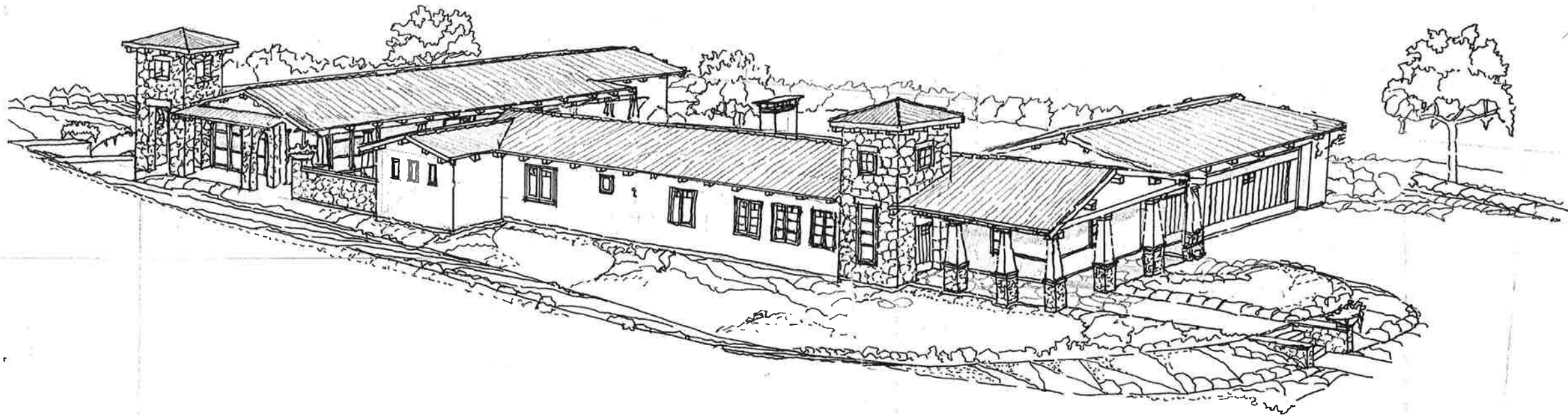




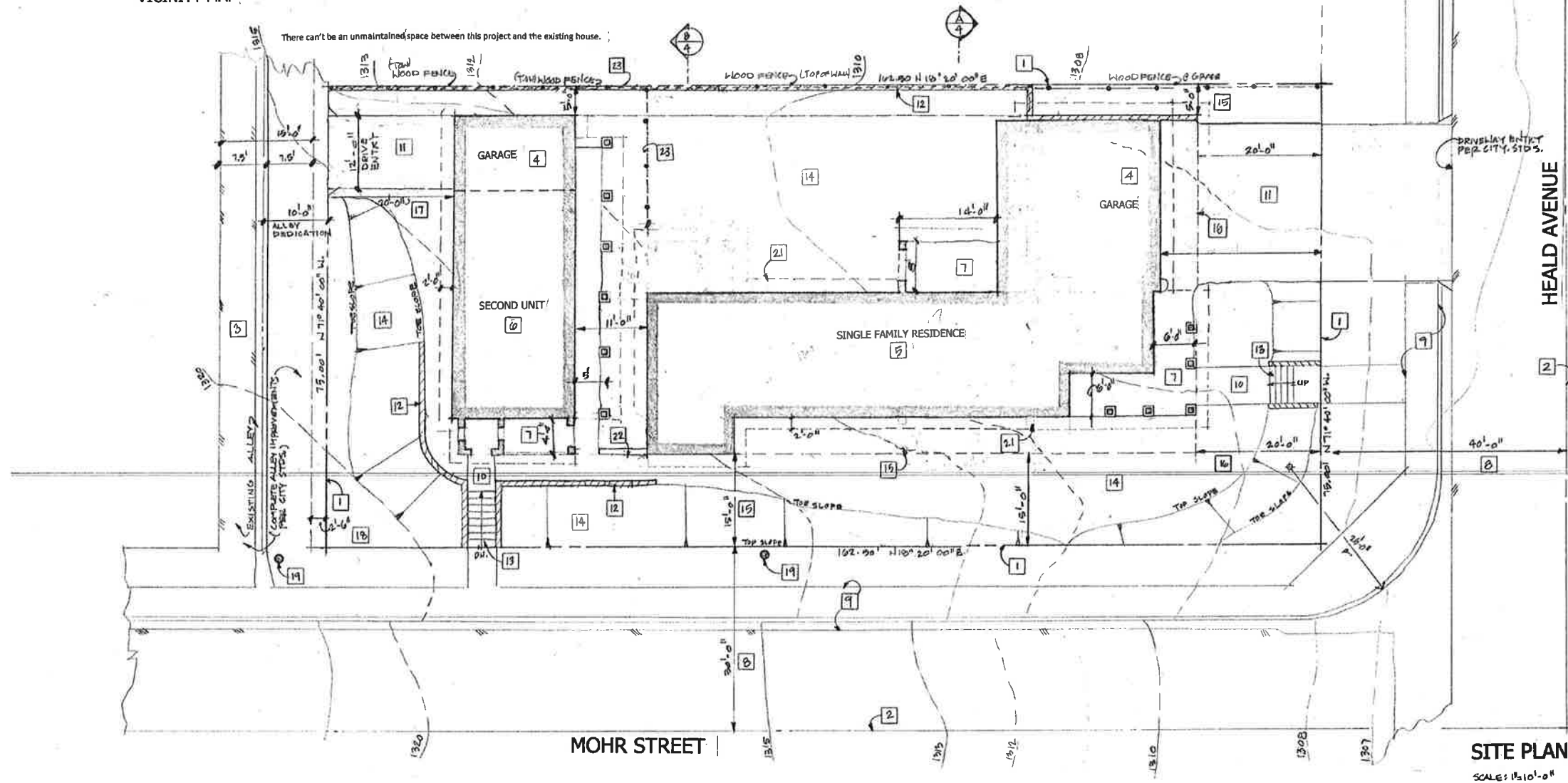
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 ■ ■ ■ ARCHITECT
 ■ 760 728-9691
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BEL AIR RESIDENCE
 SW CORNER HEALD AVE./MOHR ST.
 LAKE ELSINORE, CA

