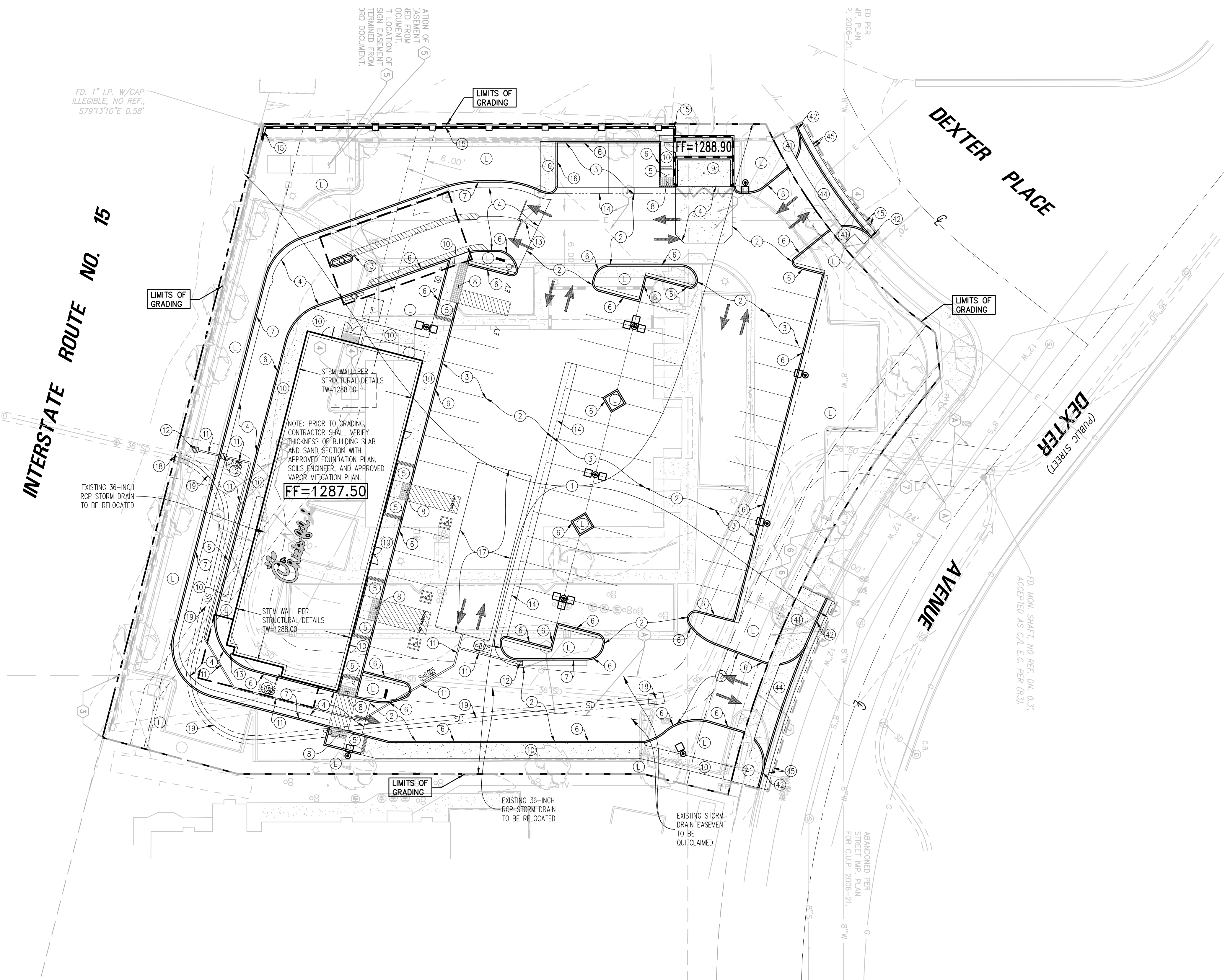
CONSTRUCTION  
NOTES

VERSION:  
ISSUE DATE:

Job No. : CFA06105  
Store : #04261  
Date : 03-07-18  
Drawn By : MME/GI  
Checked By: SMH

Sheet

3 of 4



- CONSTRUCTION NOTES**
- 1 SAWCUT & REMOVE EXIST. AC PAVING, CONCRETE CURB, ETC.
  - 2 PAVE WITH 3-INCHES AC OVER 8-INCHES AB OVER COMPACTED SUBGRADE (DRIVE LANES).
  - 3 PAVE WITH 3-INCHES AC OVER 5-INCHES AB OVER COMPACTED SUBGRADE (PARKING STALLS).
  - 4 PAVE WITH 6-INCHES PCC OVER 4-INCHES AB OVER COMPACTED SUBGRADE.
  - 5 CONSTRUCT CONCRETE ACCESSIBLE RAMP IN ACCORDANCE WITH CA TITLE 24 REQUIREMENTS, ADA GUIDELINES, CITY STANDARDS AND ARCHITECTURAL DETAILS.
  - 6 CONSTRUCT CONCRETE CURB. (6-INCH CURB HEIGHT UNLESS SHOWN OTHERWISE.)
  - 7 CONSTRUCT 6-INCH CURB & 24-INCH GUTTER.
  - 8 PLACE TRUNCATED DOMES PER ADA REQUIREMENTS.
  - 9 TRASH ENCLOSURE, CONCRETE APRON AND STORAGE ROOM PER ARCHITECTURAL DETAILS (UNDER SEPARATE PLAN CHECK AND PERMIT).
  - 10 CONSTRUCT CONCRETE SIDEWALK.
  - 11 PLACE \_\_\_\_\_-INCH SDR-35 STORM DRAIN PIPE WITH ALL NECESSARY FITTINGS AND ADAPTERS. PIPE BEDDING AND BACKFILL TO CONFORM WITH THE RECOMMENDATIONS OF THE SOILS ENGINEER.
  - 12 PLACE 24" X 24" GRATED INLET.
  - 13 PLACE BOLLARD.
  - 14 CONSTRUCT CONCRETE 48-INCH GUTTER.
  - 15 RETAINING WALL PER STRUCTURAL PLANS.
  - 16 CONSTRUCT 4-INCH ROLLED CONCRETE CURB PER CITY OF LAKE ELSINORE STD. NO. 205 AND TRANSITION PER STD. NO. 206.
  - 17 INSTALL UNDERGROUND INFILTRATION UNIT.
  - 18 CONNECT TO EXISTING 36-INCH RCP STORM DRAIN WITH CONCRETE COLLAR.
  - 19 PLACE 36-INCH RCP STORM DRAIN PIPE WITH ALL NECESSARY FITTINGS AND ADAPTERS. PIPE BEDDING AND BACKFILL TO CONFORM WITH THE RECOMMENDATIONS OF THE SOILS ENGINEER.
  - L LANDSCAPE
- \*\*\* PAVEMENT DESIGN SECTIONS PER THE RECOMMENDATIONS OF THE SOILS ENGINEER.

- OFFSITE \*\***
- 40 SAWCUT AND REMOVE CONCRETE SIDEWALK, CURB, PAVEMENT, ETC.
  - 41 CONSTRUCT CONCRETE SIDEWALK (MATCH EXISTING IN KIND)
  - 42 CONSTRUCT CURB AND GUTTER PER CITY OF LAKE ELSINORE STDS. (MATCH EXISTING IN KIND)
  - 43 TRENCHING AND PAVING PER CITY OF LAKE ELSINORE REQUIREMENTS.
  - 44 CONSTRUCT DRIVEWAY PER CITY OF LAKE ELSINORE STANDARD.
  - 45 PATCH FULL-DEPTH AC PAVEMENT (8-INCH MINIMUM THICKNESS)

**\*\*** CONTRACTOR TO APPLY FOR AND OBTAIN ENCROACHMENT PERMIT FOR IMPROVEMENTS WITHIN PUBLIC R/W

THIS PLAN IS:  
**PRELIMINARY**  
(NOT FOR CONSTRUCTION)

**NOTICE TO CONTRACTOR**

THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ALL UTILITIES, PIPES, AND/OR STRUCTURES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

**IMPORTANT NOTICE**

Section 4216 of the Government Code requires a Dig Alert identification Number be issued before a "Permit to Excavate" will be valid. For your Dig Alert I.D. Number call Underground Service Alert CALL 811 Two working days before you dig.

- LEGEND**

AB = AGGREGATE BASE	GM = GAS METER	RWH = REDWOOD HEADER	E. = EAST
AC = ASPHALT CONCRETE	GR = TOP OF GRATE	SCB = SIGNAL CONTROL BOX	W. = WEST
BFP = BACKFLOW PREVENTOR	GV = GAS VALVE	SMH = SEWER MANHOLE	N'LY = NORTHERLY
BLK = CONCRETE BLOCK	HP = HIGH POINT	SPK = SPIKE	S'LY = SOUTHERLY
BS = BACK OF SIDEWALK	HT = HEIGHT	SW = SIDEWALK	E'LY = EASTERLY
CB = CATCH BASIN	ICV = IRRIGATION CONTROL VALVE	TC = TOP OF CURB	W'LY = WESTERLY
CF = CURB FACE	IP = IRON PIPE	TE = TRASH ENCLOSURE	N/O = NORTH OF
CL = CENTERLINE	L-U = LID UNKNOWN	TP = TELEPHONE POLE	S/O = SOUTH OF
CLF = CHAIN LINK FENCE	LS = LIGHT STANDARD	TRAN = TRANSITION	E/O = EAST OF
CO = CLEANOUT	L&T = LEAD & TAG	TRANS= TRANSFORMER	W/O = WEST OF
DS = ROOF DOWNSPOUT	MH = MANHOLE	TRW = TOP OF RETAINING WALL	R = RADIUS
EG = EDGE OF GUTTER	NO = NATURAL GROUND	UC = UNDERGROUND	Δ = DELTA
EP = EDGE OF PAVEMENT	N&T = NAIL & TAG	UP = UTILITY POLE	R/W = RIGHT OF WAY
FD = FOUND	OHW = OVERHEAD WIRE	VAR = VARIABLE	△ = LENGTH
FDC = FIRE DEPT. CONNECTION	PB = PULL BOX	W = WASHER	T = TANGENT
FF = FINISHED FLOOR	POC = CONCRETE	WIF = WROUGHT IRON FENCE	M = MEASURED DATA
FG = FINISHED GRADE	PIV = POST INDICATOR VALVE	WM = WATER METER	C = CALCULATED DATA
FH = FIRE HYDRANT	PL = PROPERTY LINE	WV = WATER VALVE	(RAD)= RADIAL BEARING
FL = FLOW LINE	PVMT = PAVEMENT	N. = NORTH	PRO = PROPORTIONATE MEASUREMENT
FS = FINISHED SURFACE	RD = ROOF DRAIN	S. = SOUTH	
GB = GRADE BREAK			
- SYMBOLS**

	FIRE HYDRANT
	STREET LIGHT
	TRAFFIC SIGNAL
	TRAFFIC SIGNAL ARM & POLE
	LIGHT STANDARD
	UTILITY POLE
	GUY WIRE & ANCHOR
	WATER METER
	GAS METER
	WATER VALVE
	PULL BOX
	GRATE INLET
	SIGN

VENT

SEWER MANHOLE

STORM DRAIN MANHOLE

TELEPHONE MANHOLE

MANHOLE

SEWER CLEANOUT

MONUMENT WELL

HANDICAP PARKING STALL

LANDSCAPED AREA

PROTECT IN PLACE

REMOVE AND DISPOSE OFFSITE

PARKING ROW COUNT

PLOTTABLE EASEMENT ITEM

No. PER TITLE REPORT

PALM TREE,

TREE, SPECIES VARIES,





Chick-fil-A

5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:

Mark Date By

△

Mark Date By

△

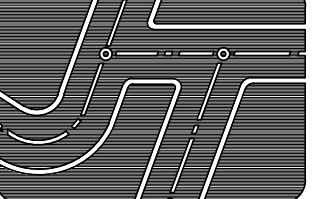
Mark Date By

△

Seal



Prepared by:



**JOSEPH C. TRUXAW  
& ASSOCIATES, INC.**

Civil Engineers and  
Land Surveyors

265 S. ANITA DRIVE, SUITE 111  
ORANGE, CA 92668  
(714) 935-0265  
(714) 935-0106 (FAX)

STORE

CENTRAL AVENUE  
& DEXTER AVENUE

LAKE ELSINORE,  
CALIFORNIA

SHEET TITLE

CONCEPTUAL  
UTILITY  
PLAN

VERSION:  
ISSUE DATE:

Job No. : CFA06105

Store : #04261

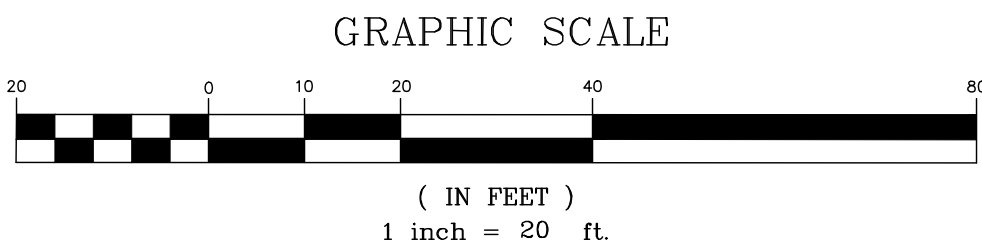
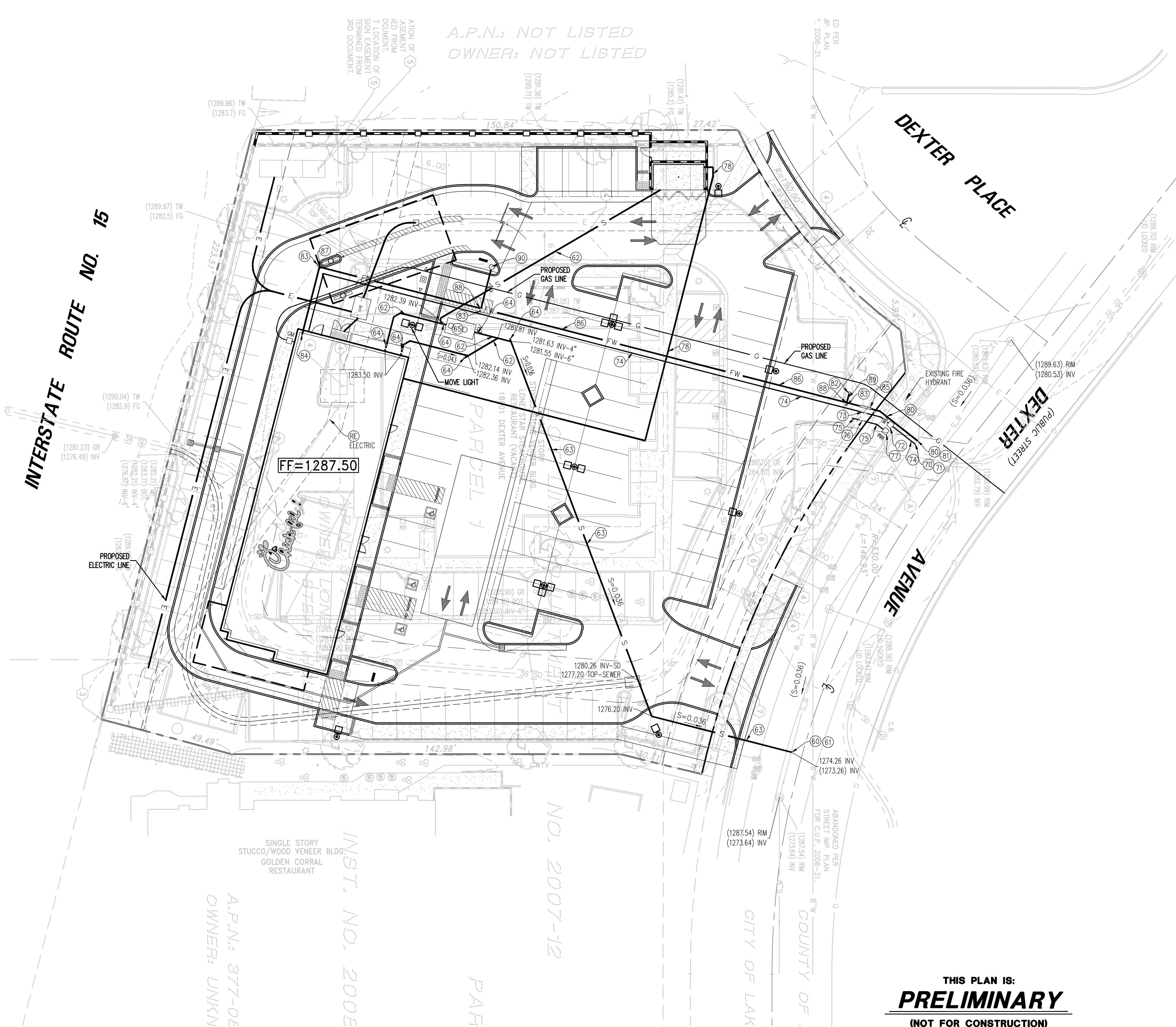
Date : 03-07-18

Drawn By : MME/GI

Checked By: SMH

Sheet

4 of 4



**CONSTRUCTION NOTES -- SEWER**

- 60 POTHOLE AND VERIFY THE EXISTENCE, LOCATION, DEPTH, MATERIAL, SIZE, AND CONDITION OF EXISTING 8" SEWER MAIN. CONTRACTOR TO SCOPE EXISTING SEWER LINE WITH CAMERA AND REPORT FINDINGS TO TRUXAW & ASSOCIATES PRIOR TO CONSTRUCTION.
- 61 CONNECT TO EXISTING SEWER LATERAL PER CPC REQUIREMENTS.
- 62 PLACE 4-INCH SDR-35 PVC SEWER PIPE PER CPC REQUIREMENTS.
- 63 PLACE 6-INCH SDR-35 PVC SEWER PIPE PER CPC REQUIREMENTS.
- 64 INSTALL CLEANOUT PER CITY OF SANTA CLARA STANDARD. SIZE TO MATCH DOWNSTREAM PIPE SIZE.
- 65 GREASE INTERCEPTOR PER PLUMBING PLANS.
- 66 INSTALL DRAIN IN TRASH ENCLOSURE.

**WATER (DOMESTIC & IRRIGATION)**

- 70 POTHOLE AND VERIFY THE EXISTENCE, LOCATION, DEPTH, MATERIAL, SIZE, AND CONDITION OF EXISTING 12" WATER MAIN. CONTRACTOR TO SCOPE EXISTING SEWER LINE WITH CAMERA AND REPORT FINDINGS TO TRUXAW & ASSOCIATES PRIOR TO CONSTRUCTION.
- 71 CONNECT TO EXISTING WATER MAIN.
- 72 INSTALL 1.5-INCH WATER METER AND CONNECT TO EXISTING WATER LINE. (DOMESTIC)
- 73 INSTALL 2-INCH REDUCED PRESSURE BACKFLOW PREVENTOR. (DOMESTIC)
- 74 PLACE 2-INCH SCH. 80 PVC WATER LINE. (DOMESTIC)
- 75 PLACE 1-INCH SCH. 80 PVC WATER LINE. (IRRIGATION)
- 76 INSTALL 1-INCH REDUCED PRESSURE BACKFLOW PREVENTOR. (IRRIGATION)
- 77 INSTALL 1-INCH WATER METER. (IRRIGATION)
- 78 INSTALL 3/4-INCH SCH. 80 WATER LINE. (TRASH ENCLOSURE)

**WATER (FIRE SERVICE)**

- 80 POTHOLE AND VERIFY THE EXISTENCE, LOCATION, SIZE, DEPTH, MATERIAL AND CONDITION OF EXISTING 12-INCH WATER MAIN. LATERAL MUST BE AT LEAST 6-INCHES TO BE ADEQUATE FOR USE. REPORT ALL FINDINGS TO TRUXAW & ASSOCIATES PRIOR TO CONSTRUCTION.
- 81 CONNECT TO EXISTING WATER MAIN PER CITY STANDARDS.
- 82 INSTALL FDC PER CITY STANDARDS.
- 83 CONSTRUCT CONCRETE THRUST BLOCK.
- 84 CONNECT TO FIRE RISER.
- 85 INSTALL DOUBLE DETECTOR CHECK PER CITY STANDARDS.
- \*\* 86 PLACE 6-INCH C-900 CL-200 PVC WATER LINE. (USE 1-PIECE STAINLESS STEEL RISER WITHIN 5 FEET OF BUILDING FOOTPRINT).
- \*\* 87 INSTALL 6-INCH 90° DUCTILE IRON ELBOW.
- \*\* 88 INSTALL 6-INCH X 4-INCH DUCTILE IRON TEE.
- \*\* 89 PLACE 4-INCH C-900 CL-200 PVC WATER LINE. (USE 1-PIECE STAINLESS STEEL RISER WITHIN 5 FEET OF BUILDING FOOTPRINT).
- \*\* 90 INSTALL FIRE HYDRANT.

\*\* FIRE PROTECTION PIPE LINE AND SPRINKLERS IN THE BUILDING TO BE DESIGNED AND PERMITTED BY SEPARATE PLANS. PRIOR TO CONSTRUCTION OF FIRE WATER SYSTEM SHOWN ON THIS PLAN, CONTRACTOR SHALL VERIFY VIA HYDRAULIC CALCULATIONS ACCEPTABLE TO THE FIRE DEPARTMENT THAT SIZE OF FIRE SERVICE & DETECTOR CHECK ARE OF SUFFICIENT SIZE TO SERVE BUILDING. (SIZE SHOWN FOR PLAN CHECK & BID PURPOSES ONLY).

**DRY UTILITIES**

PROPOSED ELECTRIC, TELEPHONE, CABLE TV, AND GAS LINES ARE SHOWN HEREON FOR COORDINATION PURPOSES. CONTRACTOR TO VERIFY POINTS OF CONNECTION AND CONSTRUCT PROPOSED SERVICE LINES IN ACCORDANCE WITH SERVICE PLANNING DOCUMENTS PREPARED BY EACH RESPECTIVE UTILITY COMPANY.

**GENERAL NOTES**

DEVELOPER TO MAINTAIN UTILITIES SERVICE AND ACCESS TO SURROUNDING PROPERTIES CONSTRUCTION.

**THIS PLAN IS:  
PRELIMINARY  
(NOT FOR CONSTRUCTION)**

**NOTICE TO CONTRACTOR**

THE CONTRACTOR SHALL ASCERTAIN THE TRUE VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ALL UTILITIES, PIPES, AND/OR STRUCTURES AND SHALL BE RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE UTILITIES, SHOWN OR NOT SHOWN HEREON.

**IMPORTANT NOTICE**

Section 4216 of the Government Code requires a Dig Alert Identification Number be issued before a "Permit to Excavate" will be valid. For your Dig Alert I.D. Number call Underground Service Alert CALL 811 Two working days before you dig.



TITLE REPORT

THIS SURVEY AND EASEMENTS SHOWN HEREON ARE BASED ON INFORMATION CONTAINED IN THE PRELIMINARY TITLE REPORT PREPARED BY:

FIRST AMERICAN TITLE INSURANCE COMPANY  
4380 LA JOLLA VILLAGE DRIVE, SUITE 110  
SAN DIEGO, CA 92122  
(858) 410-2151

COMMITMENT NUMBER: NCS-882366-SD  
COMMITMENT DATE: NOVEMBER 27, 2017  
TITLE OFFICER: TRIXY BROWN / JANICE TREANOR

LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF LAKE ELSINORE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

PARCEL 1 AS SHOWN ON NOTICE OF LOT LINE ADJUSTMENT NO. 2007-12, AS EVIDENCED BY DOCUMENT RECORDED ON MARCH 18, 2008 AS INSTRUMENT NO. 2008-000131995, OF OFFICIAL RECORDS, BEING MORE DESCRIBED AS FOLLOWS:

THAT PORTION OF PARCEL 3 & 4 ON RECORD OF SURVEY ON FILE IN BOOK 42, PAGE 61 OF RECORDS OF SURVEY, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

TOGETHER WITH THAT PORTION OF DEXTER AVENUE ABUTTING SAID LAND AND LYING BETWEEN THE NORTHERLY PROLONGATION OF THE NORTHWESTERLY AND THE SOUTHEASTERLY BOUNDARIES OF SAID LAND AS CONTAINED IN RESOLUTION RECORDED MAY 11, 1990 AS INSTRUMENT NO. 174610 OF OFFICIAL RECORDS.

