

## APN 374-112-019-6 Lake Elsinore, CA. 92530

BUILDING DATA		
A.	BUILDING DISCRPTION :	SINGLE FAMILY DWELLING
B.	BUILDING OCCUPANCY GROUP :	R-3U
C.	TYPE OF CONSTRUCTION:	V-B
D.	APN #	374-112-019-6
E.	LEGAL DESCRIPTION	LOT 2 MB 006302 TOWN OF ELSINORE
F.	APPLICABLE CODES:	2016 CALIFORNIA BUILDING CODE 2016 CALIFORNIA RESIDENTIAL CODE 2016 CALIFORNIA PLUMBING CODE 2016 CALIFORNIA MECHANICAL CODE 2016 CALIFORNIA ELECTRICAL CODE 2016 CALIFORNIA FIRE CODE 2016 CALIFORNIA GREEN BUILDING CODE 2016 CALIFORNIA ENERGY CODE
H.	AUTOMATIC FIRE SPRINKLERS:	YES
G.	OWNER:	Feng Ling Ou
ALL PROJECT INFORMATION IS TAKEN FROM COUNTY RECORDS AND HAS NOT BEEN VERIFIED FOR ACCURACY AND IS AN APPROXIMATE.		

NOT TO SCALE

VINCENTY MAP KEYNOTES	
1	RESIDENTIAL
2	VACANT LAND

ABBREVIATIONS			
A.A.	ATTIC ACCESS	INSTR.	INSTRUCTIONS
A/C	AIR CONDITIONING CONDENSER	MASTER	MASTER
ABV.	ABOVE	MAX.	MAXIMUM
A.F.F.	ABOVE FINISH FLOOR	MFG'S	MANUFACTURER'S
ALT.	ALTERNATE	MIN.	MINIMUM
BEDRM.	BEDROOM	MTL.	METAL
BLDG.	BUILDING	NO.	NUMBER
BLW.	BELOW	O/	OVER
BOT.	BOTTOM	O.C.	ON CENTER
CF.	CEMENTITIOUS--FIBER	OPT.	OPTIONAL
CLG.	CEILING	PWDR.	POWDER
CLR.	CLEAR	R.	RISER / RIDGE
CONC.	CONCRETE	R.A.G.	RETURN AIR GRILL
CBL.	CORROSION RESISTANT	REF.	REFRIGERATOR
DBL.	DOUBLE	RM.	ROOM
DEG.	DEGREE	RND.	ROUND
DA.	DIAMETER	SOD.	SLIDING GLASS DOOR
DN.	DOWN	SH.	SINGLE HUNG
D/W	DISHWASHER	SIM.	SIMILAR
DWGS.	DRAWINGS	SL.	SLIDER
ELEV.	ELEVATION	SQ. FT.	SQUARE FEET
EQ.	EQUAL	SQ. IN.	SQUARE INCH
F.A.U.	FORCED AIR UNIT	STD.	STANDARD
F.F.	FINISH FLOOR	STOR.	STORAGE
F.G.	FINISH GRADE	STRUCT.	STRUCTURAL
F.P.	FIREPLACE/ GAS APPLIANCE	SUR.	SURROUND
FLR.	FLOOR	TEMP. GL.	TEMPERED GLASS
FR. DR.	FRENCH DOOR	T.O.P.	TOP OF PLATE
FT.	FOOT/ FEET	T&B	TOP AND BOTTOM
FX.	FIXED	TYP.	TYPICAL
GI.	GALVANIZED IRON	U.N.O.	UNLESS NOTED OTHERWISE
GL.	GLASS		
GRD.	GRADE	W/	WITH
HD.	HEAD	WD.	WOOD
HDR.	HEADER	WDW.	WINDOW
HGT.	HIGHT	W.I.	WROUGHT IRON
H.S.	HARD SURFACE	W.I.C.	WALK IN CLOSET
INS.	INSULATION	W.O.	WHERE OCCURS

# PROJECT DESCRIPTION

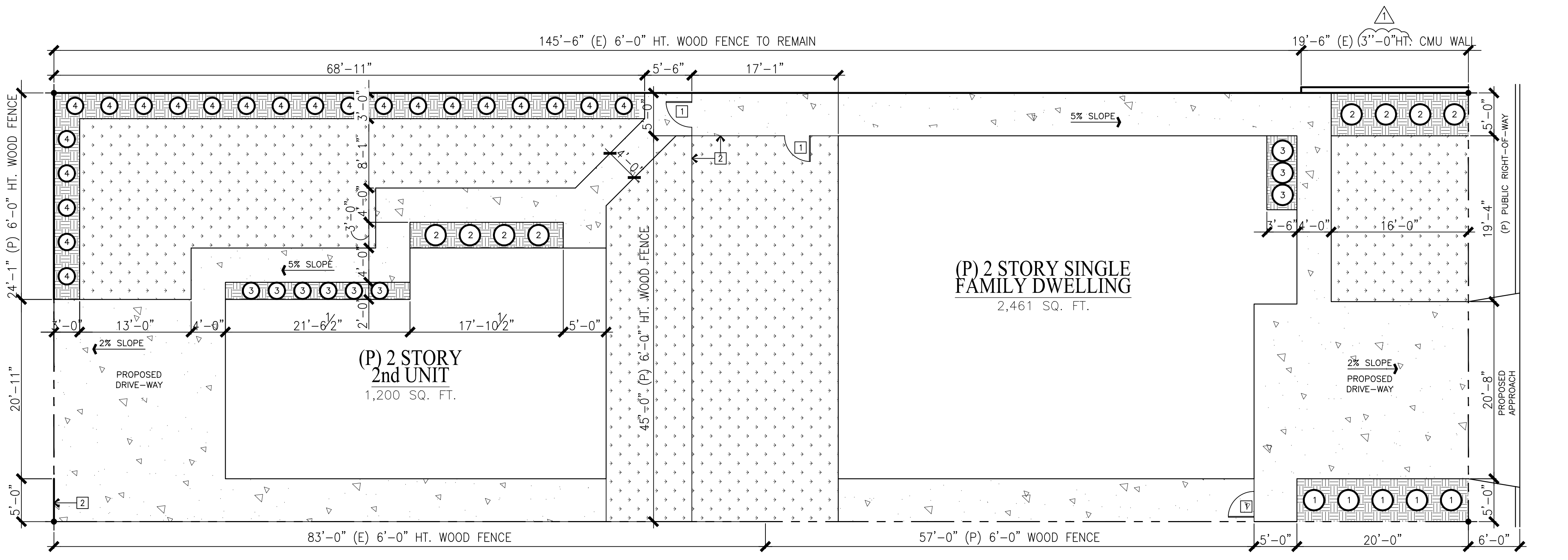
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1. BUILD NEW 2 NEW TWO STORIES SINGLE FAMILY DWELLING WITH ATTACHED GARAGES



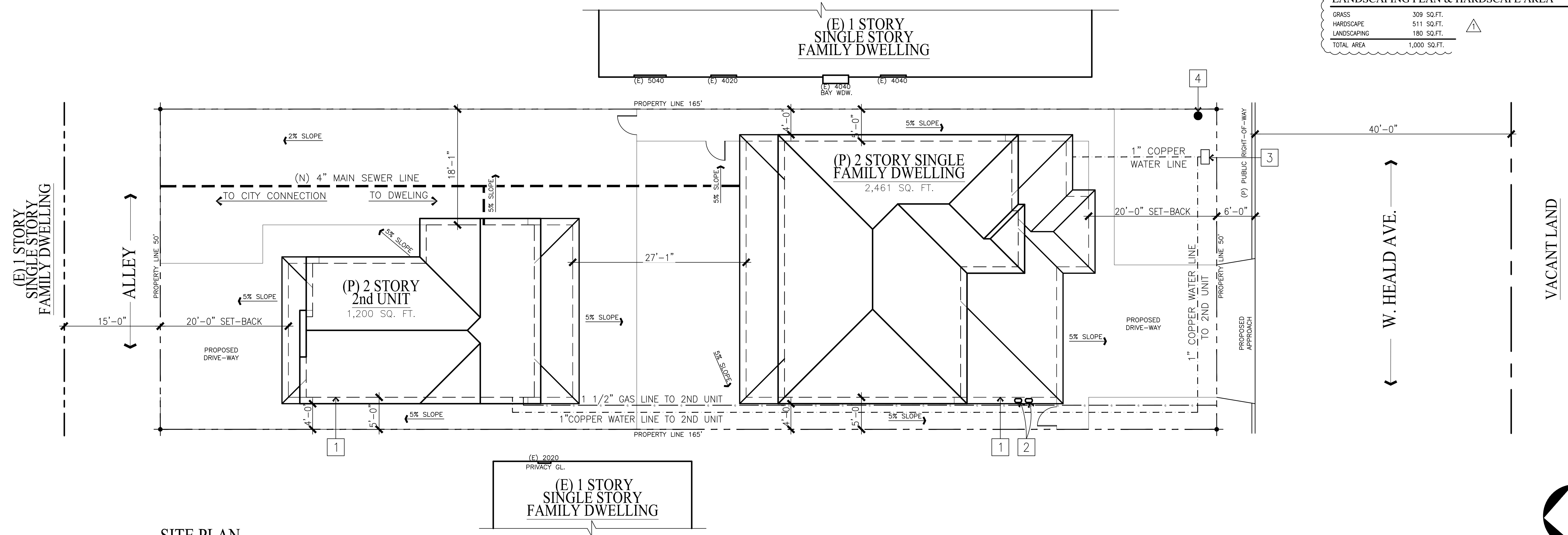
**RAW Design**  
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<u>Issue Date</u> 1/25/18	
<u>Revision Date</u> 6/12/18	
<u>Design by:</u> Rene Alvarez	
<u>Project #</u> 17008	
<u>Sheet #</u>  C1	



FENCE & LANDSCAPING PLAN

SCALE: 1/8" = 1' - 0"



SITE PLAN

SCALE: 1/8" = 1' - 0"

SITE PLAN - GENERAL NOTES

- ALL LANDSCAPING AREAS ON THE SUBJECT PROPERTY SHALL BE MAINTAINED IN GOOD CONDITIONS AT ALL TIMES.
- THE APPLICANT/OWNER SHALL BE RESPONSIBLE FOR REPAIRING AND OR REPLACING ANY PUBLIC IMPROVEMENT DAMAGE AS A RESULT OF THE CONSTRUCTION OF THE PROPOSED PROJECT.
- THE ENTIRE SITE SHALL BE CLEARED OF TRASH, DEBRIS AND CONSTRUCTION MATERIAL PRIOR TO THE FINAL INSPECTION OF THE PROJECT BY THE CITY.
- The discharge of pollutants to any storm drainage system is prohibited. No solid waste, petroleum byproducts, soil particulate, construction waste materials, or waste-water generated on construction sites or by construction activities shall be placed, conveyed or discharged into the street, gutter or storm drain system.