BEL AIR PROPERTIES
 280 WALNUT HILLS DRIVE
 SAN MARCOS, CA 92078
 760 724-0992



VICINITY MAP



SITE PLAN

SCALE: 1/8" = 1'-0"



SITE PLAN NOTES

1. PROPERTY LINE.
2. CENTER LINE OF STREET.
3. EXISTING ACCESS ALLEY.
4. GARAGE AREA.
5. SINGLE FAMILY RESIDENCE.
6. SECOND UNIT (GUEST QUARTERS).
7. COVERED PATIO.
8. EXISTING RIGHT OF WAY EASEMENT.
9. EXISTING CURB/GUTTER/SIDEWALK.
10. CONCRETE WALKWAY.
11. CONCRETE DRIVEWAY.
12. 3'-0" HIGH RETAINING WALL.
13. CONCRETE STEP ACCESS RISERS.
14. LANDSCAPE AREA.
15. SIDE YARD SETBACK.
16. FRONT YARD SETBACK.
17. REAR YARD SETBACK.
18. 2'-6" ALLEY ACCESS EASEMENT.
19. EXISTING POWER POLE (TO REMAIN).
20. TRASH ENCLOSURE AREA.
21. 2'-0" OVERHANG (TYPICAL).
22. 4' HIGH ACCENT WALL.
23. PERIMETER WOOD FENCE.

PROJECT DATA:

SINGLE FAMILY RESIDENCE AREA: 1,650 S.F.
SECOND UNIT AREA: 800 S.F.
TOTAL RESIDENCE AREA: 2,450 S.F.
ATTACHED GARAGE: 1,150 S.F.
PATIO/COVERED PORCH AREA: 640 S.F.
(1) SINGLE FAMILY RESIDENCE - 1,650 S.F. - 1 STORY - 3 BEDROOMS
(1) SECOND UNIT: 800 S.F. - 1 STORY - 2 BEDROOMS
PARKING REQUIRED:
2 COVERED/GARAGE SPACES
2 OUTDOOR SPACES
PARKING PROVIDED:
2 COVERED/GARAGE SPACES (20 X 20)
2 COVERED SMALL GARAGE SPACES
3 OUTDOOR SPACES

SITE COVERAGES:

SITE AREA: 12,188 S.F.
BUILDING COVERAGE:
3,100 S.F./12,188 S.F. = 30% (S.F.R. + GARAGE).
ROOF AREAS: 5,130 S.F./12,188 S.F. = 44% (S.F.R. + GARAGE + PATIO + O.H.).
LANDSCAPING: 6,720 S.F./12,188 S.F. = 55%
HARDSCAPE: 1,760 S.F./12,188 S.F. = 14%
FOOTPRINT: 4,364 S.F./12,188 S.F. = 35%