EXCEPT THEREFROM THAT PORTION AS CONVEYED TO THE STATE OF CALIFORNIA BY DEED RECORDED OCTOBER 10, 1978 AS INSTRUMENT NO. 213000, OFFICIAL RECORDS.

BEGINNING AT THE CENTERLINE INTERSECTION OF DEXTER AVENUE AND THIRD AVENUE (OLD ALIGNMENT) AS SHOWN ON A CALTRANS RIGHT OF WAY MAP NO. 916532, RECORDS OF CALTRANS, DISTRICT NO. 8, SHOWING THIS AREA WITHIN THE CITY OF ELSINORE AREA, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA. THENCE NORTH 46° 13' 18" WEST ALONG THE CENTERLINE OF DEXTER AVENUE A DISTANCE OF 246.44 FEET THENCE SOUTH 43° 46' 11" WEST 30.00 FEET TO THE NORTHEAST CORNER OF SAID PARCEL 3; THENCE NORTH 46° 13' 18" WEST 103.73 FEET ALONG SOUTHERLY RIGHT OF WAY OF DEXTER AVENUE 30 FEET WIDE AS IT NOW EXIST TO A NON-TANGENT CURVE, CONCAVE NORTHEASTERLY WITH A RADIUS OF 330.00 FEET, A RADIAL LINE THROUGH SAID POINT BEAR NORTH 43° 46' 42" EAST; THENCE NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 12° 43' 37", AN ARC DISTANCE OF 73.08 FEET TO THE TRUE POINT OF BEGINNING THENCE SOUTH 57° 36' 58" WEST 34.72 FEET; THENCE SOUTH 43° 45' 11" WEST 142.98 FEET; THENCE SOUTH 58° 46' 55" WEST 49.49 FEET TO THE SOUTH WESTERLY LINE OF SAID PARCEL 3 THENCE NORTH 31° 49' 10" WEST 223.51 FEET; THENCE NORTH 43° 45' 11" EAST 150.84 FEET; THENCE NORTH 43° 43' 52" EAST 27.42 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY OF DEXTER PLACE 30.00 FEET WIDE AS IT NOW EXIST SAID POINT ON A NON-TANGENT CURVE, CONCAVE SOUTHEASTERLY, WITH A RADIUS OF 190.00 FEET, A RADIAL LINE THROUGH SAID POINT BEAR NORTH 19° 03' 05" EAST; THENCE NORTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 27° 04' 33", AN ARC DISTANCE OF 89.79 FEET; THENCE NORTH 81° 58' 32" EAST 5.93 FEET; THENCE NORTH 53° 01' 28" WEST 21.21 FEET TO THE WESTERLY RIGHT OF WAY OF DEXTER AVE THENCE SOUTH 08° 01' 28" EAST 14.60 FEET TO A NON TANGENT CURVE, CONCAVE SOUTHEASTERLY, WITH A RADIUS OF 330.00 FEET, A RADIAL LINE THROUGH SAID POINT BEAR NORTH 81° 58' 32" EAST THENCE SOUTHERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 25° 30' 13", AN ARC DISTANCE OF 146.92 FEET TO THE TRUE POINT OF BEGINNING.

APN: 377-080-084-7

EASEMENT NOTES

REFER TO TITLE REPORT FOR ADDITIONAL INFORMATION AND DETAILS:

1-2 ITEMS THAT DEAL WITH TAXES.

③ ABUTTER'S RIGHTS OF INGRESS AND EGRESS TO OR FROM FREEWAY HAVE BEEN RELINQUISHED IN THE DOCUMENT RECORDED OCTOBER 10, 1978 AS INSTRUMENT NO. 213000 OF OFFICIAL RECORDS.

NOTE: SAID DOCUMENT ACCOUNTS FOR A PORTION OF RELINQUISHED ACCESS RIGHTS AS SHOWN ON THE SURVEY. RELINQUISHED ACCESS RIGHTS ALONG THE WESTERLY PARCEL 1 (R1) LINE ARE SHOWN PER CALTRANS MAP (R3).

④ AN EASEMENT FOR PUBLIC UTILITIES AND INCIDENTAL PURPOSES, RECORDED APRIL 16, 2008 AS INSTRUMENT NO. 2008-0189715 OF OFFICIAL RECORDS. IN FAVOR OF: SOUTHERN CALIFORNIA EDISON COMPANY, A CORPORATION, ITS SUCCESSORS AND ASSIGNS AS DESCRIBED THEREIN AFFECTS:

NOTE: THE LAST COURSE OF STRIP NO. 4 IN SAID DOCUMENT APPEARS TO BE IN ERROR. THE COURSE OF NORTH 43°43'52" EAST IS PLOTTED HEREON INSTEAD OF NORTH 43°43'52" WEST AS STATED IN THE DOCUMENT, IN ORDER TO ALIGN WITH THE GIVEN DISTANCE AND CONNECTED TO STRIP NO. 5. PER THE DOCUMENT, ALSO AN EXISTING ELECTRICAL VAULT IS LOCATED OUTSIDE OF STRIP NO. 5 ALONG DEXTER PLACE.

⑤ THE TERMS, PROVISIONS AND EASEMENT(S) CONTAINED IN THE DOCUMENT ENTITLED "FREEWAY SIGN EASEMENT AGREEMENT" RECORDED APRIL 18, 2008 AS INSTRUMENT NO. 2008-0195591 OF OFFICIAL RECORDS.

NOTE: THE EXACT LOCATION OF THE FREEWAY SIGN EASEMENT CANNOT BE DETERMINED FROM THE RECORD DOCUMENT. THE SHOPPING CENTER FREEWAY PYLON SIGN IS LOCATED AT WESTERLY CORNER AS SHOWN ON THE SURVEY.

⑥ AN EASEMENT FOR PUBLIC STREET AND INCIDENTAL PURPOSES, RECORDED OCTOBER 09, 2008 AS INSTRUMENT NO. 2008-0546334 OF OFFICIAL RECORDS. IN FAVOR OF: CITY OF LAKE ELSINORE, A MUNICIPAL CORPORATION, ITS SUCCESSORS AND ASSIGNS AS DESCRIBED THEREIN AFFECTS:

⑦ AN OFFER OF DEDICATION FOR RIGHT OF WAY AND INCIDENTAL PURPOSES, RECORDED OCTOBER 09, 2008 AS INSTRUMENT NO. 2008-0546335 OF OFFICIAL RECORDS. TO: CITY OF LAKE ELSINORE, A MUNICIPAL CORPORATION, ITS SUCCESSORS AND ASSIGNS

8 A DEED OF TRUST TO SECURE AN ORIGINAL INDEBTEDNESS OF \$1,280,000.00 RECORDED JUNE 26, 2014 AS INSTRUMENT NO. 2014-234566 OF OFFICIAL RECORDS. DATED: JUNE 12, 2014 FU-TSAN CHEN AND REYNA CHEN, HUSBAND AND WIFE, AS TRUSTOR: JOINT TENANTS TRUSTEE: EAST WEST INVESTMENT INC., A CALIFORNIA CORPORATION BENEFCIARY: EAST WEST BANK

A DOCUMENT ENTITLED "ASSIGNMENT OF RENTS" RECORDED JUNE 26, 2014 AS INSTRUMENT NO. 2014-234567 OF OFFICIAL RECORDS, AS ADDITIONAL SECURITY FOR THE PAYMENT OF THE INDEBTEDNESS SECURED BY THE DEED OF TRUST.

NOTE: SAID DOCUMENTS ARE NON-SURVEY ITEMS AND NOT PLOTTED HEREON.

9 ANY CLAIM THAT THE TITLE IS SUBJECT TO A TRUST OR LIEN CREATED UNDER THE PERISHABLE AGRICULTURAL COMMODITIES ACT, 1930 (7 U.S.C. §§499A, ET SEQ.) OR THE PACKERS AND STOCKYARDS ACT (7 U.S.C. §§181 ET SEQ.) OR UNDER SIMILAR STATE LAWS.

10 AN ALTA/NSPS SURVEY OF RECENT DATE WHICH COMPLIES WITH THE CURRENT MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS.

11 ANY FACTS, RIGHTS, INTERESTS OR CLAIMS WHICH WOULD BE DISCLOSED BY A CORRECT ALTA/NSPS SURVEY.

12 RIGHTS OF PARTIES IN POSSESSION.

ITEM(S) BELOW IS NOT LISTED IN THE SUBJECT TITLE REPORT LISTED HEREON:

Ⓐ = PROPOSED 15 FOOT PUBLIC STORM DRAIN EASEMENT, SHOWN PER CITY OF LAKE ELSINORE GRADING PLAN FOR LONESTAR STEAK HOUSE DATED NOV. 2007.

RECORD DATA

(R1) = RECORD DATA PER LOT LINE ADJUSTMENT NO. 2007-12, RECORDED MARCH 18, 2008 AS INSTRUMENT NO. 2008-0131995, OFFICIAL RECORDS

(R2) = PARCEL MAP 8914, BOOK 34, PAGE 84.

(R3) = CALTRANS R/W MAP 916532, RECORDS OF CALTRANS DISTRICT NO. 8

(DE) = MISCELLANEOUS RECORD DEED LEGAL DESCRIPTION.

SITE AREA

SUBJECT SITE CONTAINS APPROXIMATELY:

GROSS TO P/L = 52,717 SQUARE FEET OR 1.210 ACRES

NET TO R/W = 49,872 SQUARE FEET OR 1.145 ACRES

PARKING COUNT

88 STRIPED PARKING STALLS LIE WITHIN THE SUBJECT SITE PROPERTY LINES (INCLUDES 4 HANDICAP STALLS)

FLOOD ZONE

COMMUNITY NUMBER: 060636 2029G EFFECTIVE DATE: AUGUST 28, 2008 ZONE X (UNSHADED); PROPERTY NOT IN A SPECIAL FLOOD HAZARD AREA, AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

INFORMATION OBTAINED FROM CERTIFIED FLOOD SYSTEMS, INC. ON 12/8/17

BENCHMARK

CITY OF LAKE ELSINORE BENCHMARK NO. B-95-55 ELEVATION = 1270.68 FEET (DEC. 1995)

CHISELED SQUARE ON TOP OF HEADWALL. FROM THE APPROXIMATE INTERSECTION OF COLLIER AVENUE AND THIRD STREET 45 FEET NORTHWESTERLY ALONG COLLIER AND 45 FEET SOUTHWESTERLY TO THE SOUTHERLY END OF HEAD WALL AT CHANNEL.

BASIS OF BEARINGS

THE BEARING NORTH 08° 01' 28" WEST FOR THE CENTERLINE OF DEXTER AVENUE AS SHOWN ON LOT LINE ADJUSTMENT NO. 2007-12 RECORDED MARCH 18, 2008 AS INSTRUMENT NO. 2008-0131995 OF MAPS, RECORDS OF THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

SITE PLANNING DATA

SITE INVESTIGATION REPORT WAS NOT AVAILABLE AT THE TIME OF THIS SURVEY. INFORMATION BELOW IS PRELIMINARY PER 4G DEVELOPMENT RESEARCH.

ZONING: C-2 (GENERAL COMMERCIAL), REQUIRES C.U.P.

SETBACKS: (LANDSCAPE AND BUILDING)

NORTH = 0 FT.; SOUTH = 0 FT.;  
EAST = AVERAGE 20 FT. (MINIMUM 15 FT.)  
WEST = AVERAGE 20 FT. (MINIMUM 15 FT.)