SITE PLAN - SYMBOLS LEGEND

	PROPOSED BUILDING		PROPOSED DRIVE-WAY/FLAT-WORK		PROPOSED LANDSCAPING SEE SHT A-2
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SITE PLAN - KEYNOTES

- MAIN ELECTRICAL PANEL
- GAS METER
- WATER METER
- EXISTING UTILITY POLE

LEGAL DESCRIPTION

BUILDING DESCRIPTION: 2 NEW SINGLE FAMILY RESIDENCE  
BUILDING OCCUPANCY GROUP: R3-U  
APN: 374-112-019-6  
OWNER: Feng Ling Ou  
ZONE: R-1  
LEGAL DESCRIPTION: LOT 2 MB 006/302  
UTILITIES: ELSINORE VALLEY MUNICIPAL WATER DISTRICT  
CR&R WASTE SERVICES  
SOUTHERN CALIFORNIA EDISON  
VERIZON

LANDSCAPING PLAN - SYMBOLS LEGEND

	GRASS GROUND COVER		PROPOSED DRIVE-WAY/FLAT-WORK		PEA-GRAVEL GROUND COVER		GROUND COVER SEE PLANT SCHEDULE #5
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LANDSCAPING PLAN - KEYNOTES

- 3'-0" WOOD GATE 6'-0" HT. - COLOR: NATURAL REDWOOD
- NEW 6'-0" WOOD FENCE - COLOR: NATURAL REDWOOD

PLANT SCHEDULE

NO.	SCIENTIFIC NAME	COMMON NAME	COLOR	SOLD SIZE	QTY.	SPACING
1	ROSEMARINUS OFFICINALIS	ROSEMARY	PURPLE	1 GAL.	5	48"
2	LAVANDULA ANGUSTIFOLIA	ENGLISH LAVENDER	PURPLE	1 GAL.	8	36"
3	ALOE HYBRID "LEO 3711"	SUPER RED ALOE	RED	1 GAL.	9	36"
4	SALVIA GREGGII	AUTUMN SAGE	PURPLE	1 GAL.	22	36"
5	ROSEMARINUS OFFICINALIS	LOCKWOOD DE FOREST ROSEMARY	PURPLE	1 GAL.	±50	18"

FRONT YARD 20'-0" SET-BACK LANDSCAPING PLAN & HARDSCAPE AREA

GRASS	309 SQ.FT.
HARDSCAPE	511 SQ.FT.
LANDSCAPING	180 SQ.FT.
TOTAL AREA	1,000 SQ.FT.

Owner: Feng Ling Ou  
APN: 374-112-019-6, Lodi, Elsinore, CA 92530  
Phone: (951) 866-1891

"New Single Family Dwellings"

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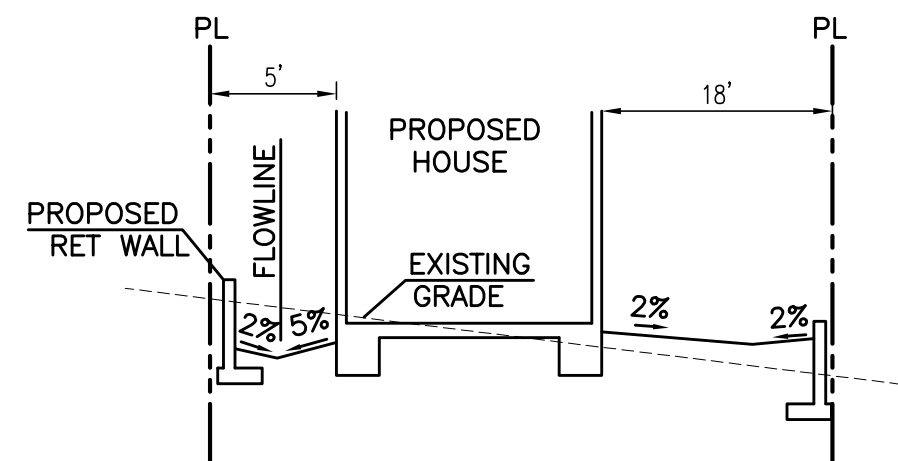
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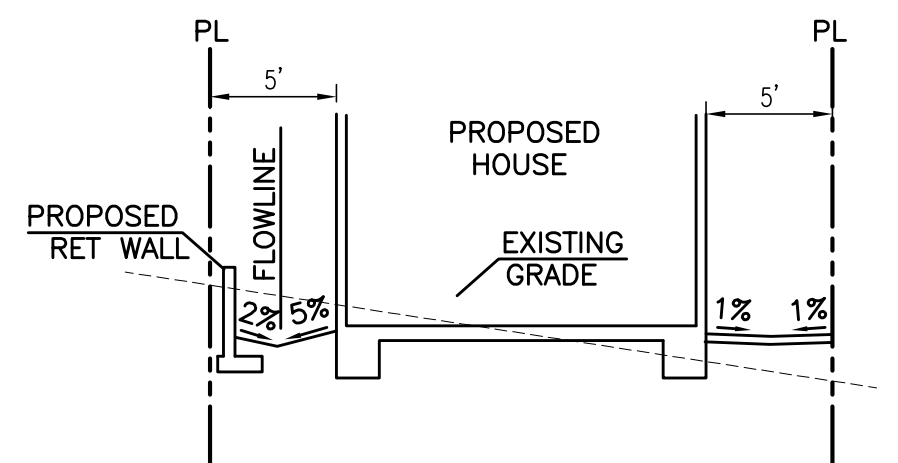
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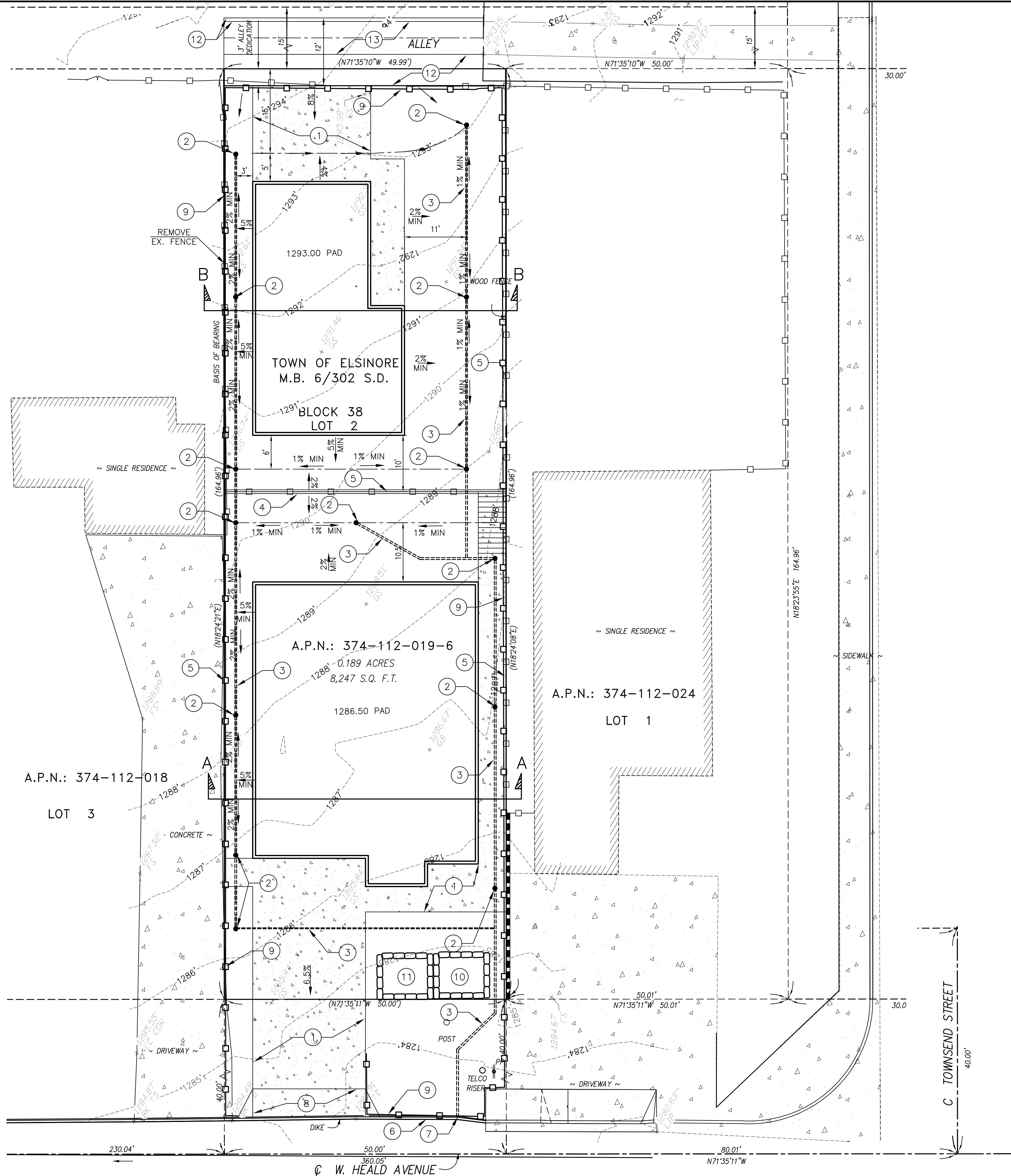




SECTION B-B  
NO SCALE



SECTION A-A  
NO SCALE

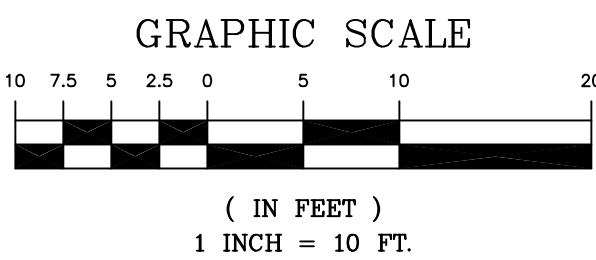
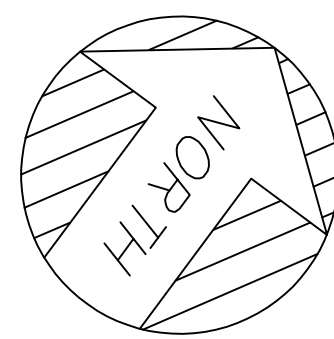


LEGEND

	FIRE HYDRANT	AC	ASPHALT PAVEMENT
	EDGE PAVEMENT	GP	GUARD POST
	WATER VALVE	FS	FINISHED SURFACE
	METER, PULL BOX	GB	GRADE BREAK
	SIGN	L	LOT LINE
	CONCRETE	PA	PLANTER AREA
	BLOCK WALL	PL	PROPERTY LINE
	LIGHT STANDARD	R/W	RIGHT OF WAY
	TRAFFIC SIGNAL	GM	GAS METER
	STREET LIGHT	PB	PULL BOX
	HANDICAP STALL	FL	FLOWLINE
	WOOD FENCE	BW	BACK OF WALK
	CHAINLINK FENCE	INFO	INFORMATION
	PROPOSED GRADE	CLF	CHAIN LINK FENCE
	EXISTING GRADE	EP	EDGE OF PAVEMENT
	TOP OF CURB	OS	OFFSET
	TRANSFORMER	FF	FINISHED FLOOR
	RIDGE	CF	CURB FACE
	SEWER MANHOLE	HCR	HANDICAP RAMP
	FINISHED CONCRETE	MH	MANHOLE