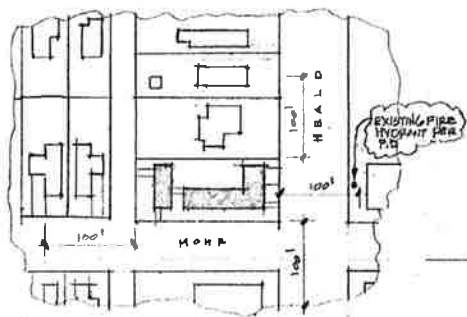
B-2. Compliance with Code. All design components shall comply with applicable provisions of the 2016 edition of the California Building, Plumbing and Mechanical Codes: 2016 California Electrical Code; California Administrative Code, 2016 California Energy Codes, 2016 California Green Building Standards, California Title 24 Disabled Access Regulations, and Lake Elsinore Municipal Code.

Green Measures. The application shall provide 10% voluntary green measures on the project, as stipulated by the 2016 California Green Building Standards.

B-5. Street Addressing. Applicant must obtain street addressing for all proposed buildings by requesting street addressing and submitting a site plan for commercial or multi-family residential projects or a recorded final map for single-family residential projects.

B-6. Clearance from LEUSD. A receipt or clearance letter from the Lake Elsinore School District shall be submitted to the Building and Safety Department to ensure the payment or exemption from School Mitigation Fees.

B-7. Obtain Approvals Prior to Construction. Applicant must obtain all building plans and permit approvals prior to commencement of any construction work.



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B-8. Obtaining Separate Approvals and Permits. Trash enclosures, patio covers, light standards, and any block walls will require separate approvals and permits.

B-9. Sewer and Water Plan Approvals. On-site sewer and water plans will require separate approvals and permits. Septic systems will need to be approved from Riverside County Environmental Health Department before permit issuance.

B-10. House Electrical Meter. Applicant shall provide a house electrical meter to provide power for the operation of exterior lighting, irrigation pedestals and fire alarm systems for each building on the site. Developments with single user buildings shall clearly show on the plans how the operation of exterior lighting and fire alarm systems when a house meter is not specifically proposed.

Grading plan required

Standard BMP's (Best Management Practices) for SFR required during and after construction

Curb core per City Standard (available online)

B-1. Final Building and Safety Conditions. Final Building and Safety Conditions will be addressed when building construction plans are submitted to Building and Safety for review. These conditions will be based on occupancy, use, the California Building Code (CBC), and related codes, which are enforced at the time of building, plan submittal.

OWNER:
BEL AIR PROPERTIES
280 WALNUT HILLS DRIVE
SAN MARCOS, CA 92078
760 724-0992

ARCHITECT:
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1050 ROD STREET
FALLBROOK, CA 92028
760 728-9691