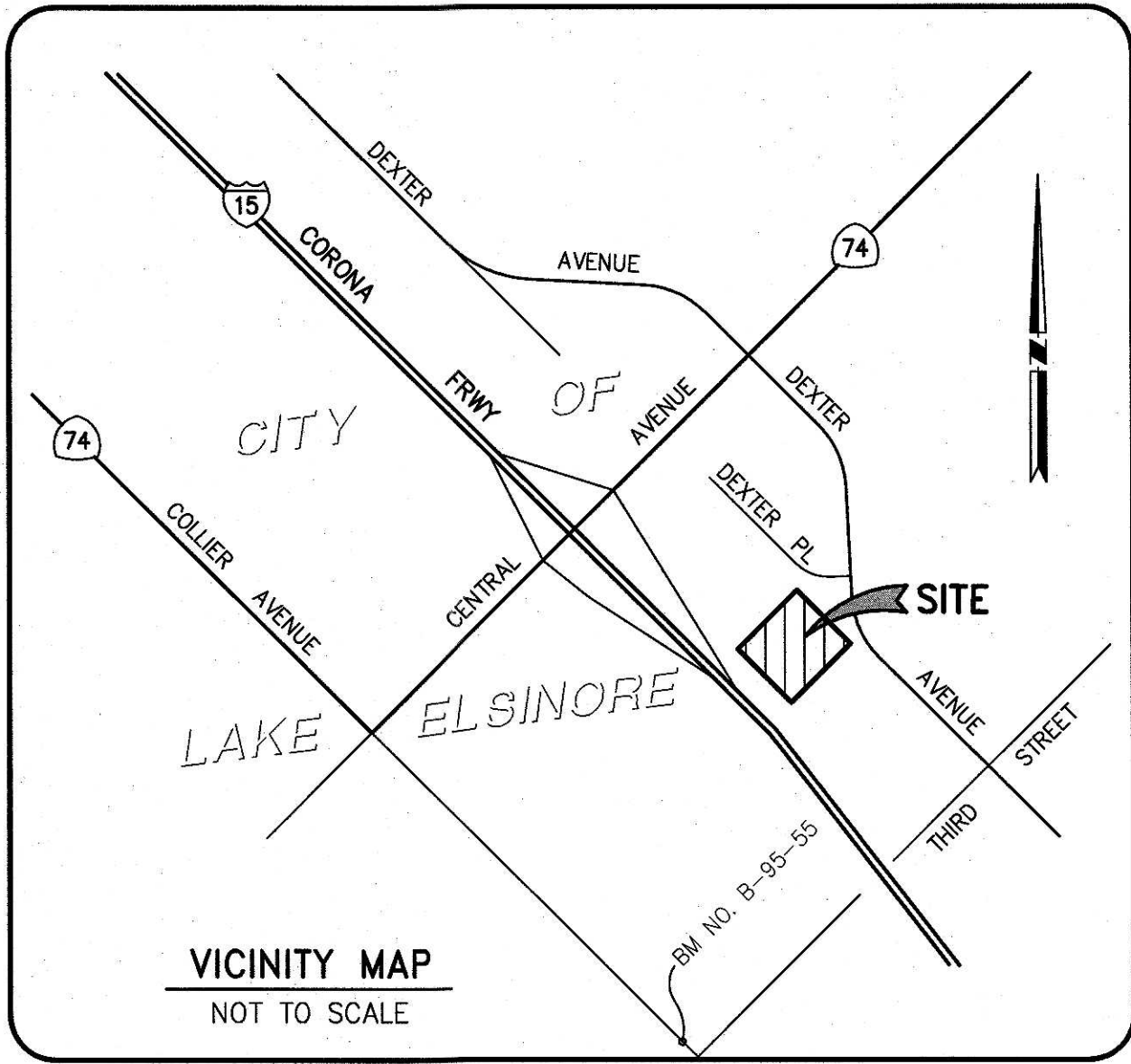
MAXIMUM BUILDING HEIGHT: 45 FT.

UTILITY PROVIDERS

SEWER.....ELSNORE VALLEY MUNICIPAL WATER DISTRICT, 31315 CHANEY STREET, LAKE ELSINORE 92530, CHRISTINA BACHINSKI (951) 674-3146 x8427  
WATER.....ELSNORE VALLEY MUNICIPAL WATER DISTRICT, 31315 CHANEY STREET, LAKE ELSINORE 92530, CHRISTINA BACHINSKI (951) 674-3146 x8427  
STORM DRAIN.....CITY OF LAKE ELSINORE, 130 S. MAIN STREET, LAKE ELSINORE 92530, RITA THOMPSON (951) 674-3121 x308  
+ GAS.....SO. CALIF. GAS CO., 1981 W. LUGONIA AVENUE, REDLANDS 92374, ROBERT FIGUEROA (909) 335-7755  
ELECTRIC.....SO. CALIF. EDISON, 24487 PRIELIPP DRIVE, WILDOMAR 92595, SCE PLANNING SUPERVISOR (951) 249-8301  
CABLE.....CHARTER COMMUNICATIONS, 560 S. PROMENADE AVE. #102, CORONA 92879, KEITH KLUMP (951) 547-3831  
+ PHONE.....

ROADWAY.....CITY OF LAKE ELSINORE, 130 S. MAIN STREET, LAKE ELSINORE 92530, RITA THOMPSON (951) 674-3124 x308  
ROADWAY.....COUNTY OF RIVERSIDE TRANSPORTATION DEPT., 4080 LEMON ST. 3RD FLOOR, RIVERSIDE 92501, (951) 955-6880

+ AGENCY RECORD INFORMATION NOT AVAILABLE AT THE TIME OF THIS SURVEY.



SURVEYOR'S NOTES

- IT IS NOT WITHIN THE PURVIEW OF THIS SURVEYOR TO MAKE DETERMINATIONS OF OWNERSHIP. AS TO "ENCROACHMENTS" SPECIFICALLY, NO INFERENCE TO SUCH DETERMINATION IS INTENDED OR IMPLIED.
- LOCATIONS OF UNDERGROUND UTILITIES / STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES / STRUCTURES MAY EXIST. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES / STRUCTURES. THE LOCATIONS OF UNDERGROUND FEATURES SHOWN HEREON ARE PLOTTED FROM AVAILABLE RECORD INFORMATION AND VISIBLE SURFACE INDICATIONS. BEFORE ANY EXCAVATIONS ARE PERFORMED, UTILITY PURVEYORS SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FIELD LOCATIONS.
- VEHICULAR ACCESS TO THE "SUBJECT SITE" IS CURRENTLY FROM A DRIVE ENTRANCE ALONG DEXTER AVENUE.
- ALL MATTERS SHOWN ON RECORDED PLATS LISTED IN RECORD DATA HEREON THAT ARE PERTINENT TO THE SURVEY OF THE SUBJECT SITE ARE SHOWN ON THIS ALTA SURVEY HEREON.
- AT THE TIME OF SURVEY NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR ADDITIONS WERE OBSERVED ON THE SUBJECT SITE.
- NO RECENT CHANGES IN STREET RIGHTS-OF-WAY OR STREET CONSTRUCTION OR REPAIRS WERE OBSERVED AT THE TIME OF SURVEY. ON-SITE PARKING AND DRIVE LANE LIE WITHIN THE DEXTER AVENUE RIGHT-OF-WAY SHOWN AT 50 FEET OFFSET FROM THE CENTERLINE.
- NO VISIBLE EVIDENCE WAS OBSERVED THAT THE SITE IS BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL AT THE TIME OF SURVEY.

SURVEY CERTIFICATION

TO: CHICK-FIL-A, INC. AND FIRST AMERICAN TITLE INSURANCE COMPANY,

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6(c), 7(a)(b1), 8, 9, 11, 13, 16 & 17 OF "TABLE A" THEREOF. THE FIELD WORK WAS COMPLETED ON DECEMBER 12, 2017.

THIS CERTIFICATION IS SUBMITTED PURSUANT TO SECTION 8770.6 OF THE PROFESSIONAL LAND SURVEYORS ACT, BUSINESS AND PROFESSIONS CODE, STATE OF CALIFORNIA.

STEPHEN M. HAGER  
REGISTERED LAND SURVEYOR NO. 6161

1-4-18  
DATE



Chick-fil-A

5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:

Mark Date By



Mark Date By

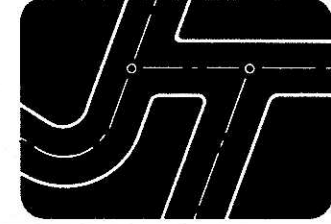


Mark Date By



Seal

Prepared by:



JOSEPH C. TRUXAW  
& ASSOCIATES, INC.

Civil Engineers and  
Land Surveyors

265 S. ANITA DRIVE, SUITE 111  
ORANGE, CA 92668  
(714) 935-0265  
(714) 935-0106 (FAX)

STORE

CENTRAL AVENUE  
& DEXTER AVENUE

LAKE ELSINORE,  
CALIFORNIA

SHEET TITLE

ALTA/NSPS LAND  
TITLE SURVEY

VERSION:

ISSUE DATE:

Job No. : CFA06105

Store : #04261

Date : 01-04-18

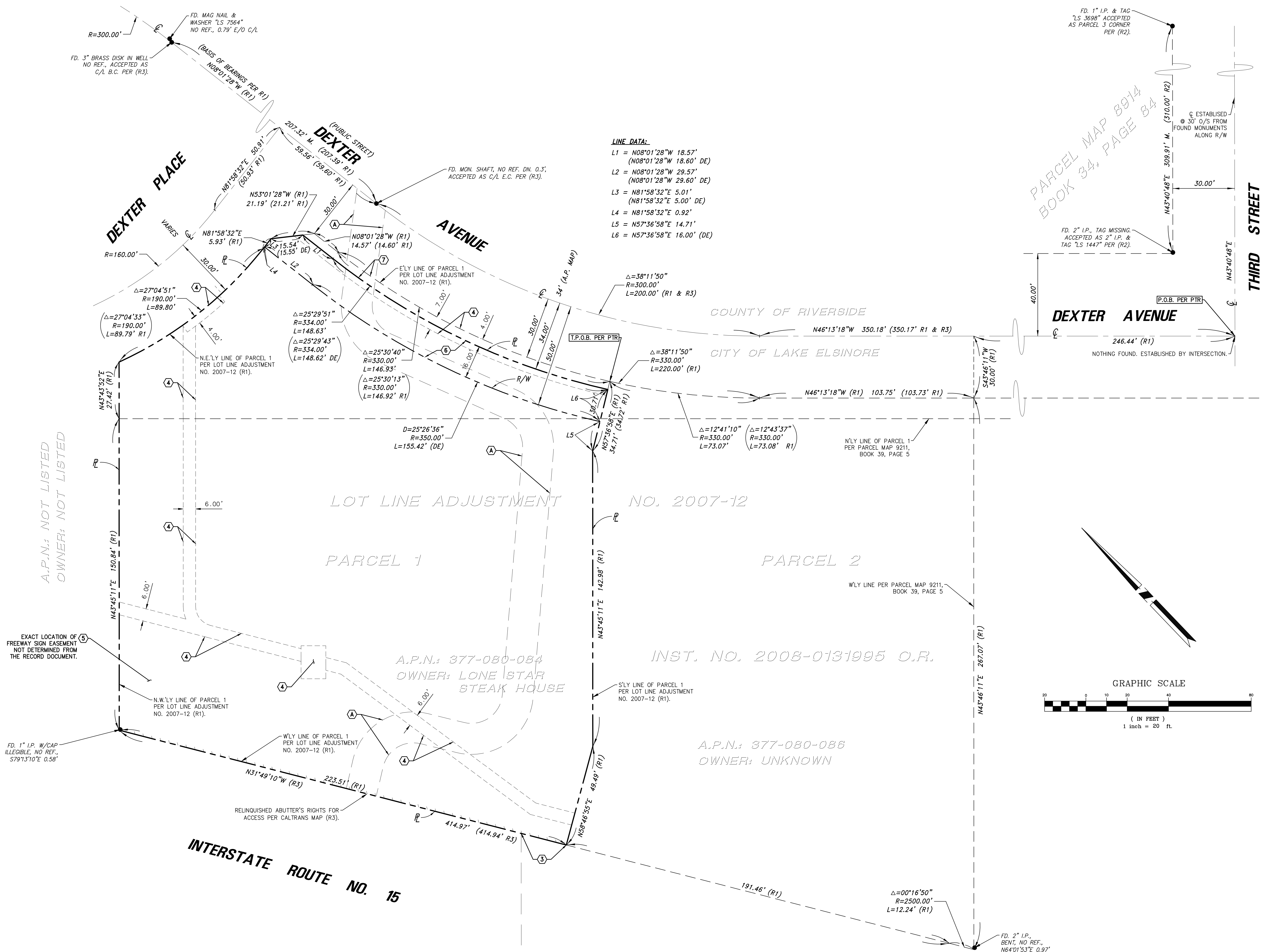
Drawn By : SDS

Checked By: SMH

Sheet

1 of 3





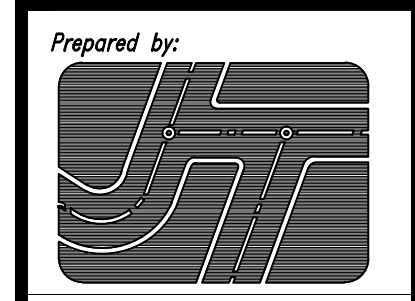
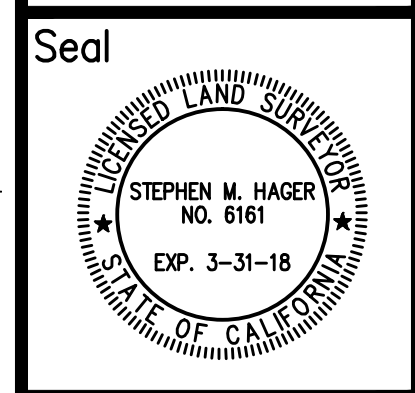
**LINE DATA:**  
L1 = N08°01'28"W 18.57'  
(N08°01'28"W 18.60' DE)  
L2 = N08°01'28"W 29.57'  
(N08°01'28"W 29.60' DE)  
L3 = N81°58'32"E 5.01'  
(N81°58'32"E 5.00' DE)  
L4 = N81°58'32"E 0.92'  
L5 = N57°36'58"E 14.71'  
L6 = N57°36'58"E 16.00' (DE)