CONSTRUCTION NOTES

1	CONCRETE PAVEMENT PER ARCHITECTS PLAN
2	INSTALL 9" AREA DRAINS
3	INSTALL 4" PVC PIPE
4	CONSTRUCT A RETAINING WALL
5	INSTALL A FENCE ON TOP OF THE RETAINING WALL
6	CONSTRUCT CURB
7	CONSTRUCT CURB DRAIN OUTLET PER LAKE ELSINORE STD 300B
8	CONSTRUCT DRIVEWAY PER LAKE ELSINORE STDS
9	INSTALL SILT FENCE
10	MATERIAL STORAGE AREA
11	CONCRETE WASHOUT AREA
12	CONSTRUCT AC PAVEMENT
13	CONSTRUCT RIBBON GUTTER



REVISIONS		
NO.	DATE	DESCRIPTION



23535 PALOMINO DR., SUITE 303  
DIAMOND BAR, CA. 91765  
TELEPHONE: (909) 301-1017  
EMAIL: CARL3.RWAGROUP@GMAIL.COM

BENCHMARK:  
LAKE ELSINORE BENCHMARK DESIGNATION A-93-28  
ELEV- 1313.42'

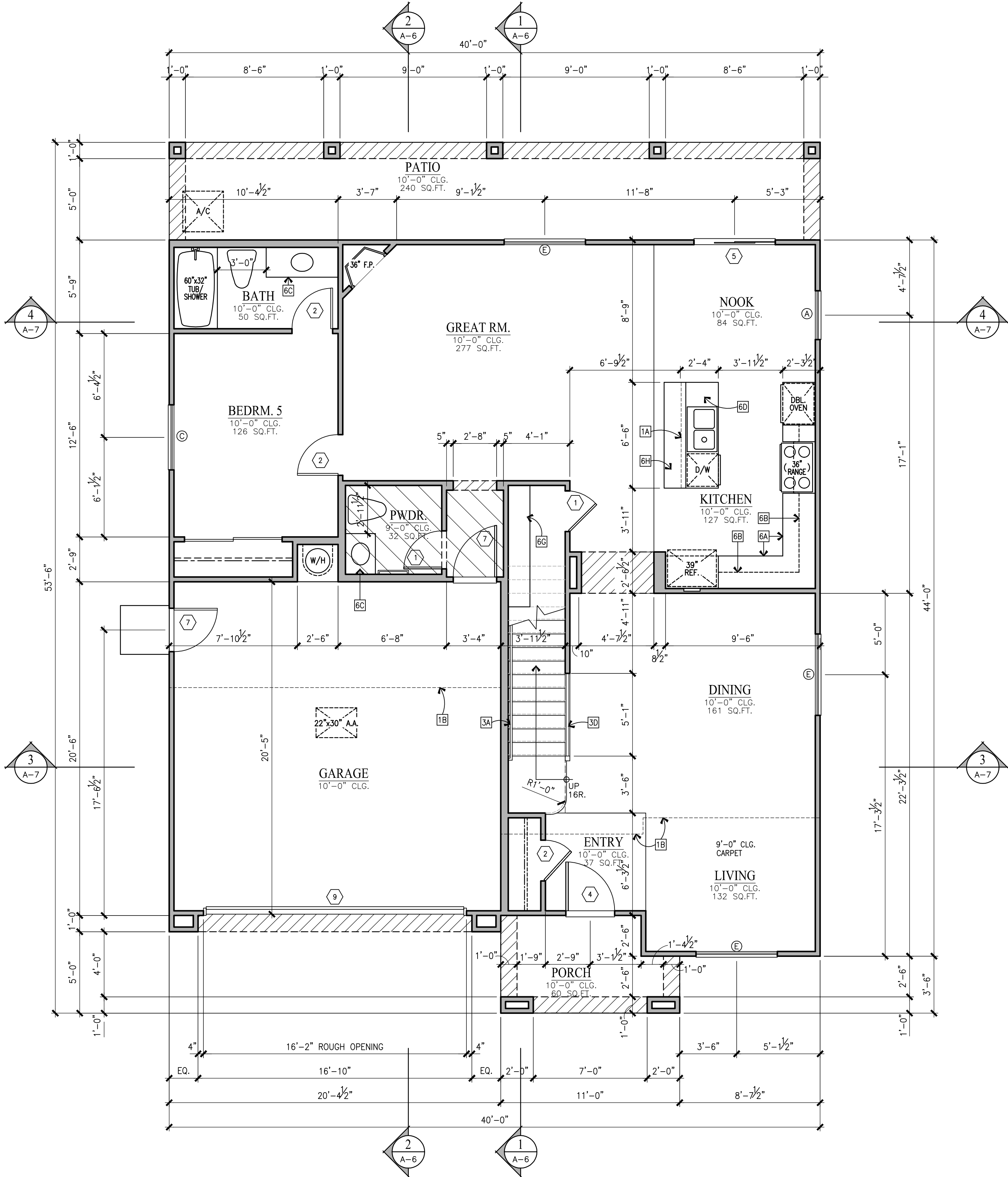
NOTE:  
DRAWN C. W. S  
DESIGN C. W. S  
CHECK C. W. S  
SCALE 1 : 10

PROJECT TITLE:  
*PRELIMINARY GRADING PLAN*  
*HEALD AVENUE*  
*LAKE ELSINORE, CA*  
*APN : 347-112-019*

SHEET NO.  
*1*  
OF  
*1*

WINDOW SCHEDULE									
WINDOW NUMBER									
⑥	WIDTH	HEIGHT	TYPE	MATERIAL	GLAZING AREA	U-FACTOR	SHGC	EGRESS AREA	TEMPERED GLASS
A	3'-0"	5'-0"	SH	VINYL	15	0.32	0.25	7.5	N/A
B	3'-6"	4'-0"	SL	VINYL	14	0.32	0.25	7	N/A
C	4'-0"	5'-0"	SL	VINYL	20	0.32	0.25	10	N/A
D	5'-0"	5'-0"	SL	VINYL	25	0.32	0.25	12.5	N/A
E	2'-0"	4'-0"	SH	VINYL	8	0.32	0.25	4	N/A
F	2'-0"	4'-0"	FX	VINYL	8	0.32	0.25	N/A	N/A
G	3'-0"	5'-0"	SH	VINYL	15	0.32	0.25	7.5	YES

DOOR SCHEDULE				
DOOR NUMBER	WIDTH	HEIGHT	TEMP. GL.	REMARKS
1	2'-4"	8'-0"		HOLLOW CORE
2	2'-6"	8'-0"		HOLLOW CORE
3	6'-0"	8'-0"		BI-FOLD DOORS
4	3'-0"	8'-0"		HOLLOW CORE
5	3'-0"	8'-0"		SOLID CORE
6	6'-0"	8'-0"		BI-PASS DOOR HOLLOW CORE
7	2'-8"	8'-0"		SOLID CORE
8	16'-0"	8'-0"		SECTIONAL GARAGE DOOR
9	2'-8"	8'-0"		HOLLOW CORE



FIRST FLOOR PLAN

SCALE: 1/4" = 1' - 0"