CIVIL ENGINEER/SURVEYOR:
BILL VANDENBERG
2621 GREEN RIVER ROAD #105-209
CORONA, CA 92882
714 392-1219

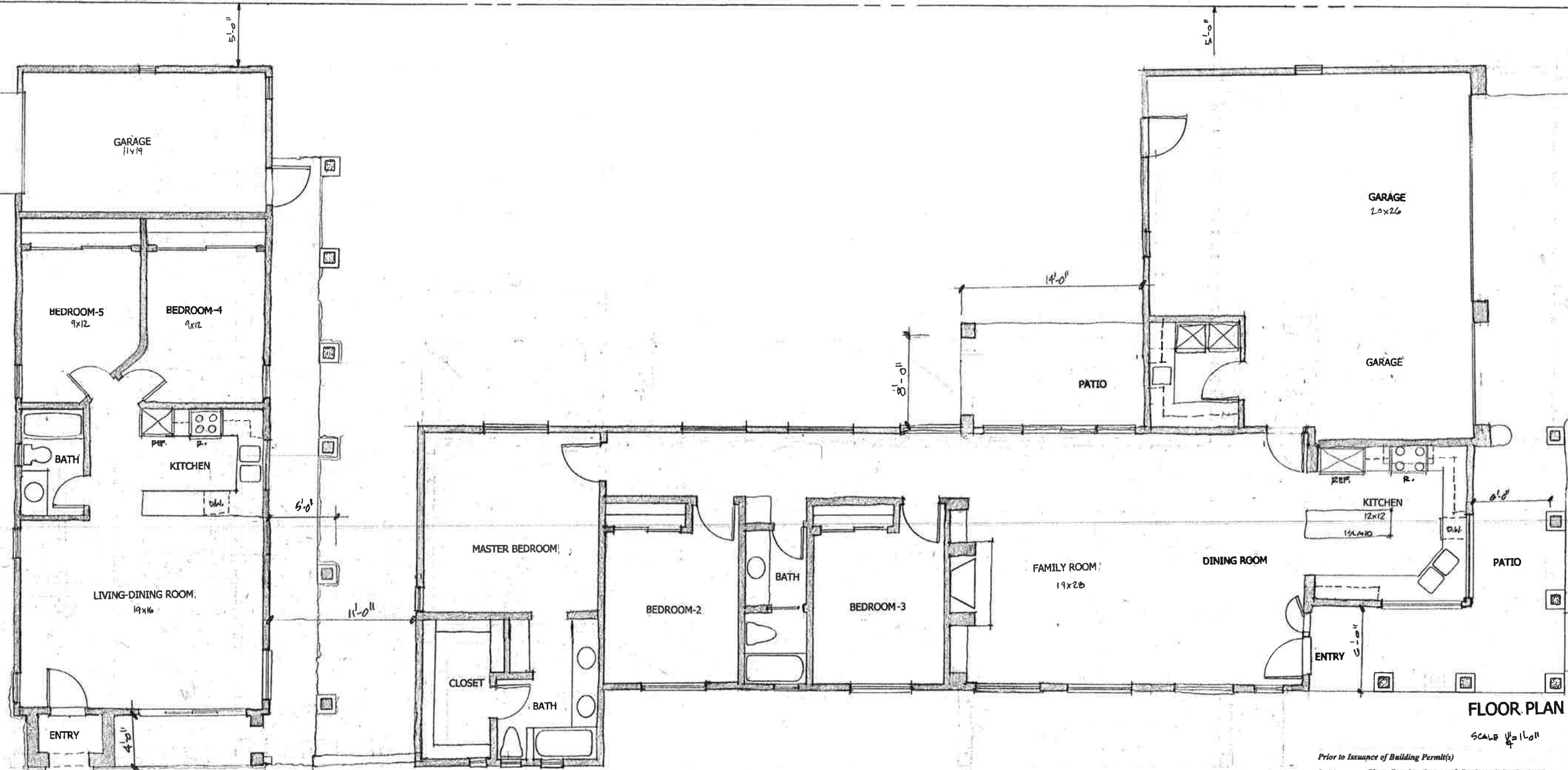
APN: 374-122-012
LEGAL DESCRIPTION:
LOT 6 WESTERLY 1/2 OF LOT 5, BLOCK 41,
MAP BOOK 6, PAGE 302, SAN DIEGO COUNTY
PORTION OF ELSINORE.

GENERAL PLAN DESIGNATION: HISTORIC DISTRICT
ZONING DISTRICT: R-1 SINGLE FAMILY RESIDENTIAL DISTRICT
GPD: HISTORIC DISTRICT
ZD: R-1
HEALD AVENUE
MOHR STREET

BEL AIR RESIDENCE
SW CORNER HEALD AVE./MOHR ST.
LAKE ELSINORE, CA

OWNER:
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SCALE: 1/8" = 1'-0"



FLOOR PLAN
SCALE 1/8" = 1'-0"