PARCEL MAP 8914  
BOOK 34, PAGE 84



5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:	Mark	Date	By
	△		
	△		
	△		



**JOSEPH C. TRUXAW  
& ASSOCIATES, INC.**  
Civil Engineers and  
Land Surveyors  
265 S. ANITA DRIVE, SUITE 111  
ORANGE, CA 92668  
(714) 935-0265  
(714) 935-0106 (FAX)

STORE  
CENTRAL AVENUE  
& DEXTER AVENUE  
LAKE ELSINORE,  
CALIFORNIA

SHEET TITLE  
ALTA/NSPS LAND  
TITLE SURVEY

VERSION:  
ISSUE DATE:

Job No. : CFA06105  
Store : #04261  
Date : 01-04-18  
Drawn By : SDS  
Checked By : SMH



REFER TO SHEET 2 FOR MONUMENTS AND BOUNDARY DETAILS



Chick-fil-A

5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:

Mark Date By

△

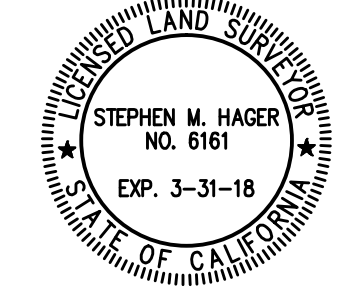
Mark Date By

△

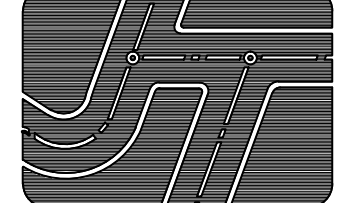
Mark Date By

△

Seal



Prepared by:



**JOSEPH C. TRUXAW  
& ASSOCIATES, INC.**

Civil Engineers and  
Land Surveyors

265 S. ANITA DRIVE, SUITE 111  
ORANGE, CA 92668  
(714) 935-0265  
(714) 935-0106 (FAX)

STORE

CENTRAL AVENUE  
& DEXTER AVENUE

LAKE ELSINORE,  
CALIFORNIA

SHEET TITLE  
ALTA/NSPS LAND  
TITLE SURVEY

VERSION:  
ISSUE DATE:

Job No. : CFA06105

Store : #04261

Date : 01-04-18

Drawn By : SDS

Checked By : SMH

Sheet

3 of 3

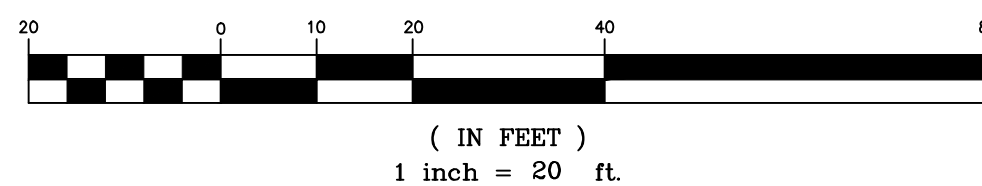
NOTICE TO CONTRACTOR

THE CONTRACTOR SHALL ASCERTAIN THE TRUE  
VERTICAL AND HORIZONTAL LOCATION AND SIZE OF ALL  
UTILITIES, PIPES, AND/OR STRUCTURES AND SHALL BE  
RESPONSIBLE FOR DAMAGE TO ANY PUBLIC OR PRIVATE  
UTILITIES, SHOWN OR NOT SHOWN HEREON.

IMPORTANT NOTICE

State Law (SB 3019)  
requires a Dig Alert Identification  
Number be issued before a  
"Permit to Excavate" will be valid.  
For your Dig Alert I.D. Number call  
Underground Service Alert  
TOLL FREE 1-800-227-2800  
Two working days before you dig.

GRAPHIC SCALE



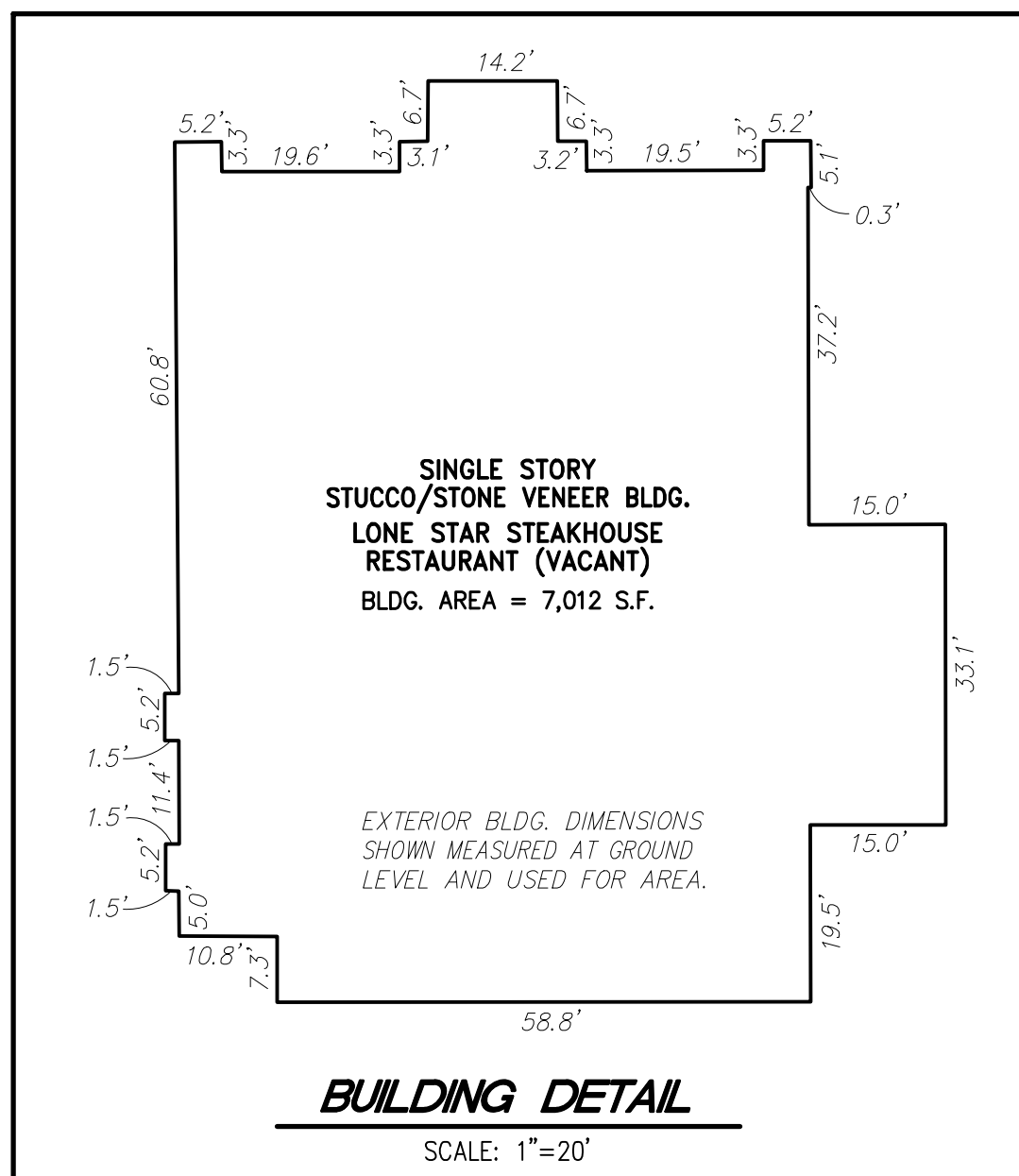
LEGEND

AC = ASPHALT CONCRETE  
BFP = BACKFLOW PREVENTOR  
BLK = CONCRETE BLOCK  
BS = BACK OF SIDEWALK  
CB = CATCH BASIN  
CF = CURB FACE  
CL = CENTERLINE  
CLF = CHAIN LINK FENCE  
CO = CLEANOUT  
DCV = DETECTOR CHECK VALVE  
DS = ROOF DOWNSPOUT  
EG = EDGE OF GUTTER  
EP = EDGE OF PAVEMENT  
FD = FOUND  
FDC = FIRE DEPT. CONNECTION  
FF = FINISHED FLOOR  
FG = FINISHED GRADE  
FH = FIRE HYDRANT  
FL = FLOW LINE  
FS = FINISHED SURFACE  
GB = GRADE BREAK  
GM = GAS METER  
GR = TOP OF GRATE  
GV = GAS VALVE  
HP = HIGH POINT  
HT = HEIGHT  
ICV = IRRIGATION CONTROL VALVE  
IP = IRON PIPE  
LS = LIGHT STANDARD  
L&T = LEAD & TAG  
MH = MANHOLE  
NG = NATURAL GROUND  
N&T = NAIL & TAG  
OHW = OVERHEAD WIRE  
PB = PULL BOX  
PCC = CONCRETE  
PIV = POST INDICATOR VALVE  
PL = PROPERTY LINE  
RD = ROOF DRAIN  
RWH = REDWOOD HEADER  
SCB = SIGNAL CONTROL BOX  
SMH = SEWER MANHOLE  
SPK = SPIKE  
SW = SIDEWALK  
TC = TOP OF CURB  
TE = TRASH ENCLOSURE  
TP = TELEPHONE POLE  
TRAN = TRANSITION  
TRANS = TRANSFORMER