FLOOR PLAN - GENERAL NOTES

- GENERAL1.1 ALL INTERIOR AND EXTERIOR DOOR HEIGHTS SHALL BE 8'-0" UNLESS NOTED OTHERWISE ON PLANS1.2 INSULATION TO BE ENCLOSED ON ALL SIDES.1.3 THE LANDING AT IN-SWINGING DOORS OTHER THAN THE REQUIRED EGRESS SHALL NOT BE MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD. (R311.3 CRC)1.4 APPROVED WEATHER STRIPPED SHALL BE PROVIDED AROUND THE PERIMETER OF THE ATTIC ACCESS OPENING. CEC 110.71.5 ALL EXTERIOR GLAZING SHALL HAVE A MIN. OF ONE TEMPERED PANE PER C.B.C. 708A.1.6 MAXIMUM ALLOWED U-FACTOR = 0.32 MAXIMUM ALLOWED SHGC = 0.25
- EXTERIORS (REFER TO EXTERIOR ELEVATIONS)2.1 PORCH AND PATIO CEILINGS TO BE STUCCO OVER HIGH RIBBED METAL LATH U.N.O.
- INTERIORS3.1 GARAGE WALLS AND VERTICAL SURFACES: PROVIDE MINIMUM (1) LAYER 1/2" GYPSUM BOARD3.2 GARAGE CEILINGS: PROVIDE MINIMUM (1) LAYER 1/2" GYPSUM BOARD WITH ATTIC SPACE ABOVE - PROVIDE MINIMUM (1) LAYER 5/8" TYPE "X" GYPSUM BOARD WITH LIVABLE SPACE ABOVE.3.3 UNDER STAIRS SPACES: PROVIDE MINIMUM 1/2" GYPSUM BOARD AT ALL WALL AND CEILING SURFACES OF ENCLOSED USABLE3.4 ADD 2x12 BACKING AT SMURF TUB LOCATIONS DETERMINED BY BUILDER3.5 ALL HANDRAILS SHALL HAVE A HEIGHT BETWEEN 34" TO 38" MEASURED FROM THE TREAD NOSING. HANDRAILS WITH CIRCULAR CROSS SECTION SHALL HAVE OUTSIDE THE DIAMETER BETWEEN 1.25" TO 2" HANDRAILS WITH NON-CIRCULAR CROSS SECTION SHALL HAVE PERIMETER DIMENSION BETWEEN 4" TO 6 1/4" WITH A MAXIMUM CROSS-SECTION DIMENSION 2 1/4". EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01". OPENING BETWEEN THE GUARDS (BALUSTERS OR ORNAMENTAL PATTERNS) SHALL BE CAPABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200# APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.
- APPLIANCES4.1 VERIFY ALL CLEAR OPENING REQUIREMENTS4.2 REFRIGERATOR: PROVIDE RECESSED COLD WATER BIBB FOR ICE MAKE.4.3 CLOTHES WASHER AND CLOTHES DRYER: CLOTHES WASHER SHALL BE ON THE LEFT SIDE - PROVIDE HOT & COLD WATER SUPPLY (RECESSED) & WASTE CONNECTIONS - PROVIDE AN APPROVED "SMITTY" PAN WHEN WASHER IS LOCATED ON SECOND FLOOR. CLOTHES DRYER SHALL BE ON RIGHT SIDE - PROVIDE 4" DIAMETER DRYER VENT TO OUTSIDE AIR - MAXIMUM 14' LONG W/ (2) 90 DEG. ELBOWS UNLESS APPROVED OTHERWISE. DRYER EXHAUST VENTS TO BE MIN. 5'-0" FROM A/C CONDENSER. 2" SHALL BE DEDUCTED FOR EACH 90 DEG. ELBOW IN EXCESS OF 2 (504.3.2.2 & 504.3.2.2 OMC)4.4 RANGE/ COOKTOP: - PROVIDE HOOD, LIGHT AND EXHAUST FAN ABOVE (OPT. MICROWAVE OVEN) - VENT TO OUTSIDE AIR.
- PLUMBING5.1 PLUMBING FIXTURES AND FITTINGS SHALL MEET THE REQUIREMENTS IN SECTION 4.3035.2 FAUCETS IN KITCHENS, WET BARS, LAVATORIES, LAUNDRY SINKS, ETC. SHALL HAVE A WATER FLOW NOT TO EXCEED 1.5 GALLONS PER MINUTE. (C.B.C. 4.303)5.3 WATER HEATER: RINNAI TANKLESS "DIRECT" VENT WATER HEATER TO OUTSIDE AIR PER MANUFACTURERS RECOMMENDATIONS - IN ATTIC W/ PAN DRAIN TO LAUNDRY.5.4 TUB/SHOWER: PRE-FORMED FIBERGLASS MIN. 72" HIGH - PROVIDE CURTAIN ROD OR TEMPERED GLASS ENCLOSURE - POSITION SHOWER HEAD AT +76" A.F.F. TUB & SHOWER FLOORS & WALLS ABOVE TUB WITH HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACE SHALL EXTEND TO 60" HEIGHT ABOVE DRAIN5.5 ALL PLUMBING FIXTURES SHALL BE CONNECTED TO AN APPROVED WATER SUPPLY, LAVATORIES, BATHTUBS, SHOWERS, AND OTHERS SHALL BE PROVIDED WITH HOT & COLD WATER. R306.4.
- MECHANICAL6.1 VERIFY LOCATIONS AND SIZES WITH MECHANICAL PLANS6.2 A MINIMUM OPENING OF 100 SQ. IN. FOR MAKE-UP AIR SHALL BE PROVIDED IN THE LAUNDRY ROOM DOOR OR BY OTHER APPROVED MEANS PER C.M.C. SECTION 504.3.16.3 FORCED AIR UNIT(S) IN ATTIC - MAINTAIN 30" VERTICAL CLEAR HEADROOM ALONG MIN. 24" WIDE PLYWOOD CATWALK TO ATTIC ACCESS - MAXIMUM LENGTH 20'-0" - SEE DETAIL 15/S-26.4 AIR CONDITIONING CONDENSER UNIT SECURLY FASTENED TO CONCRETE OR FIBERGLASS PAD6.5 ALL NEW LOW-RISE RESIDENTIAL BUILDINGS MUST HAVE A WHOLE HOUSE VENTILATION SYSTEM THAT PROVIDES A CALCULATED MINIMUM AMOUNT OF OUTDOOR AIR BY USING EITHER A CONTINUOUSLY RUNNING BATHROOM FAN OR A SUPPLY RETURN AIR VENTILATION THRU A CENTRAL HVAC SYSTEM. THE MINIMUM VENTILATION VOLUME MUST BE A MINIMUM OF 1 C.F.M. FOR EACH 100 SQ.FT. OF RUNNING BATHROOM FAN OR A SUPPLY RETURN AIR VENTILATION THRU A CENTRAL HVAC SYSTEM. THE MINIMUM VENTILATION VOLUME MUST BE A MINIMUM OF 1 C.F.M. FOR EACH 100 SQ.FT. OF FLOOR AREA PLUS 7.5 C.F.M. FOR EACH OCCUPANT. THE NUMBER OF OCCUPANTS IS DETERMINED BY MULTIPLYING THE NUMBER OF BEDROOMS AND THEN ADDING ONE. (ASHRAE 62.2) TOTAL CFM RATING = 78.38

FLOOR PLAN - KEYNOTES

- SPATIAL1A LINE OF FLOOR/WALL BELOW1B LINE OF FLOOR/WALL ABOVE1C LINE OF CEILING HEIGHT CHANGE1D PROPERTY LINE
- EXTERIORS (REFER TO EXTERIOR ELEVATIONS)2A NEWEL POST2B 36" HIGH DECORATIVE RAILING2C 42" HIGH GUARDRAIL SEE DETAIL 15/AD.12D MER-KO ELASTOMERIC DECKING ICC-ES 3389 OR APPROVED EQUAL - INSTALL PER MANUFACTURER'S INSTRUCTIONS2E TREX DECKING - INSTALL PER MANUFACTURES INSTRUCTIONS
- STAIRS3A 36" HIGH CONTINUOUS WALL MOUNTED HANDRAIL - SEE DETAIL3B 42" HIGH GYPSUM BOARD PONYWALL/GUARDWALL - SEE DETAIL3C 42" HIGH GUARDRAIL WITH BALUSTERS SPACED AT 3.99" MAXIMUM CLEAR - SEE DETAIL 1/AD.23D STAIR RAILING (36" HIGH ABOVE STAIR TREAD NOSING) W/ BALUSTERS SPACED AT 3.99" MAX. CLEAR - SEE DETAIL 1/AD.2
- INTERIORS4A LINE OF FLOOR MATERIAL CHANGE4B 2x6 STUD WALL FRAMING4C ALIGN WINDOW SILL WITH COUNTER TOP
- OPENINGS5A 1 3/4" THICK, SOLID CORE, TIGHT-FITTING, SELF-CLOSING, 20 MINUTE RATED DOOR5B APPROVED 22"x30" RATED ATTIC ACCESS TO MAINTAIN HOUSE TO GARAGE SEPARATION REQUIRED BY C.B.C. SECTION 406.1.4 WITH MINIMUM 30" CLEAR HEADROOM ABOVE
- CABINETS AND COUNTERS6A LOWER CABINETRY6B UPPER CABINETRY6C VANITY CABINETRY6D ISLAND CABINETRY6E 4'-0" DEEP LOCKABLE STORAGE WALL MOUNTED UPPER CABINETS 142" FLOOR CLEARANCE6F FULL HEIGHT CABINETRY6G SHELVS (5) 16" U.N.O.6H EATING BAR AT +36" / 42" A.F.F.
- PLUMBING7A HOT-MOPPED SHOWER PAN WITH MUDSET CERAMIC TILE FLOOR AND SURROUND TO +84" A.F.F. PROVIDE TEMPERED GLASS ENCLOSURE AND DOOR. POSITION SHOWER HEAD AT +76" A.F.F.7B DECK DRAIN - SEE DETAIL

FLOOR PLAN - SYMBOL

- SHELF AND POLE
- PROPOSED NEW WALL
- 12" GYPSUM BOARD DROP SOFFIT U.N.O. EXTERIOR SOFFIT - SEE ELEVATIONS
- LAVATORY SINK
- KITCHEN SINK: 36" DOUBLE WITH GARBAGE DISPOSAL
- WATER CLOSET: CLEAR SPACE NOT LESS THAN 30" IN WIDTH AND WITH NOT LESS THAN 24" CLEAR SPACE IN FRONT OF THE WATER CLOSET STOOL

Owner: Feng Ling Ou  
APN: 374-112-019-6, Lakeview, CA 92530  
Phone: (909) 969-1891

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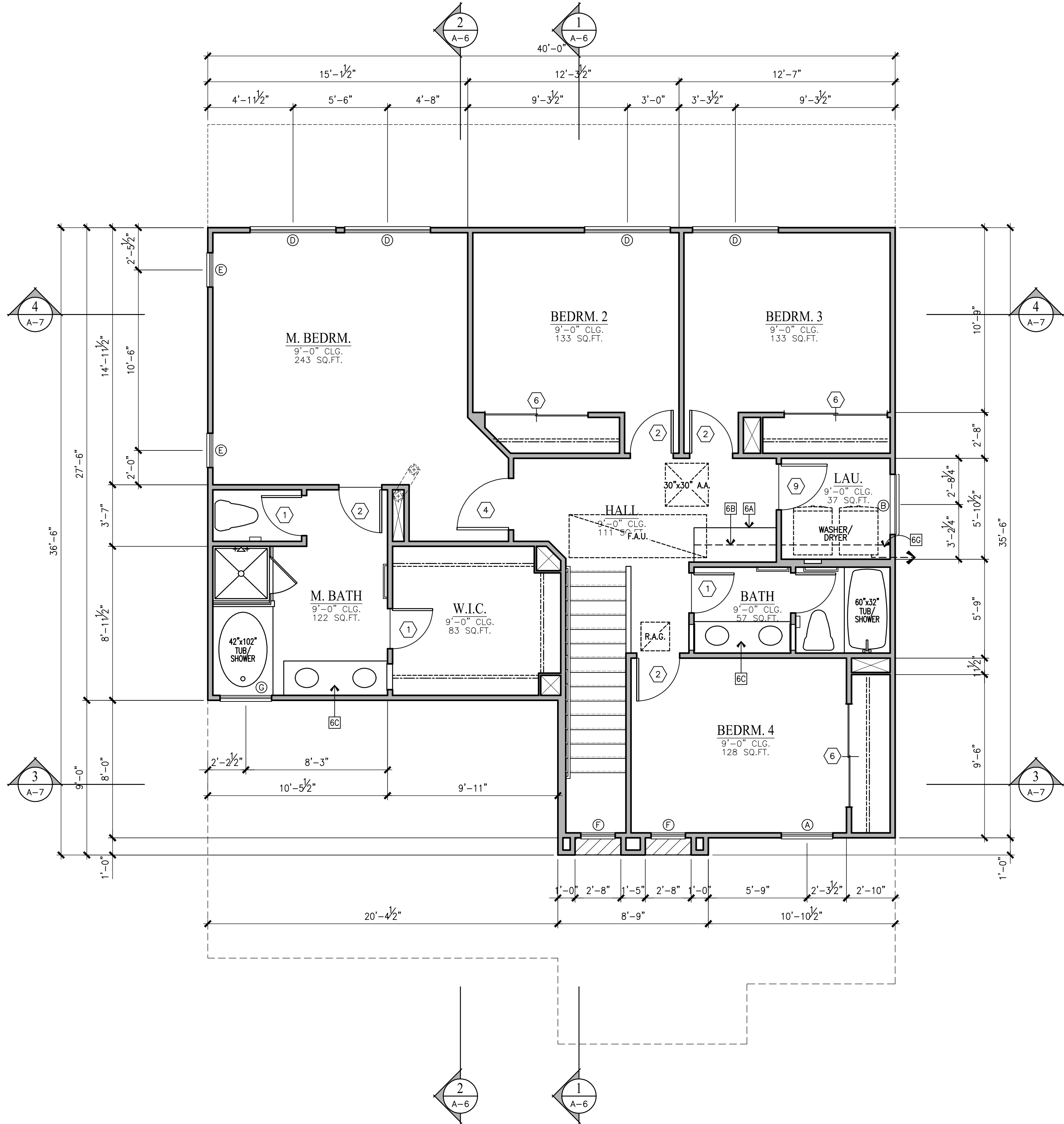
17008