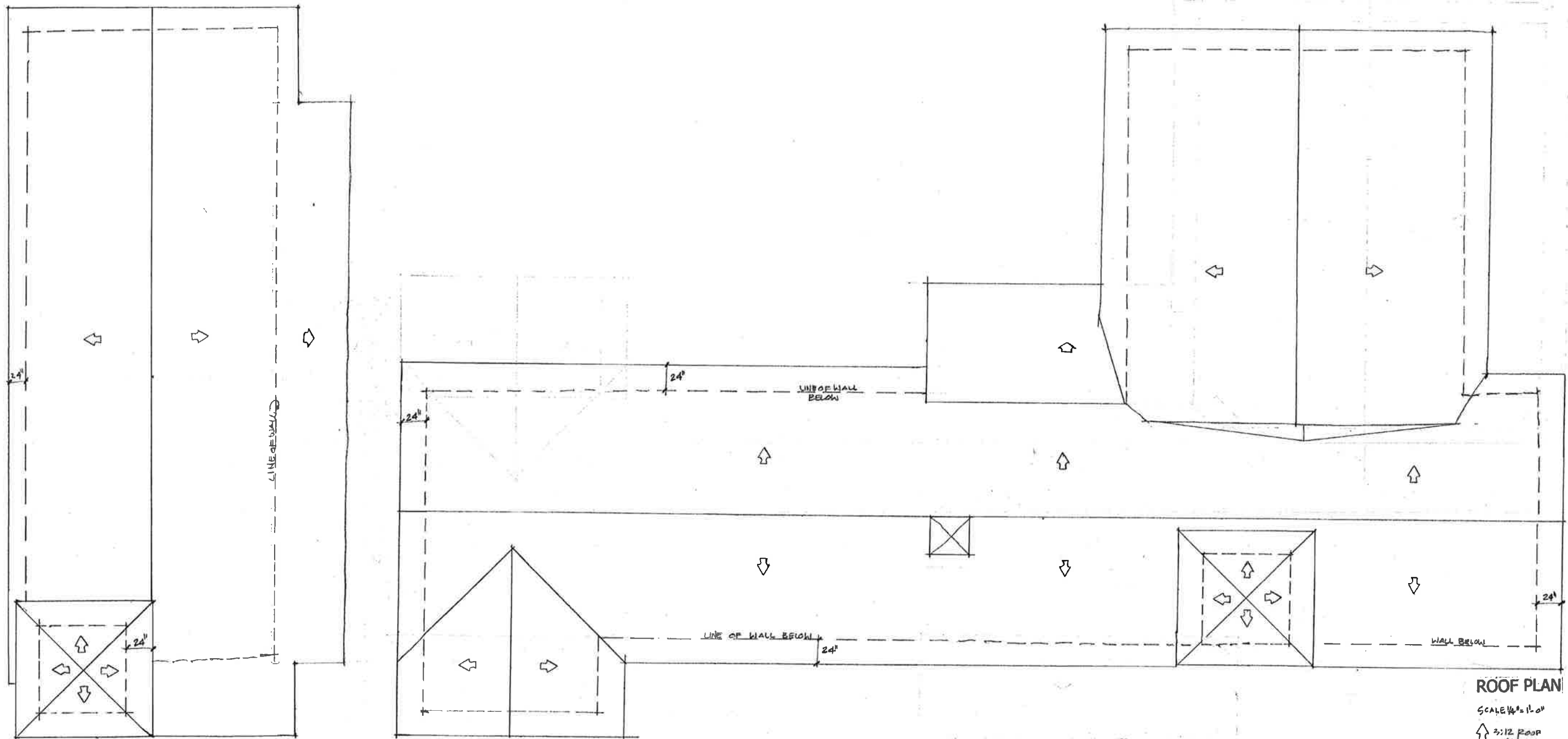
At Plan Review Submittal
B-11. Submitting Plans and Calculations. Applicant must submit to Building and Safety four (4) complete sets of plans and two (2) sets of supporting calculations for review and approval including:
a. An electrical plan including load calculations and panel schedule, plumbing schematic, and mechanical plan applicable to scope of work.
b. A Sound Transmission Control Study in accordance with the provisions of the Section 1207, of the 2016 edition of the California Building Code.
c. A precise grading plan to verify accessibility for the persons with disabilities.
d. Truss calculations that have been stamped by the engineer of record of the building and the truss manufacturer engineer.

Prior to Issuance of Building Permit(s)
B-14. Plans Require Stamp of Registered Professional. Applicant shall provide appropriate stamp of a registered professional with original signature on the plans. Provide C.D. of approved plans to the Building Division.
Prior to Beginning of Construction
B-15. Pre-Construction Meeting. A pre-construction meeting is required with the building inspector prior to the start of the building construction.

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OWNER:
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280 WALNUT HILLS DRIVE
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760 724-0992



ROOF PLAN

SCALE 1/8" = 1'-0"