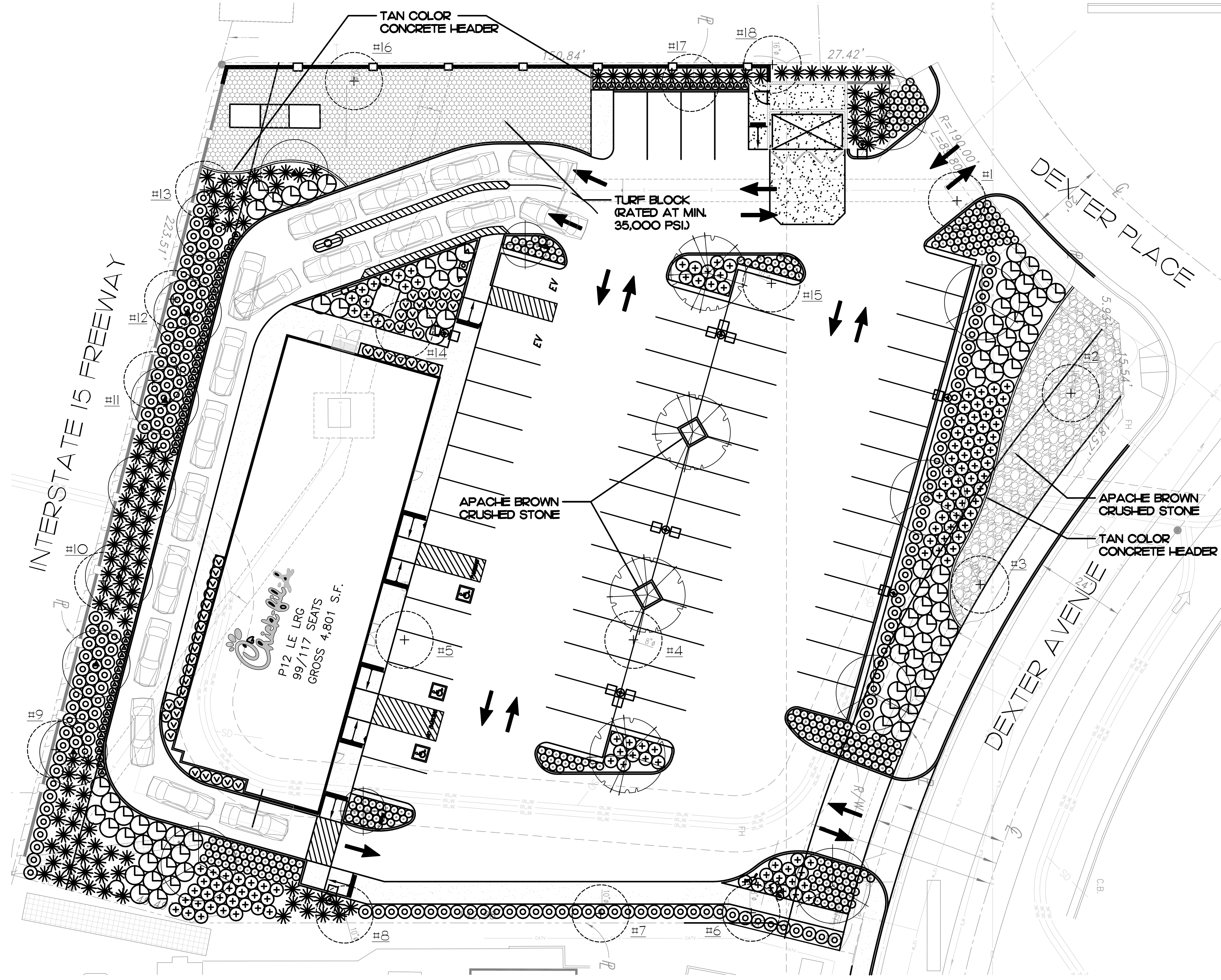
TRW = TOP OF RETAINING WALL  
TW = TOP OF WALL  
UG = UNDERGROUND  
UNK = UNKNOWN  
UP = UTILITY POLE  
W = WASHER  
WDF = WOOD FENCE  
WM = WATER METER  
WV = WATER VALVE  
N. = NORTH  
S. = SOUTH  
E. = EAST  
W. = WEST  
NLY = NORTHERLY  
Sly = SOUTHERLY  
Ely = EASTERLY  
Wly = WESTERLY  
N/O = NORTH OF  
S/O = SOUTH OF  
E/O = EAST OF  
W/O = WEST OF  
P = PROPERTY LINE  
C = CENTERLINE  
R/W = RIGHT OF WAY  
Δ = DELTA  
R = RADIUS  
L = LENGTH  
T = TANGENT  
M = MEASURED DATA  
C = CALCULATED DATA  
(RAD) = RADIAL BEARING  
PRO = PROPORTIONATE MEASUREMENT  
(210.00' R) = RECORD DATA  
210.00' M. = MEASURED DATA  
210.00' PRO. = PRORATED DATA  
210.00' C. = CALCULATED DATA  
(427.00 TC = EXISTING ELEVATION  
427.00 TC = DESIGN ELEVATION  
CATV = CABLE TV LINE  
E = ELECTRICAL LINE  
G = GAS LINE  
GB-GB = GRADE BREAK LINE  
R = RIDGE LINE  
S = SEWER LINE  
SD = STORM DRAIN LINE  
T = TELEPHONE LINE  
W = WATER LINE

SYMBOLS

FIRE HYDRANT  
STREET LIGHT  
TRAFFIC SIGNAL  
TRAFFIC SIGNAL ARM & POLE  
LIGHT STANDARD  
UTILITY POLE  
GUY WIRE & ANCHOR  
WATER METER  
GAS METER  
WATER VALVE  
GAS VALVE  
PULL BOX  
GRATE INLET  
SIGN  
VENT  
SEWER MANHOLE  
STORM DRAIN MANHOLE  
TELEPHONE MANHOLE  
MANHOLE  
SEWER CLEANOUT  
MONITORING WELL  
HANDICAP PARKING STALL  
LANDSCAPED AREA  
PROTECT IN PLACE  
REMOVE AND DISPOSE OFFSITE  
RELOCATE  
PLOTABLE EASEMENT ITEM  
No. PER TITLE REPORT  
(427.0) EXIST. CONTOUR  
(427.0) DESIGN CONTOUR  
PALM TREE  
TREE, SPECIES VARIES







PLANTING NOTES

1. CONTRACTOR IS TO REVIEW PLANS, VERIFY SITE CONDITIONS AND PLANT QUANTITIES PRIOR TO INSTALLATION. CONFLICTS BETWEEN THE SITE AND THESE PLANS OR WITHIN THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO LANDSCAPE INSTALLATION. ANY DEVIATIONS FROM THE PLANS OR SPECIFICATIONS IS TO HAVE WRITTEN APPROVAL.
2. ALL PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF "AMERICAN NURSERY AND LANDSCAPE ASSOCIATION" STANDARDS. WWW.ANLA.ORG
3. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTED AREAS BY MEANS OF CONTINUOUS WATERING, PRUNING, RAISING TREE BALLS WHICH SETTLE BELOW GRADE, FERTILIZING, APPLICATION OF SPRAYS WHICH ARE NECESSARY TO KEEP THE PLANTINGS FREE OF INSECTS AND DISEASES, WEEDING, AND/OR OTHER OPERATIONS NECESSARY FOR PROPER CARE AND UPKEEP. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTINGS AS SPECIFIED ABOVE FOR A PERIOD OF NINETY (90) DAYS.
4. LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PLACEMENT BY CONTRACTOR PRIOR TO INSTALLATION.
5. FERTILIZER FOR ALL PLANTING AREAS SHALL BE AS SPECIFIED WITHIN THE SOILS REPORT.
6. ANY TREES WITHIN 5' OF PAVING, CURBS, WALLS, BUILDINGS, ETC. TO BE INSTALLED WITH A ROOT BARRIER DEVICE.
7. FINISH GRADE TO BE 2" BELOW TOP OF CURB OR SIDEWALK FOR PLANTING AREAS.
8. CONTRACTOR TO INCLUDE IN HIS BID THE REPAIR OF ANY AND ALL DAMAGE RESULTING FROM INSTALLATION OF PLANTING ITEMS. CONNECT TO EXISTING CONDITIONS.
9. ALL PLANTING AND IRRIGATION ON THIS PROJECT TO MEET OR EXCEED CITY OF LAKE ELSINORE, CA LANDSCAPE GUIDELINES, STANDARDS AND AGENCY REQUIREMENTS.
10. ALL PLANTER AREAS SHALL BE TOP DRESSED WITH 3" MINIMUM MULCH COVER UNLESS SPECIFIED OTHERWISE PER PLANS AND SPECIFICATIONS AS APPROVED BY THE LANDSCAPE ARCHITECT.

LANDSCAPE CALCULATIONS

SHRUB AREA:	10,949 S.F.
CRUSHED STONE:	1,560 S.F.
TURF AREA:	2,425 S.F.
TOTAL LANDSCAPE AREA:	13,544 S.F.

List Inventory pg. 1 (diameter of multi-trunk trees calculated by adding them together)							
Tree #	Common Name	Botanical Name	Diameter at 4.5 feet (dbh) In inches	Height (in feet)	Spread (in feet)	Physiological condition	City Tree Yes or No
1	Eucalyptus sideroxylon	Ironbark eucalyptus	14.5	48	21	good	no
2	Eucalyptus sideroxylon	Ironbark eucalyptus	14	40	20	good	no
3	Eucalyptus sideroxylon	Ironbark eucalyptus	15	45	25	good	no
4	Canary island pine	Pinus Canariensis	6	17	8	good	no
5	Canary island pine	Pinus Canariensis	5	16	8	good	no
6	Canary island pine	Pinus Canariensis	5.5	16	8	good	no
7	Eucalyptus sideroxylon	Ironbark eucalyptus	11	22	12	good	no
8	Eucalyptus sideroxylon	Ironbark eucalyptus	10	25	18	good	no
9	Eucalyptus sideroxylon	Ironbark eucalyptus	13	38	18	good	no
10	Eucalyptus sideroxylon	Ironbark eucalyptus	13	35	18	good	no
11	Eucalyptus sideroxylon	Ironbark eucalyptus	8	20	15	dead	no
12	Canary island pine	Pinus Canariensis	5	11	8	good	no
13	Eucalyptus sideroxylon	Ironbark eucalyptus	11	35	15	good	no
14	Canary island pine	Pinus Canariensis	5	20	8	good	no
15	Canary island pine	Pinus Canariensis	5	20	8	good	no
16	Eucalyptus sideroxylon	Ironbark eucalyptus	15	40	28	good	no
17	Canary island pine	Pinus Canariensis	6	20	8	good	no
18	Eucalyptus sideroxylon	Ironbark eucalyptus	15	45	20	good	no

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	QTY.	REMARKS	WUCOLS REGION 4
TREES						
	EXISTING TO BE REMOVED	FIELD VERIFY	EXISTING	18	SEE NOTES BELOW	
	CERCIDILUM 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	24" BOX	4	STANDARD	LOW
	CERCIS OCCIDENTALIS 'CLAREMONT'	WESTERN REDBUD	24" BOX	2	STANDARD	LOW
	LAURUS NOBILIS 'MOHUM'	SWEET BAY	24" BOX	8	STANDARD	LOW
	RHUS LANCEA	AFRICAN SUMAC	24" BOX	6	STANDARD	LOW

SHRUBS/GROUNDCOVERS							
	ALOE STRIATA	CORAL ALOE	5 GAL	325	2'-0" O.C.	LOW	
	CALLISTEMON V. 'LITTLE JOHN'	DWARF WEeping BOTTLEBRUSH	5 GAL	170	3'-6" O.C.	LOW	
	DIANELLA 'LITTLE REV'	LITTLE REV FLAX LILY	5 GAL	21	2'-0" O.C.	LOW	
	DIANELLA TASMANICA 'VARIEGATA'	VARIEGATED FLAX LILY	5 GAL	72	3'-0" O.C.	MOD	
	DIETES VEGETA	FORTNIGHT LILY	5 GAL	126	4'-0" O.C.	MOD	
	LANTANA 'NEW GOLD'	TRAILING YELLOW LANTANA	1 GAL	82	5'-0" O.C.	LOW	
	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	5 GAL	127	3'-6" O.C.	MOD	
	CRUSHED STONE	'APACHE BROWN'	3/4" -	1,560 S.F.	MIN. 2" LAYER		
	TIFWAY 419 IN TURF BLOCK	BERMUDA HYBRID TURF BLOCK TO BE DETERMINED	SOD	2,425 S.F.	AVAILABLE FROM PACIFIC SOD (805) 986-8277		

**hourianassociates, inc.**  
landscape architecture + design  
107 avenida miramar, suite d  
san clemente, california 92672  
p: 949.489-5623 efax: 877.271.3122  
e: team@hourianassociates.com

**Chick-fil-A**  
5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:		
Mark	Date	By
△		
△		
△		
△		



**crho**  
ARCHITECTS  
195 South C Street;  
Suite 200  
Tustin, CA. 92780  
phone 714.832.1834

STORE  
CENTRAL AVE &  
DEXTER AVE.