Sheet #

A-2



WINDOW SCHEDULE									
WINDOW NUMBER	WIDTH	HEIGHT	TYPE	MATERIAL	GLAZING AREA	U-FACTOR	SHGC	EGRESS AREA	TEMPERED GLASS
A	3'-0"	5'-0"	SH	VINYL	15	0.32	0.25	7.5	N/A
B	3'-6"	4'-0"	SL	VINYL	14	0.32	0.25	7	N/A
C	4'-0"	5'-0"	SL	VINYL	20	0.32	0.25	10	N/A
D	5'-0"	5'-0"	SL	VINYL	25	0.32	0.25	12.5	N/A
E	2'-0"	4'-0"	SH	VINYL	8	0.32	0.25	4	N/A
F	2'-0"	4'-0"	FX	VINYL	8	0.32	0.25	N/A	N/A
G	3'-0"	5'-0"	SH	VINYL	15	0.32	0.25	7.5	YES
DOOR SCHEDULE									
DOOR NUMBER	WIDTH	HEIGHT	DOOR TEMP.	GL.	REMARKS				
1	2'-4"	8'-0"			HOLLOW CORE				
2	2'-6"	8'-0"			HOLLOW CORE				
3	6'-0"	8'-0"			BI-FOLD DOORS				
4	3'-0"	8'-0"			HOLLOW CORE				
5	3'-0"	8'-0"			SOLID CORE				
6	6'-0"	8'-0"			BI-PASS DOOR HOLLOW CORE				
7	2'-8"	8'-0"			SOLID CORE				
8	16'-0"	8'-0"			SECTIONAL GARAGE DOOR				
9	2'-8"	8'-0"			HOLLOW CORE				



### FLOOR PLAN - GENERAL NOTES

1. GENERAL

1.1 ALL INTERIOR AND EXTERIOR DOOR HEIGHTS SHALL BE 8'-0" UNLESS NOTED OTHERWISE ON PLANS

1.2 INSULATION TO BE ENCLOSED ON ALL SIDES.

1.3 THE LANDING AT IN-SWINGING DOORS OTHER THAN THE REQUIRED EGRESS SHALL NOT BE MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD. (R311.3 CRC)

1.4 APPROVED WEATHER STRIPPED SHALL BE PROVIDED AROUND THE PERIMETER OF THE ATTIC ACCESS OPENING. CEC 110.7

1.5 ALL EXTERIOR GLAZING SHALL HAVE A MIN. OF ONE TEMPERED PANE PER C.B.C. 708A.

1.6 MAXIMUM ALLOWED U-FACTOR = 0.32 MAXIMUM ALLOWED SHGC = 0.25

2. EXTERIORS (REFER TO EXTERIOR ELEVATIONS)

2.1 PORCH AND PATIO CEILINGS TO BE STUCCO OVER HIGH RIBBED METAL LATH U.N.O.

3. INTERIORS

3.1 GARAGE WALLS AND VERTICAL SURFACES: PROVIDE MINIMUM (1) LAYER 1/2" GYPSUM BOARD

3.2 GARAGE CEILINGS: PROVIDE MINIMUM (1) LAYER 1/2" GYPSUM BOARD WITH ATTIC SPACE ABOVE - PROVIDE MINIMUM (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD WITH LIVABLE SPACE ABOVE.

3.3 UNDER STAIRS SPACES: PROVIDE MINIMUM 1/2" GYPSUM BOARD AT ALL WALL AND CEILING SURFACES OF ENCLOSED USABLE

3.4 ADD 2x12 BAKING AT SMURF TUB LOCATIONS DETERMINED BY BUILDER

3.5 ALL HANDRAILS SHALL HAVE A HEIGHT BETWEEN 34" TO 38" MEASURED FROM THE TREAD NOSING. HANDRAILS WITH CIRCULAR CROSS SECTION SHALL HAVE OUTSIDE THE DIAMETER BETWEEN 1.25" TO 2". HANDRAILS WITH NON-CIRCULAR CROSS SECTION SHALL HAVE PERIMETER DIMENSION BETWEEN 4" TO 6 1/4". OPENING BETWEEN THE GUARDS (BALLISTERS ORNAMENTAL PATTERNS) SHALL BE CAPABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200# APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP.

4. APPLIANCES

4.1 VERIFY ALL CLEAR OPENING REQUIREMENTS

4.2 REFRIGERATOR: PROVIDE RECESSED COLD WATER BIBB FOR ICE MAKE.

4.3 CLOTHES WASHER AND CLOTHES DRYER: CLOTHES WASHER SHALL BE ON THE LEFT SIDE - PROVIDE HOT & COLD WATER SUPPLY (RECESSED) & WASTE CONNECTIONS - PROVIDE AN APPROVED "SMITY" PAN WHEN WASHER IS LOCATED ON SECOND FLOOR. CLOTHES DRYER SHALL BE ON RIGHT SIDE - PROVIDE 4" DIAMETER DRYER VENT TO OUTSIDE AIR - MAXIMUM 14' LONG W/ (2) 90 DEG. ELBOWS UNLESS APPROVED OTHERWISE. DRYER EXHAUST VENTS TO BE MIN. 5'-0" FROM A/C CONDENSER. 2" SHALL BE DEDUCTED FOR EACH 90 DEG. ELBOW IN EXCESS OF 2 (504.3.2.2 & 504.3.2.2 CMC)

4.4 RANGE/ COOKTOP: - PROVIDE HOOD, LIGHT AND EXHAUST FAN ABOVE (OPT. MICROWAVE OVEN) - VENT TO OUTSIDE AIR.

5. PLUMBING

5.1 PLUMBING FIXTURES AND FITTINGS SHALL MEET THE REQUIREMENTS IN SECTION 4.303

5.2 FAUCETS IN KITCHENS, WET BARS, LAVATORIES, LAUNDRY SINKS, ETC. SHALL HAVE A WATER FLOW NOT TO EXCEED 1.5 GALLONS PER MINUTE. (C.G.B.C. 4.303)

5.3 WATER HEATER: RINNAI TANKLESS "DIRECT" VENT WATER HEATER TO OUTSIDE AIR PER MANUFACTURERS RECOMMENDATIONS - IN ATTIC W/ PAN DRAIN TO LAUNDRY.

5.4 TUB/SHOWER: PRE-FORMED FIBERGLASS MIN. 72" HIGH - PROVIDE CURTAIN ROD OR TEMPERED GLASS ENCLOSURE - POSITION SHOWER HEAD AT +76" A.F.F. TUB & SHOWER FLOORS & WALLS ABOVE TUB WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACE SHALL EXTEND TO 60" HEIGHT ABOVE DRAIN

5.5 ALL PLUMBING FIXTURES SHALL BE CONNECTED TO AN APPROVED WATER SUPPLY. LAVATORIES, BATHTUBS, SHOWERS, AND OTHERS SHALL BE PROVIDED WITH HOT & COLD WATER. R306.4.

6. MECHANICAL

6.1 VERIFY LOCATIONS AND SIZES WITH MECHANICAL PLANS

6.2 A MINIMUM OPENING OF 100 SQ. IN. FOR MAKE-UP AIR SHALL BE PROVIDED IN THE LAUNDRY ROOM DOOR OR BY OTHER APPROVED MEANS PER C.M.C. SECTION 504.3.1

6.3 FORCED AIR UNIT(S) IN ATTIC - MAINTAIN 30" VERTICAL CLEAR HEADROOM ALONG MIN. 24" WIDE PLYWOOD CATWALK TO ATTIC ACCESS - MAXIMUM LENGTH 20'-0" - SEE DETAIL 15/S-2

6.4 AIR CONDITIONING CONDENSER UNIT SECURLY FASTENED TO CONCRETE OR FIBERGLASS PAD

6.5 ALL NEW LOW-RISE RESIDENTIAL BUILDINGS MUST HAVE A WHOLE HOUSE VENTILATION SYSTEM THAT PROVIDES A CALCULATED MINIMUM AMOUNT OF OUTDOOR AIR BY USING EITHER A CONTINUOUSLY RUNNING BATHROOM FAN OR A SUPPLY RETURN AIR VENTILATION THRU A CENTRAL HVAC SYSTEM. THE MINIMUM VENTILATION VOLUME MUST BE A MINIMUM OF 1 C.F.M. FOR EACH 100 SQ.FT. OF RUNNING BATHROOM FAN OR A SUPPLY RETURN AIR VENTILATION THRU A CENTRAL HVAC SYSTEM. THE MINIMUM VENTILATION VOLUME MUST BE A MINIMUM OF 1 C.F.M. FOR EACH 100 SQ.FT. OF FLOOR AREA PLUS 7.5 C.F.M. FOR EACH OCCUPANT. THE NUMBER OF OCCUPANTS IS DETERMINED BY MULTIPLYING THE NUMBER OF BEDROOMS AND THEN ADDING ONE. (ASHRAE 62.2) TOTAL CFM RATING = 78.38

### FLOOR PLAN - KEYNOTES

1. SPATIAL

1A LINE OF FLOOR/WALL BELOW

1B LINE OF FLOOR/WALL ABOVE

1C LINE OF CEILING HEIGHT CHANGE

1D PROPERTY LINE

2. EXTERIORS (REFER TO EXTERIOR ELEVATIONS)

2A NEWEL POST

2B 36" HIGH DECORATIVE RAILING

2C 42" HIGH GUARDRAIL SEE DETAIL 15/AD.1

2D MER-KO ELASTOMERIC DECKING ICC-ES 3389 OR APPROVED EQUAL - INSTALL PER MANUFACTURER'S INSTRUCTIONS

2E TREX DECKING - INSTALL PER MANUFACTURES INSTRUCTIONS

3. STAIRS

3A 36" HIGH CONTINUOUS WALL MOUNTED HANDRAIL - SEE DETAIL

3B 42" HIGH GYPSUM BOARD PONYWALL/GUARDWALL - SEE DETAIL

3C 42" HIGH GUARDRAIL WITH BALUSTERS SPACED AT 3.99" MAXIMUM CLEAR - SEE DETAIL 1/AD.2

3D STAIR RAILING (36" HIGH ABOVE STAIR TREAD NOSING) W/ BALUSTERS SPACED AT 3.99" MAX. CLEAR - SEE DETAIL 1/AD.2

4. INTERIORS

4A LINE OF FLOOR MATERIAL CHANGE

4B 2x6 STUD WALL FRAMING

4C ALIGN WINDOW SILL WITH COUNTER TOP

5. OPENINGS

5A 1 3/4" THICK, SOLID CORE, TIGHT-FITTING, SELF-CLOSING, SELF LATCHING, 20 MINUTE RATED DOOR

5B APPROVED 22"x30" RATED ATTIC ACCESS TO MAINTAIN HOUSE TO GARAGE SEPARATION REQUIRED BY C.B.C. SECTION 406.1.4 WITH MINIMUM 30" CLEAR HEADROOM ABOVE

6. CABINETS AND COUNTERS

6A LOWER CABINETRY

6B UPPER CABINETRY

6C VANITY CABINETRY

6D ISLAND CABINETRY

6E 4'-0" DEEP LOCKABLE STORAGE WALL MOUNTED UPPER CABINETS ±42" FLOOR CLEARANCE

6F FULL HEIGHT CABINETRY

6G SHELVING (5) 16" U.N.O.