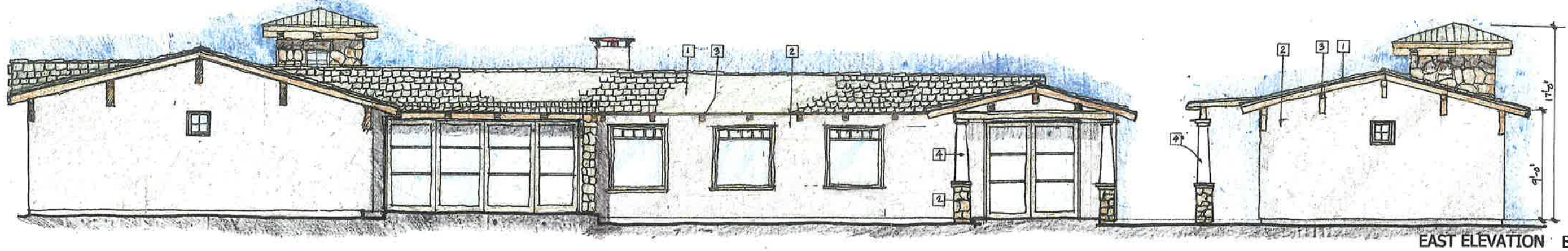
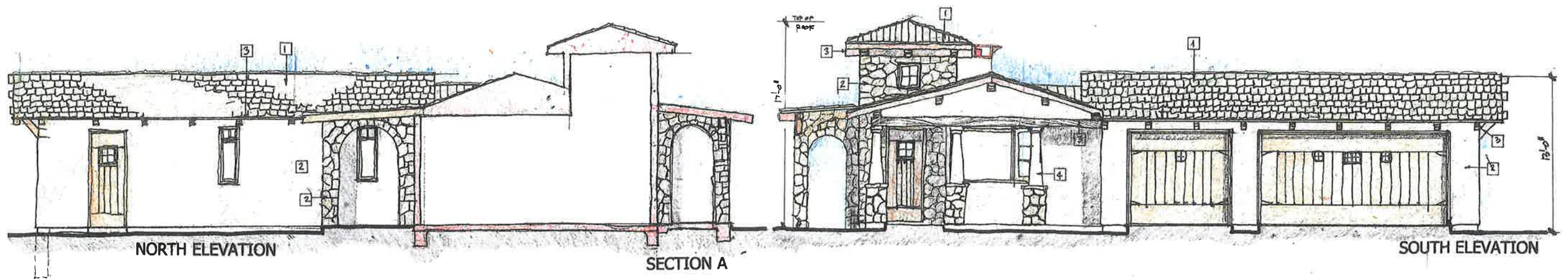
- ↑ 3:12 ROOF SLOPE
- ↗ 1:12 ROOF SLOPE

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BEL AIR RESIDENCE
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OWNER:
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280 WALNUT HILLS DRIVE
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760 724-0992

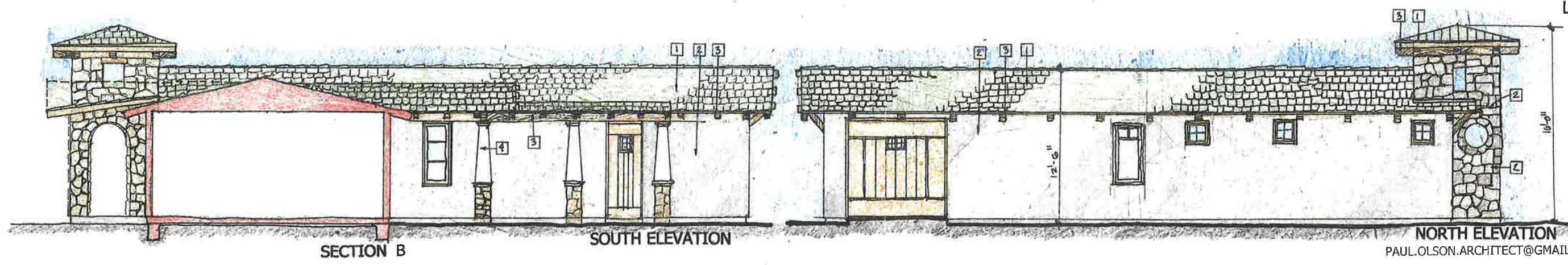
- ELEVATION NOTES**
1. ROOF: COMPOSITION SHINGLES: GAF HUNTER GREEN (TIMBERLINE).
 2. WALLS: STUCCO: LA HABRA, PACIFIC SAND (LIGHT SAND FINISH). STONE: CORONADO STONE, ENGLISH RUBBLE, NEW PORT SANDSTONE.
 3. 6 X 8 CORBELS, 3 X 8 FASCIA + RAFTERS + EXPOSED BEAMS, MIN WAX HELMSMAN SPAR URETHANE (OILED).
 4. TAPERED COLUMNS: SHERWOOD WILLIAMS, PAINT, WHITE.