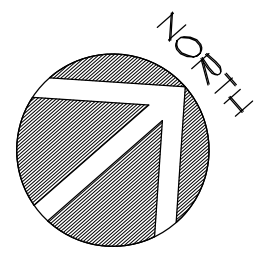
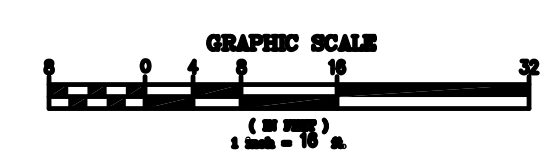
18601 DEXTER AVE.  
LAKE ELSINORE, CA

SHEET TITLE  
PRELIMINARY  
LANDSCAPE  
PLAN

VERSION: V7.025  
ISSUE DATE: 08-2016

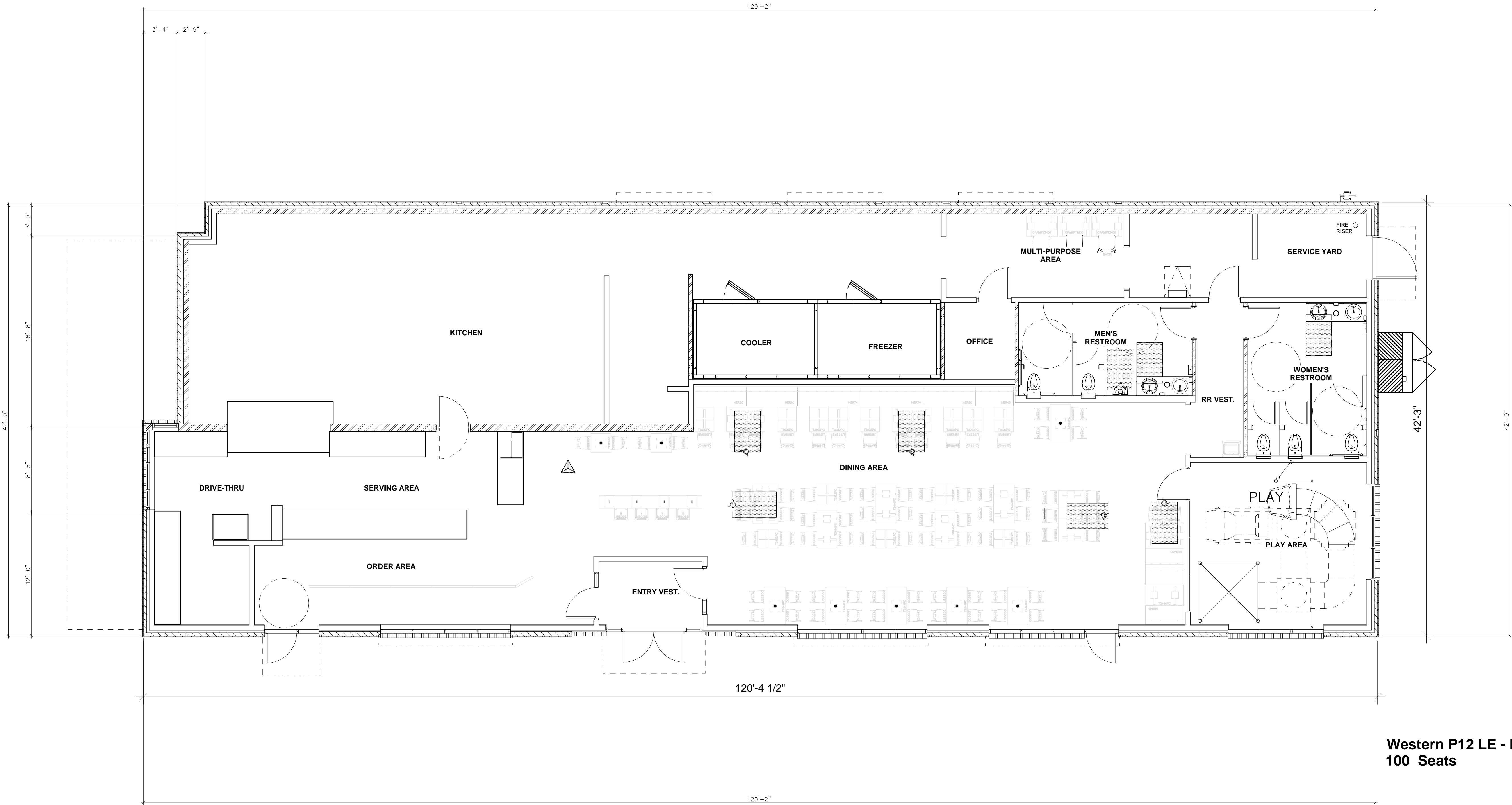
Job No. : 17-200  
Store : 04261  
Date : 2-28-18  
Drawn By : mdm  
Checked By: JHA

Sheet  
L-1



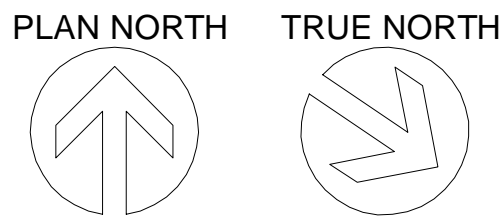


\\chick\mnt\proj\17-001-18601-Dexter Ave - Lake Elsinore - CA\Graphics\03-Drawing\03-18-Schematic\Design\03-18-Schematic.dwg (3/18/2016 11:41:03 AM) User: jk... Sheet No: FLOOR PLAN - Saved By: jk... Printed By: jk... Date: 3/18/2016 11:41:03 AM



STATISTICS (NET)	
SQUARE FOOTAGE BREAKDOWN:	AREA
ENTRY	61 SF
DINING	1247 SF
PLAY	270 SF
WOMEN	173 SF
RR VEST	72 SF
SERVING	185 SF
MEN	148 SF
OFFICE	51 SF
MULTI-PURPOSE	139 SF
KITCHEN	1368 SF
DRIVE-THRU	244 SF
QUEING	194 SF
NET TOTAL	4455 SF

**1 FLOOR PLAN**  
1/4" = 1'-0"



5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:

Mark Date By

△

Mark Date By

△

Mark Date By

△

Seal



195 South C Street, Suite 200  
Tustin, CA 92780  
phone 714.832.1834

STORE  
CENTRAL AVE &  
DEXTER AVE.

18601 DEXTER AVE.  
LAKE ELSINORE, CA

SHEET TITLE  
FLOOR PLAN

VERSION: V7.025  
ISSUE DATE: 08-2016

Job No. : 17-200

Store : 04261

Date : 03-07-18

Drawn By : —

Checked By: R.H.

Sheet

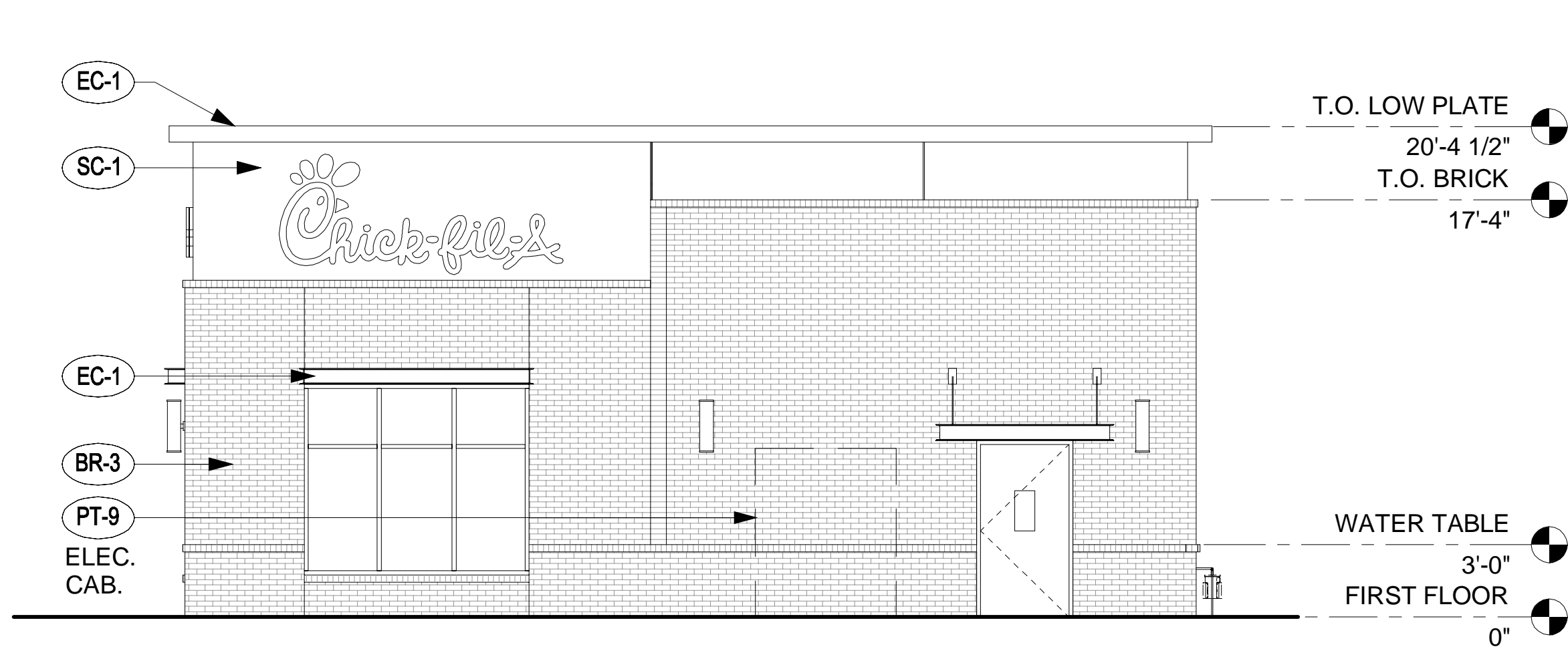
**A-I.O**



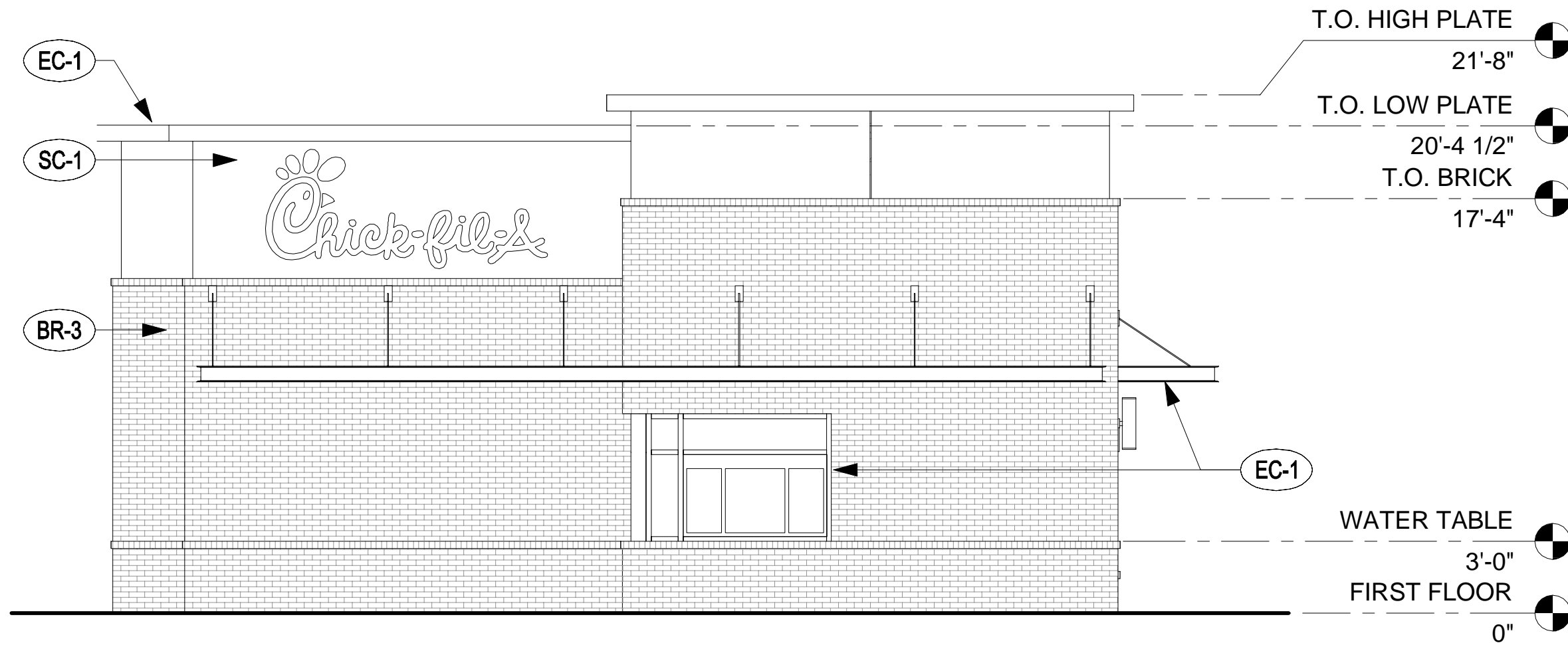




\\chickfilawp\proj\17-001 18601 DEXTER AVE - LAKELAND ELEVATIONS - C:\Users\chickfilawp\Desktop\17-001 18601 DEXTER AVE - LAKELAND ELEVATIONS.dwg (17-001 18601 DEXTER AVE - LAKELAND ELEVATIONS.dwg) - Sheet No. A-2.1 - Saved By: manual - Wednesday, March 09, 2016 4:52 PM - Printed By: Manual Admin - March 9, 2016 5:00 PM