6H EATING BAR AT +36" / 42" A.F.F.

7. PLUMBING

7A HOT-MOPPED SHOWER PAN WITH MUDSET CERAMIC TILE FLOOR AND SURROUND TO +84" A.F.F. PROVIDE TEMPERED GLASS ENCLOSURE AND DOOR. POSITION SHOWER HEAD AT +76" A.F.F.

7B DECK DRAIN - SEE DETAIL

### FLOOR PLAN - SYMBOL

===== SHELF AND POLE

===== PROPOSED NEW WALL

~~~~~ -12" GYPSUM BOARD DROP SOFFIT U.N.O. EXTERIOR SOFFIT - SEE ELEVATIONS

○ LAVATORY SINK

○ KITCHEN SINK: 36" DOUBLE WITH GARBAGE DISPOSAL

○ WATER CLOSET: CLEAR SPACE NOT LESS THAN 30" IN WIDTH AND WITH NOT LESS THAN 24" CLEAR SPACE IN FRONT OF THE WATER CLOSET STOOL

SECOND FLOOR PLAN

SCALE: 1/4" = 1' - 0"

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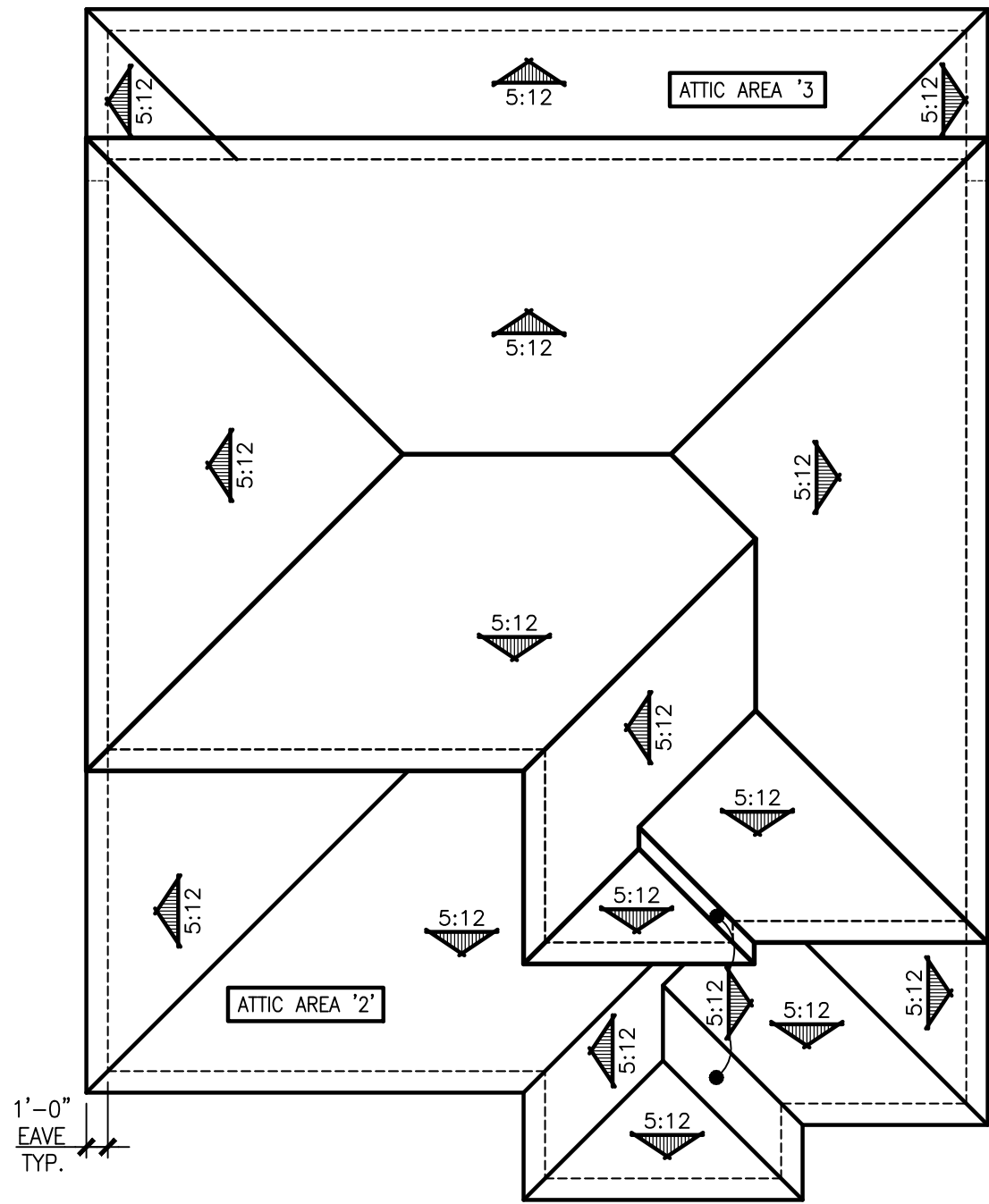
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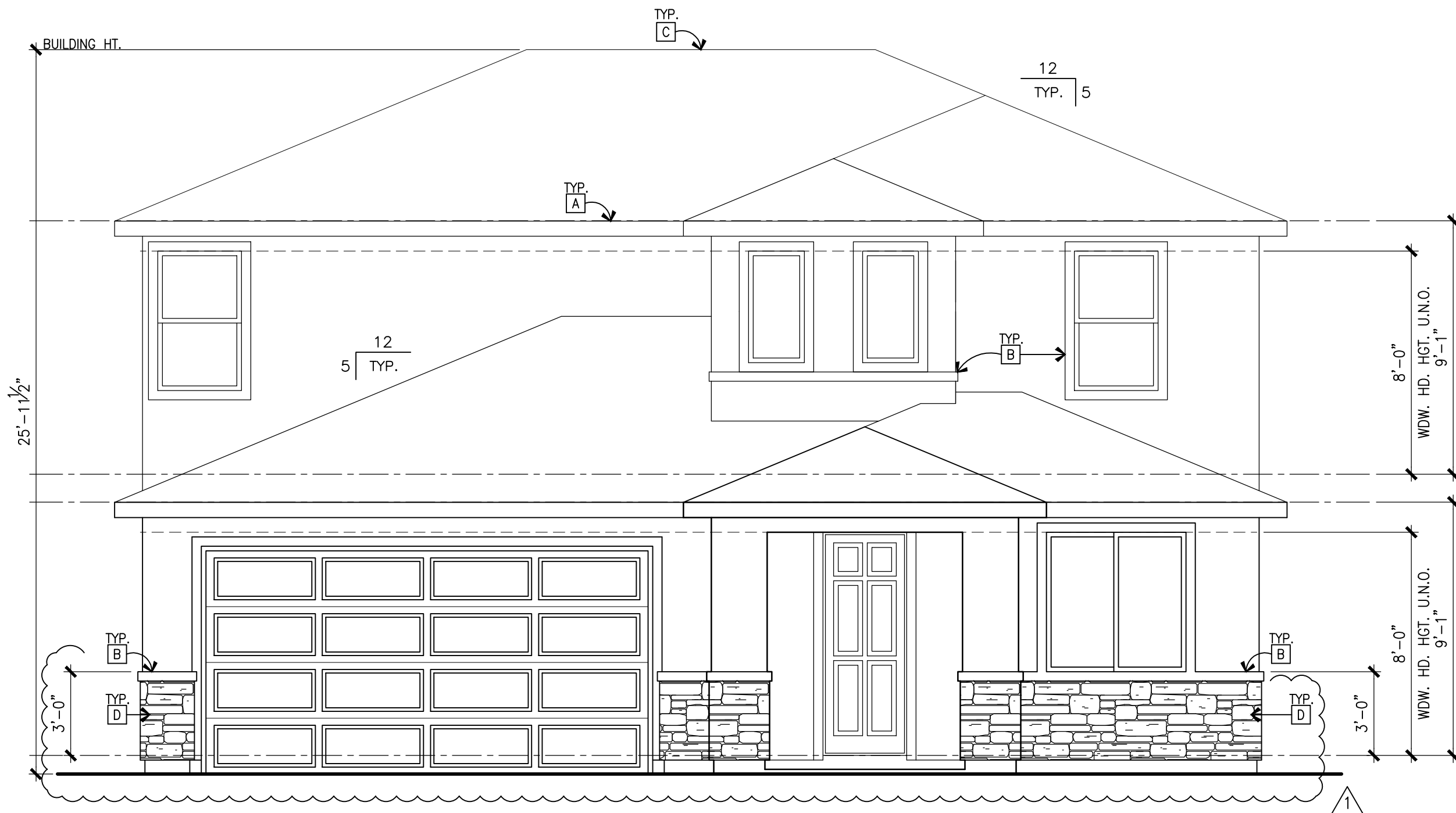
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ROOF PLAN

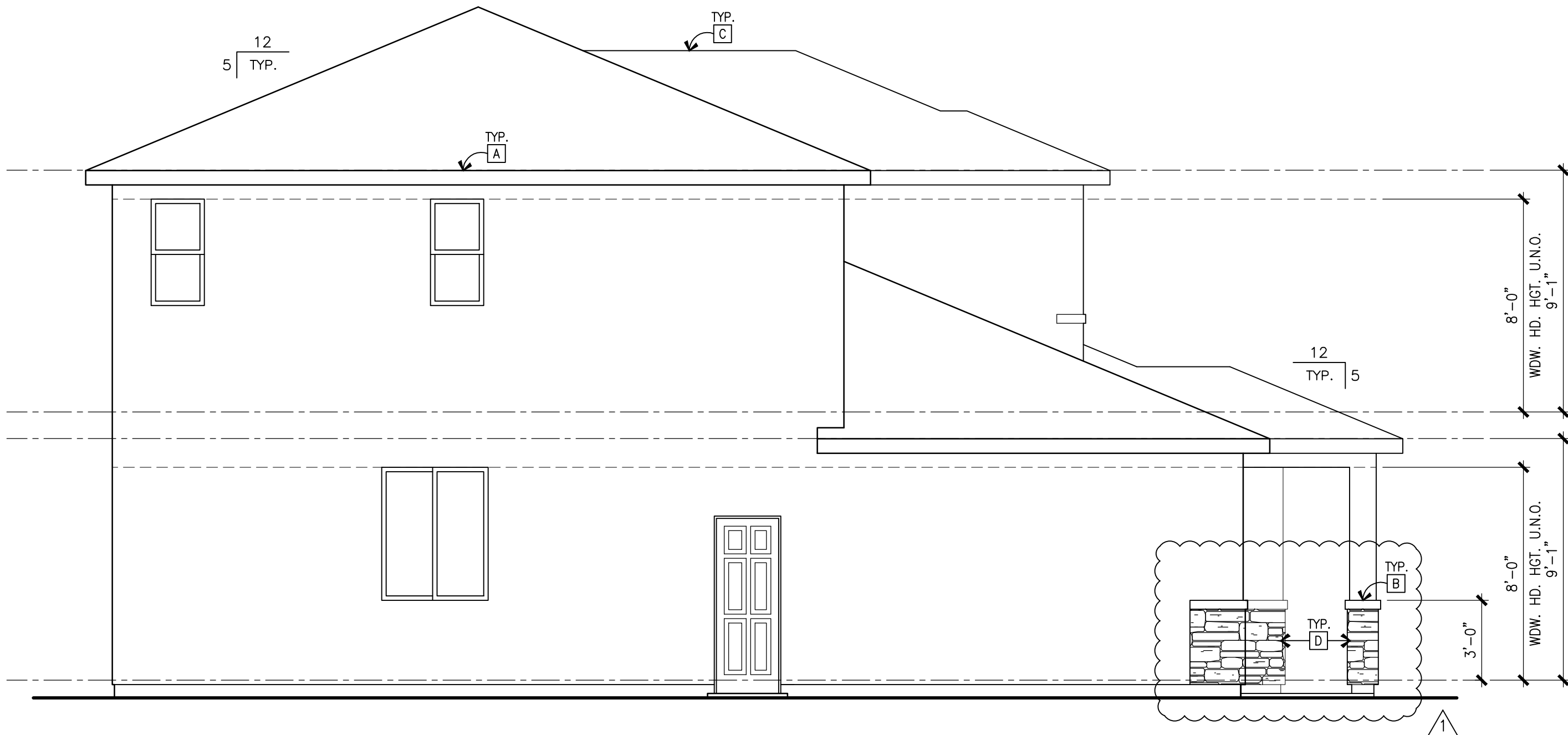
ROOF MATERIAL: ASPHALT SHINGLES

SCALE: 1/8" = 1' - 0"



SOUTH ELEVATION

SCALE: 1/4" = 1' - 0"



WEST ELEVATION

SCALE: 1/4" = 1' - 0"

EXTERIOR ELEVATION - GENERAL NOTES

- ALL KEYNOTES, DETAILS AND DIMENSIONS ARE TYPICAL TO THEIR CONDITION U.N.O. ON ELEVATION.
- EXTERIOR FINISH - PLASTER (3-COAT STUCCO) - 2 LAYERS OF APPROVED BUILDING PAPER UNDER STUCCO WHEN OVER WOOD SHEATHING (C.R.C. 703.6.3) - PROVIDE HIGH RIB METAL LATH AT SOFFIT AND CEILINGS U.N.O.

EXTERIOR ELEVATION - KEYNOTES

- EXTERIOR FINISHES
  - 2x8 FASCIA BOARD COLOR CHERRIT COLA (DEA156) MANUFACTURER DUNCAN EDWARDS PAINT
  - STUCCO OVER EXPANDED POLYSTYRENE (E.P.S.) DECORATIVE FOAM TRIM COLOR SUN DRIED 3011L (17) MANUFACTURER LA HABRA
  - ROOF MATERIAL - 30 YEAR CLASS 'A' ASPHALT COMPOSITION ROOFING OR BETTER U.L. FIRE RESISTANCE U.L. WIND RESISTANCE OR APPROVED EQUAL OVER (1) LAYER 30# ROOFING FELT (PROVIDE (2) LAYERS OF 30# ROOFING FELT ON LOWER ROOFS) ASTM D3161, ASTM D3018 TYPE 1 INSTALL PER MANUFACTURER'S INSTRUCTIONS. SHINGLES BY OWENS CORNING ICC-ES-ESR-1389
  - STONE VENER MANUFACTURER: ADORN COLOR: DESERT TAN

EXTERIOR ELEVATION - FINISH MATERIAL & COLOR

- ALL FASCIA BOARD COLOR CHERRY COLA (DEA156) BY DUNCAN EDWARDS PAINT
- STUCCO MANUFACTURER: LA HABRA COLOR CHABUS #12 (74)
- ROOF MANUFACTURER: OWENS CORNING COLOR DESERT TAN