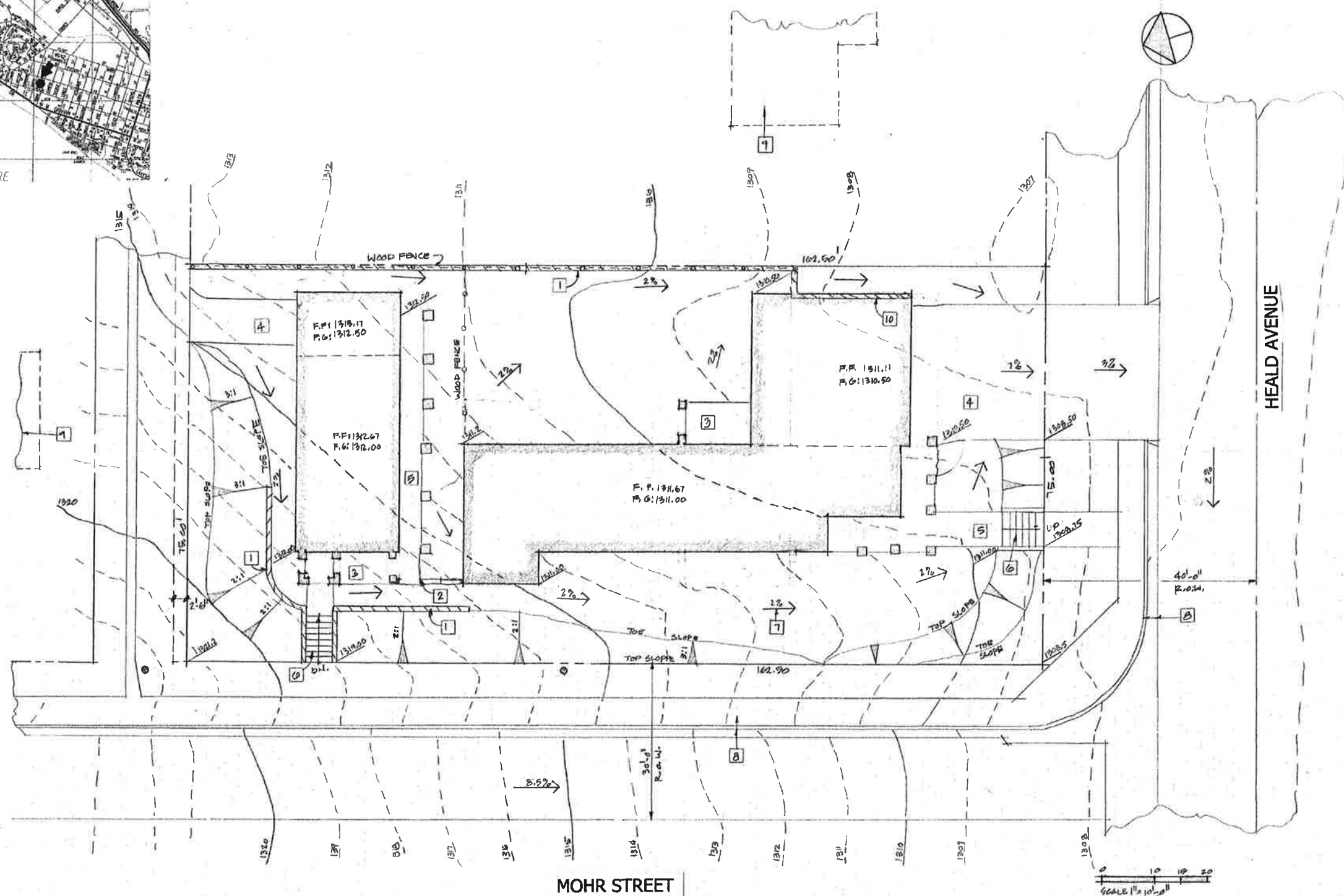
BEL AIR RESIDENCE
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 LAKE ELSINORE, CA

OWNER:
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- GRADING PLAN NOTES**
1. 3'-0" RETAINING WALL.
 2. 4'-0" ACCENT/YARD WALL.
 3. CONCRETE PATIO (SLOPE TO DRAIN).
 4. CONCRETE DRIVEWAY (SLOPE TO DRAIN).
 5. CONCRETE WALKWAY (SLOPE TO DRAIN).
 6. CONCRETE ACCESS STAIR/RISERS.
 7. TYPICAL DRAINAGE SLOPE.
 8. EXISTING SIDEWALK/CURB/GUTTER.
 9. EXISTING RESIDENCE ON ADJACENT PROPERTY.
 10. DEEPEN FOOTING TO GRADE (3'-0").

MOHR STREET

Prior to Issuance of Grading Permit(s)

B-12. Onsite Water and Sewer Plans. Onsite water and sewer plans, submitted separately from the building plans, shall be submitted to Building and Safety for review and approval.

B-13. Demolition Permits. A demolition permit shall be obtained if there is an existing structure to be removed as part of the project.

SLOPE → DRAINAGE PLAN.