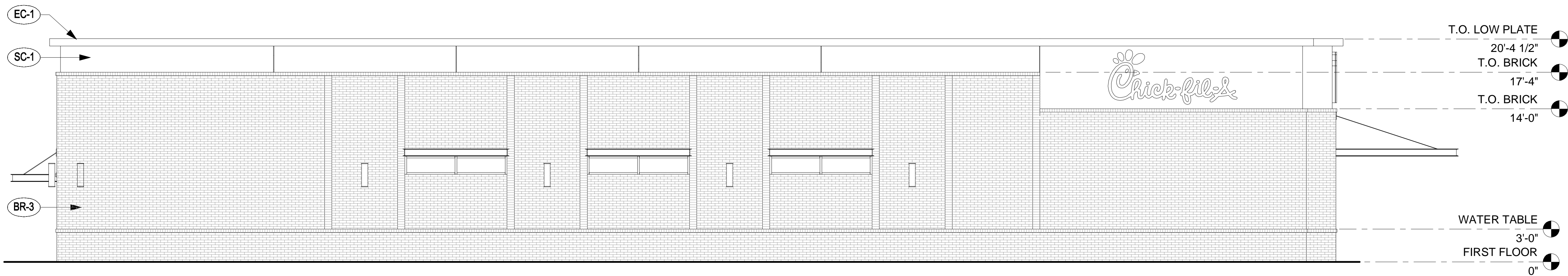
1 NORTH ELEVATION  
3/16" = 1'-0"



2 SOUTH ELEVATION  
3/16" = 1'-0"



3 EAST ELEVATION  
3/16" = 1'-0"



4 WEST ELEVATION  
3/16" = 1'-0"

EXTERIOR FINISHES - FOR STOREFRONT GLAZING, SEE GLASS SCHED. & INT. ELEV.	
(BR-3)	BRICK VENEER BORAL BRICK - MODULAR, COLOR CITADEL MORTAR: ARGOS SAN TAN
(EC-1)	PREFINISHED METAL COPING COLOR - DARK BRONZE
(SC-1)	STUCCO COLOR - WHITE FINISH - SAND MEDIUM
(PT-1)	PAINT #1 COLOR - DARK BRONZE
(A-1)	ALUMINUM AWNING - PRE-FIN. COLOR - DARK BRONZE 1'-0" DEEP
(A-2)	ALUMINUM AWNING - PRE-FIN. COLOR - DARK BRONZE 4'-0" DEEP
(A-3)	ALUMINUM AWNING - PRE-FIN. COLOR - DARK BRONZE 5'-0" DEEP
(PT-9)	PAINT #1 COLOR - TO MATCH BRICK "CITADEL"



5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:

Mark Date By

△

Mark Date By

△

Mark Date By

△

Seal



195 South C Street, Suite 200  
Tustin, CA 92780  
phone 714.832.1834

STORE  
CENTRAL AVE &  
DEXTER AVE.

18601 DEXTER AVE.  
LAKE ELSINORE, CA

SHEET TITLE  
EXTERIOR  
ELEVATIONS

VERSION: V7.025  
ISSUE DATE: 08-2016

Job No. : 17-200

Store : 04261

Date : 03-07-18

Drawn By : -

Checked By: R.H.

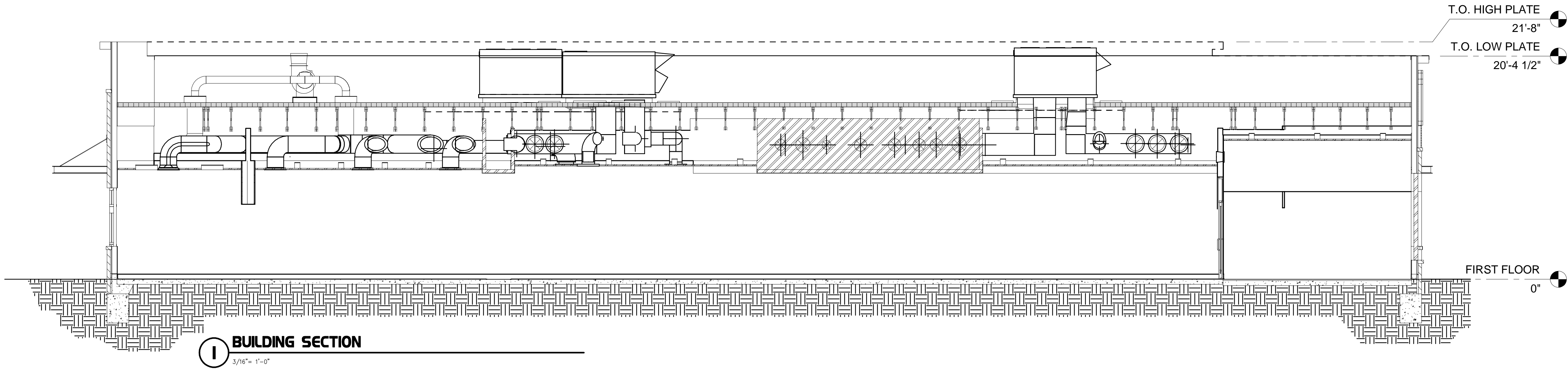
Sheet

A-2.1



I:\Chick-It-A17-Jobs\17-200 18601 Dexter Ave., Lake Elsinore, CA\Graphics\20 Custom Design\20.2 Schematic Design\005-04261-A3-1.dwg, 3/8/2018 4:48:32 AM, Tony

I:\Chick-It-A17-Jobs\17-200 18601 Dexter Ave., Lake Elsinore, CA\Graphics\20 Custom Design\20.2 Schematic Design\005-04261-A3-1.dwg, 3/8/2018 4:48:32 AM, Tony



**Chick-fil-A**

5200 Buffington Rd.  
Atlanta Georgia,  
30349-2998

Revisions:

Mark Date By

△

Mark Date By

△

Mark Date By

△

Seal



195 South C Street, Suite 200  
Tustin, CA 92780  
phone 714.832.1834

STORE  
CENTRAL AVE &  
DEXTER AVE.

18601 DEXTER AVE.  
LAKE ELSINORE, CA

SHEET TITLE  
BUILDING  
SECTION

VERSION: V7.025  
ISSUE DATE: 08-2016

Job No. : 17-200

Store : 04261

Date : 03-07-18

Drawn By : —

Checked By: R.H.

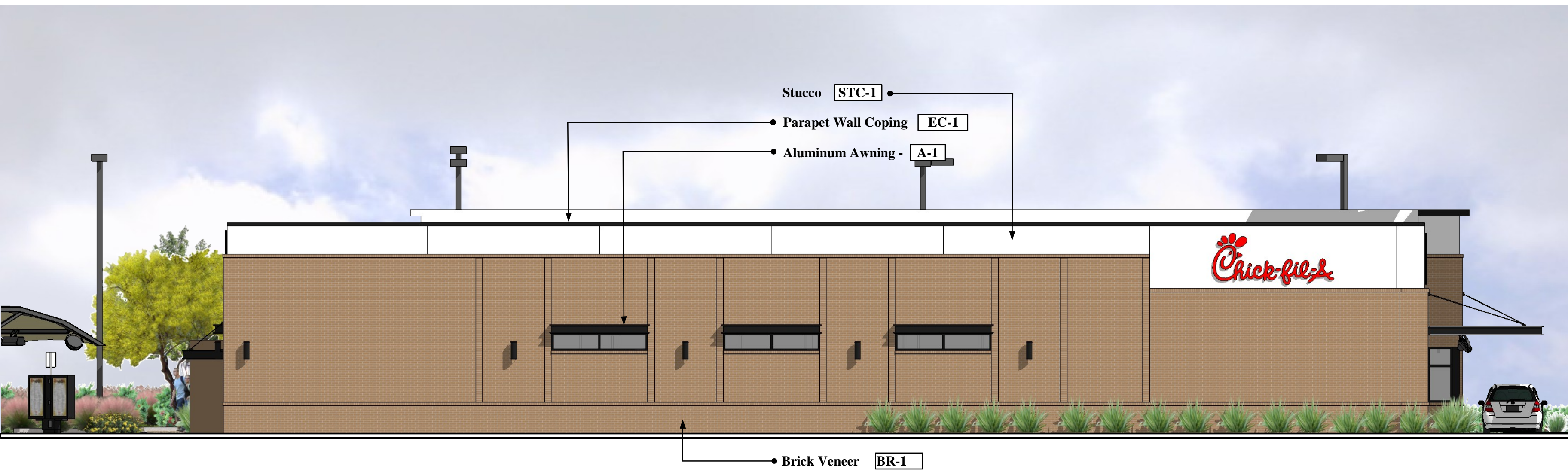
Sheet

**A-3.I**





SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



PRELIMINARY ELEVATIONS  
18601 Dexter Ave. Lake Elsinore, CA

**Note:**  
All roof top mechanical equipment shall be located in equipment well and screened from view by parapet walls.

**COLOR AND MATERIAL LEGEND**

STC-1	Stucco - STO - Powerwall "White"
BR-1	Brick Veneer - Boral Brick - Color: Citadel
EC-1	Parapet Wall Coping - Durolast/Exceptional Metals - Dark Bronze (Matte)
A-1	Aluminum Awning - Color: Dark Bronze



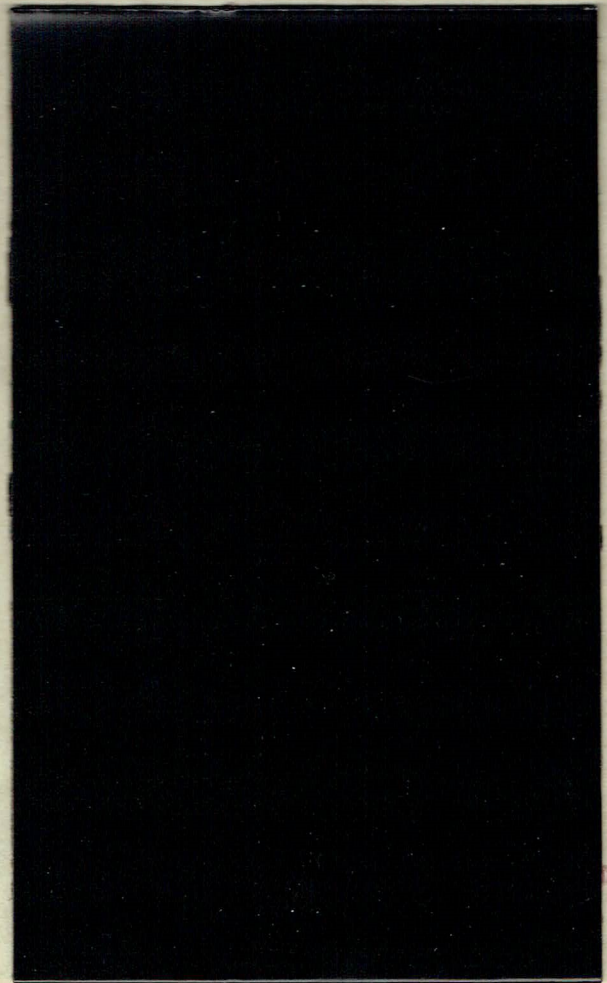




STC-1



BR-1



EC-1

A-1



COLORS & MATERIALS

Lake Elsinore, CA (17-200)

03-07-18

## COLOR AND MATERIAL LEGEND

STC-1	Stucco - STO Powerwall "White"
BR-1	Brick Veneer - Boral Brick - Color "Citadel"
EC-1	Parapet Coping - Durolast/Exceptional Metals-Dark Bronze (Matte)
A-1	Aluminum Awning - Color: Dark Bronze





SOUTHWEST VIEW



PRELIMINARY RENDERINGS  
18601 Dexter Ave. Lake Elsinore, CA





**SOUTHEAST VIEW**



PRELIMINARY RENDERINGS  
18601 Dexter Ave. Lake Elsinore, CA





**NORTHWEST VIEW**



PRELIMINARY RENDERINGS  
18601 Dexter Ave. Lake Elsinore, CA





**NORTHEAST VIEW**



PRELIMINARY RENDERINGS  
18601 Dexter Ave. Lake Elsinore, CA