- STUCCO FOAM TRIM COLOR SUN DRIED 3011L (17) MANUFACTURER LA HABRA
- ROOF VENTS MANUFACTURER:
  - O'HAGIN ROOF VENT TO MATCH ROOF SHINGLE COLOR
- STONE VENER MANUFACTURER: ADORN COLOR: DESERT TAN

ROOF PLAN - GENERAL NOTES

- ROOF MATERIAL - 30 YEAR CLASS 'A' ASPHALT COMPOSITION ROOFING OR BETTER U.L. FIRE RESISTANCE U.L. WIND RESISTANCE OR APPROVED EQUAL OVER (1) LAYER 30# ROOFING FELT (PROVIDE (2) LAYERS OF 30# ROOFING FELT ON LOWER ROOFS) ASTM D3161, ASTM D3018 TYPE 1 INSTALL PER MANUFACTURER'S INSTRUCTIONS. SHINGLES BY OWENS CORNING ICC-ES-ESR-1389
- ROOF TILE NAILING SHALL BE PER THE MANUFACTURER'S SPECIFICATIONS WITH THE FOLLOWING MINIMUM REQUIREMENTS:
  - 11 GA. CORROSION RESISTANT NAILS WITH MINIMUM 3/4" PENETRATION INTO SHEATHING PER C.R.C. SECTION 905.3.6 AND IN ACCORDANCE WITH C.R.C. TABLE 905.3.7.
  - HEADS OF ALL TILE SHALL BE NAILED.
  - THE NOSES OF ALL EAVE COURSE TILES SHALL BE FASTENED WITH APPROVED CLIPS.
  - ALL TILES SHALL BE NAILED AS REQUIRED BY MANUFACTURER'S INSTRUCTIONS.
  - THE NOSES OF ALL RIDGE, HIP AND RAKE TILES SHALL BE SET IN A BEAD OF APPROVED ROOFER'S MASTIC.
- PROVIDE MINIMUM 26 GA. CORROSION RESISTANT METAL FLASHING AT ALL VALLEYS AND ROOF-TO-WALL CONDITIONS.
- PROVIDE DIVERTERS AT DOORS AS REQUIRED.
- PROVIDE A MINIMUM 22"x30" ACCESS OPENING IN ROOF SHEATHING TO OVER FRAMED ATTIC AREAS WITH 30" MINIMUM HEAD CLEARANCE - PROVIDE A 12"x12" OPENING IN ROOF SHEATHING TO OVER FRAMED ATTIC AREAS WITH LESS THAN 30" HEAD CLEARANCE FOR VENTILATION.
- ALL ROOF, WALL AND EAVE VENTS SHALL BE SCREENED WITH CORROSION RESISTANT, NON-COMBUSTIBLE WIRE MESH WITH 1/4" MAXIMUM MESH OPENINGS.
- NET FREE AIR VALUES FOR VENTS USED IN OUR VENTILATION CALCULATIONS ARE BASED ON "C & J METAL PRODUCTS INC." AT WWW.CJMETALS.COM & BY "O'HAGIN'S, INC." AT WWW.OHAGINVENT.COM THESE VALUES ARE SUBJECT TO CHANGE WITHOUT NOTIFICATION AND MUST BE VERIFIED BY INSTALLER AT TIME OF INSTALLATION - APPROVED EQUAL PRODUCTS MUST PROVIDE THE NET FREE AIR VENTILATION TOTALS REQUIRED BY THE CALCULATIONS PROVIDED ON THESE ARCHITECTURAL DRAWINGS.
- RADIANT BARRIER WITH AN EMITTANCE OF 0.05 OR LESS REQUIRED AT UNDERSIDE OF ROOF SHEATHING & ATTIC SIDE OF GABLE END WALLS - REFER TO T-24 & ENERGY CALCULATIONS.