CUT: 700 YDS³

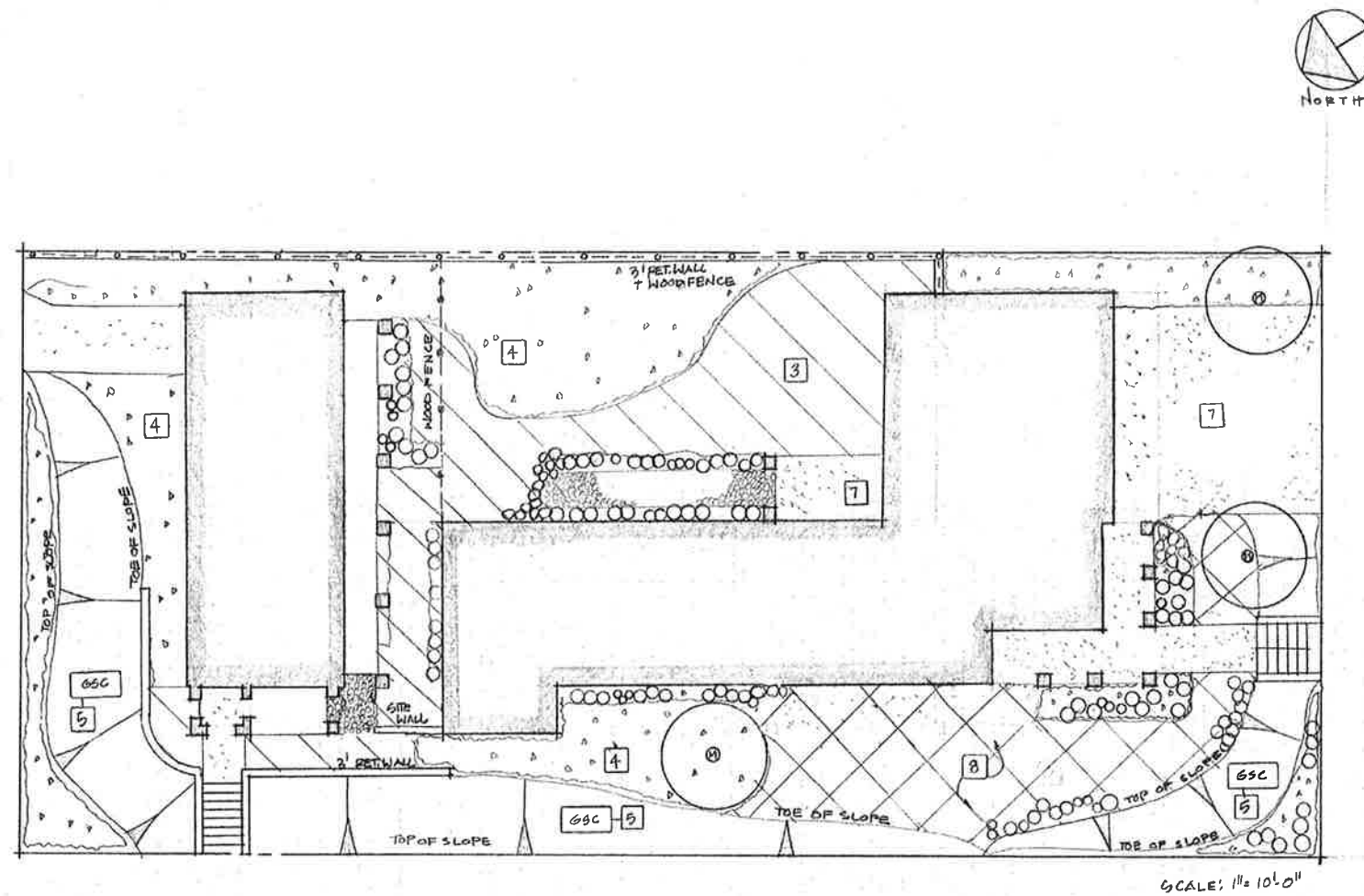
FILL: 700 YDS³

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BEL AIR RESIDENCE
SW CORNER HEALD AVE./MOHR ST.
LAKE ELSINORE, CA

PRELIMINARY
GRADING DRAINAGE
PLAN

OWNER:
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 760 724-0992



HEALD AVENUE

MOHR STREET

- 1  15 GALLON
MAGNOLIA GRANDIFOLIA
(LITTLE B&M, DWARF)
- 2  BOUGAINVILLEA (5 GALLON)
+ IVY GERANIUM.
- 3  MARATHON SEED/TURF.
- 4  WOOD CHIPS +
EDGING.
- 5  GSC GROUND SLOPE COVER
HARDY ICE PLANT
DELLOSPERMA COOPERI
(5 GALLON)
- 6  PACKED PEA GRAVEL
- 7  HARDSCAPE: COLORED
CONCRETE
- 8  LOOSE GRAVEL + PEBBLE
STONE GROUND COVER.

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BEL AIR RESIDENCE
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CONCEPTUAL
LANDSCAPE PLAN

OWNER:
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