- PROVIDE KICK OUT FLASHING AT ALL FASCIA TO WALL TERMINATIONS

ROOF PLAN - KEYNOTES

- EDGE OF ROOF
- EDGE OF BUILDING BELOW

ROOF PLAN - SYMBOLS

- INDICATES DIRECTION OF ROOF PITCH
- INDICATES "O'HAGIN" CLOAKED TILE VENT OR APPROVED EQUAL

ATTIC VENT NOTES

- ATTIC VENTS SHALL MEET THE FOLLOWING (R806.1, R806.2). THE NET FREE VENTILATION AREA SHALL BE LESS THAN: 1/150 OF ATTIC SPACE OR 1/300 PROVIDE 'A' CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE WARM SIDE OF CEILING OR 1/300 PROVIDE AT LEAST 50% AND NOT MORE THAN 80% OF REQUIRED VENTILATION AREA MUST BE LOCATED AT LEAST 3'-0" ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE PROVIDED BY EAVE OR CORNICE VENTS
- OPENINGS SHALL HAVE CORROSION RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/16" MINIMUM AND 1/4" MAXIMUM OPENING.

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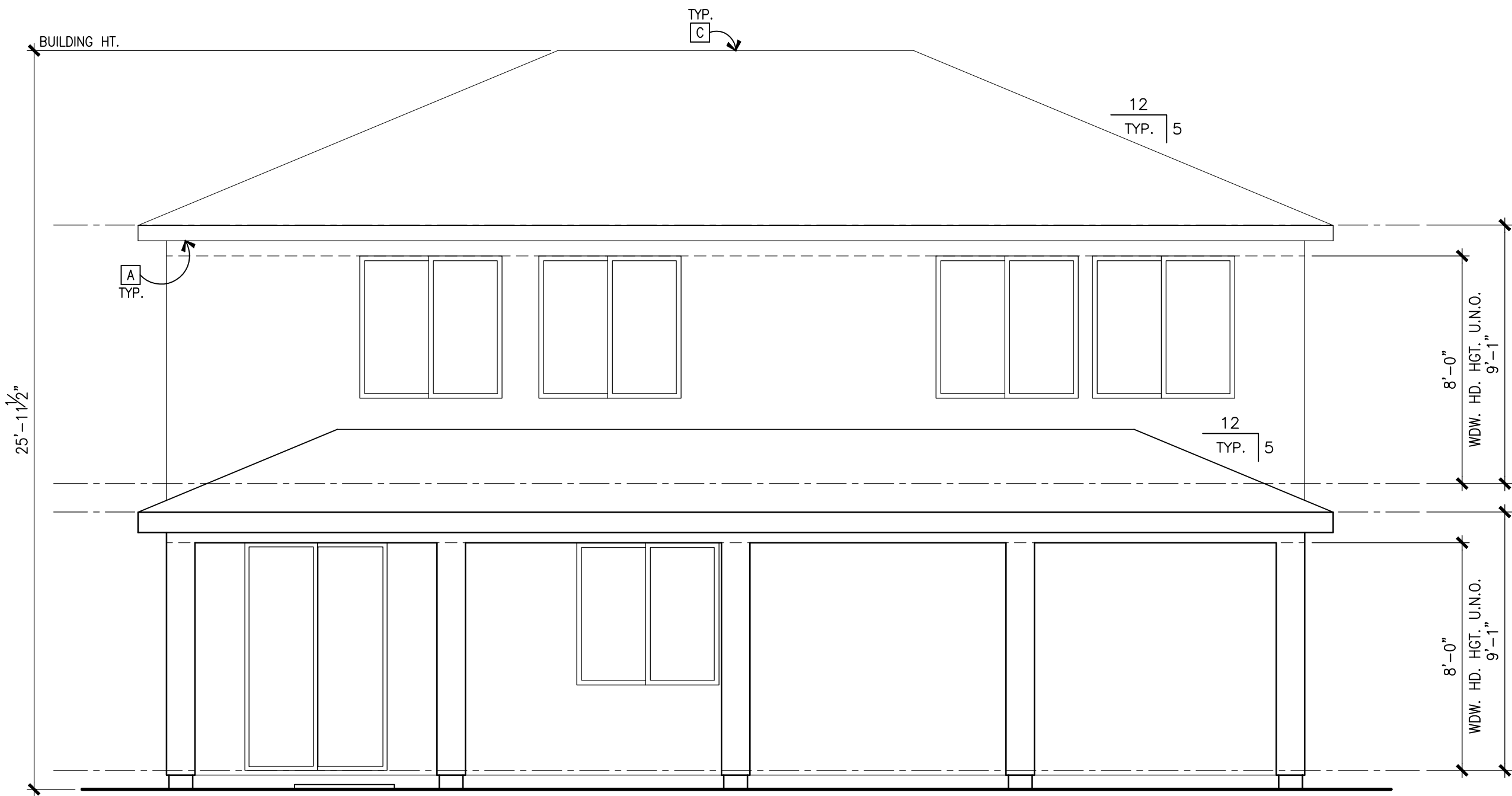
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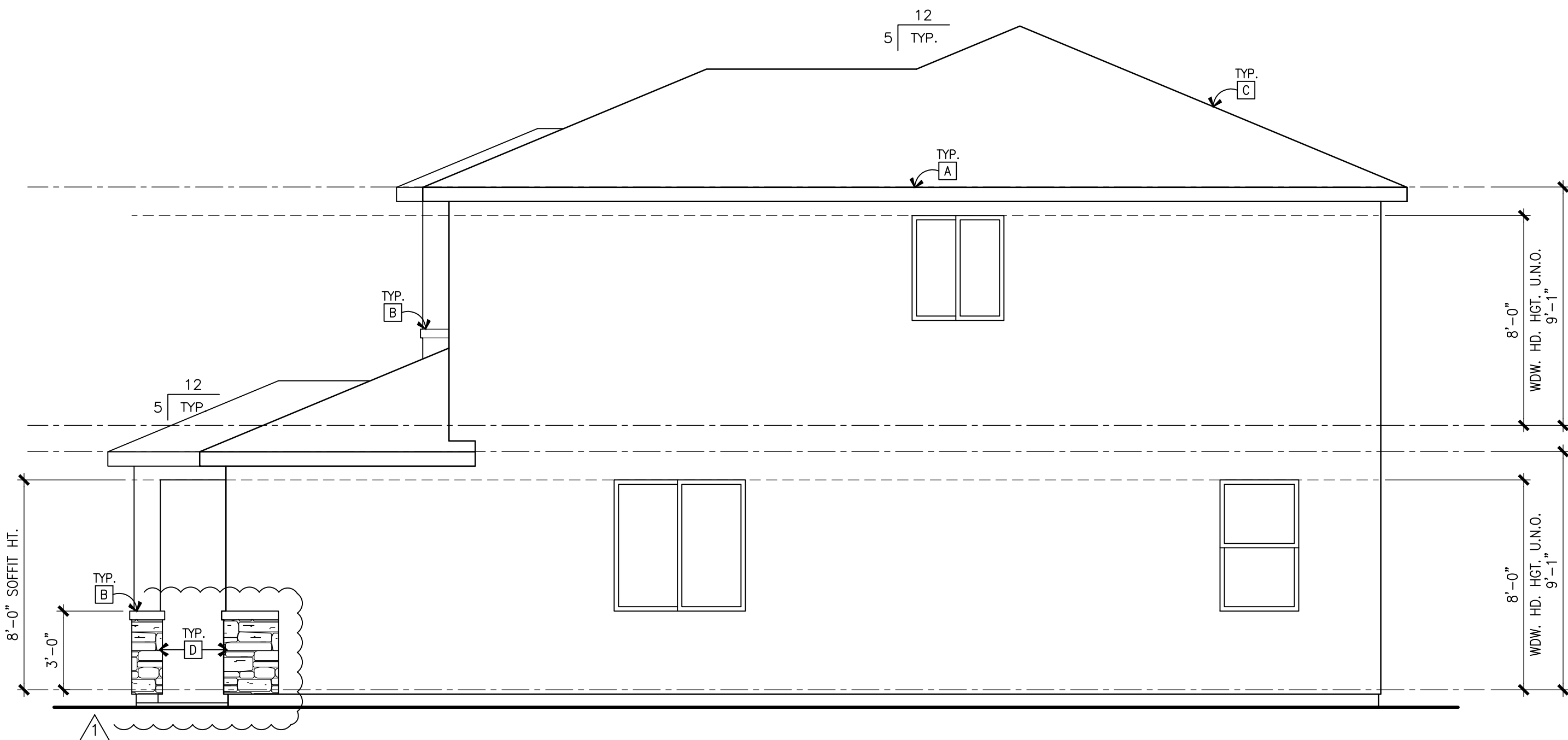
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| Revision Date |
| 6/12/18       |
| Design by:    |
| Rene Alvarez  |
| Project #     |
| 17008         |
| Sheet #       |
| A-4           |





NORTH ELEVATION

SCALE: 1/4" = 1' - 0"



EAST ELEVATION

SCALE: 1/4" = 1' - 0"

EXTERIOR ELEVATION - GENERAL NOTES

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- EXTERIOR FINISH - PLASTER (3-COAT STUCCO) - 2 LAYERS OF APPROVED BUILDING PAPER UNDER STUCCO WHEN OVER WOOD SHEATHING (C.R.C. 703.6.3) - PROVIDE HIGH RIB METAL LATH AT SOFFIT AND CEILINGS U.N.O.

EXTERIOR ELEVATION - KEYNOTES

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- STONE VENEER MANUFACTURER: ADORN COLOR: DESERT TAN

EXTERIOR ELEVATION - FINISH MATERIAL & COLOR

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- ROOF MANUFACTURER: OWENS CORNING COLOR: DESERT TAN
- STUCCO FOAM TRIM COLOR: SUN DRIED 3011L (17) MANUFACTURER: LA HABRA
- ROOF VENTS MANUFACTURER: A - OTHAGIN ROOF VENT TO MATCH ROOF SHINGLE COLOR
- STONE VENEER MANUFACTURER: ADORN COLOR: DESERT TAN

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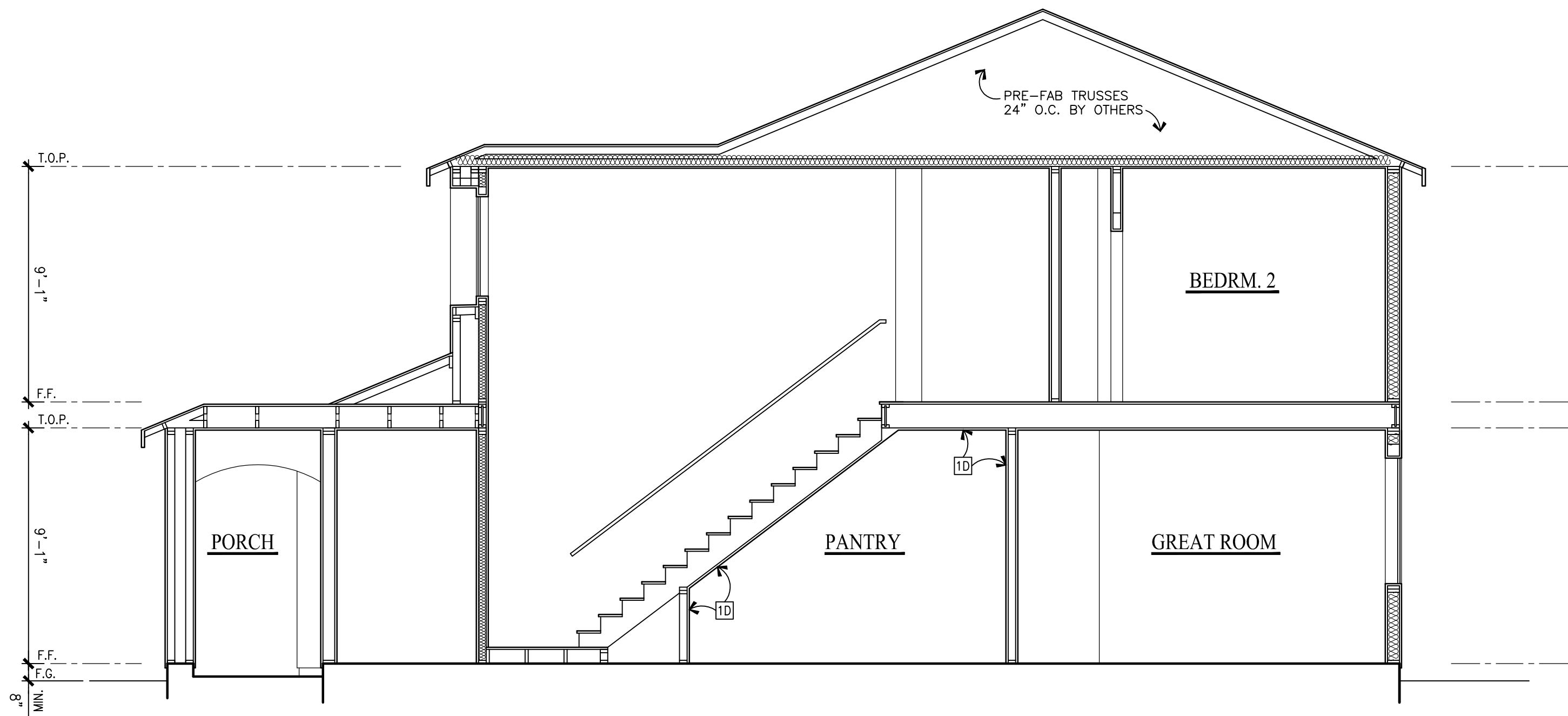
Rene Alvarez

Project #

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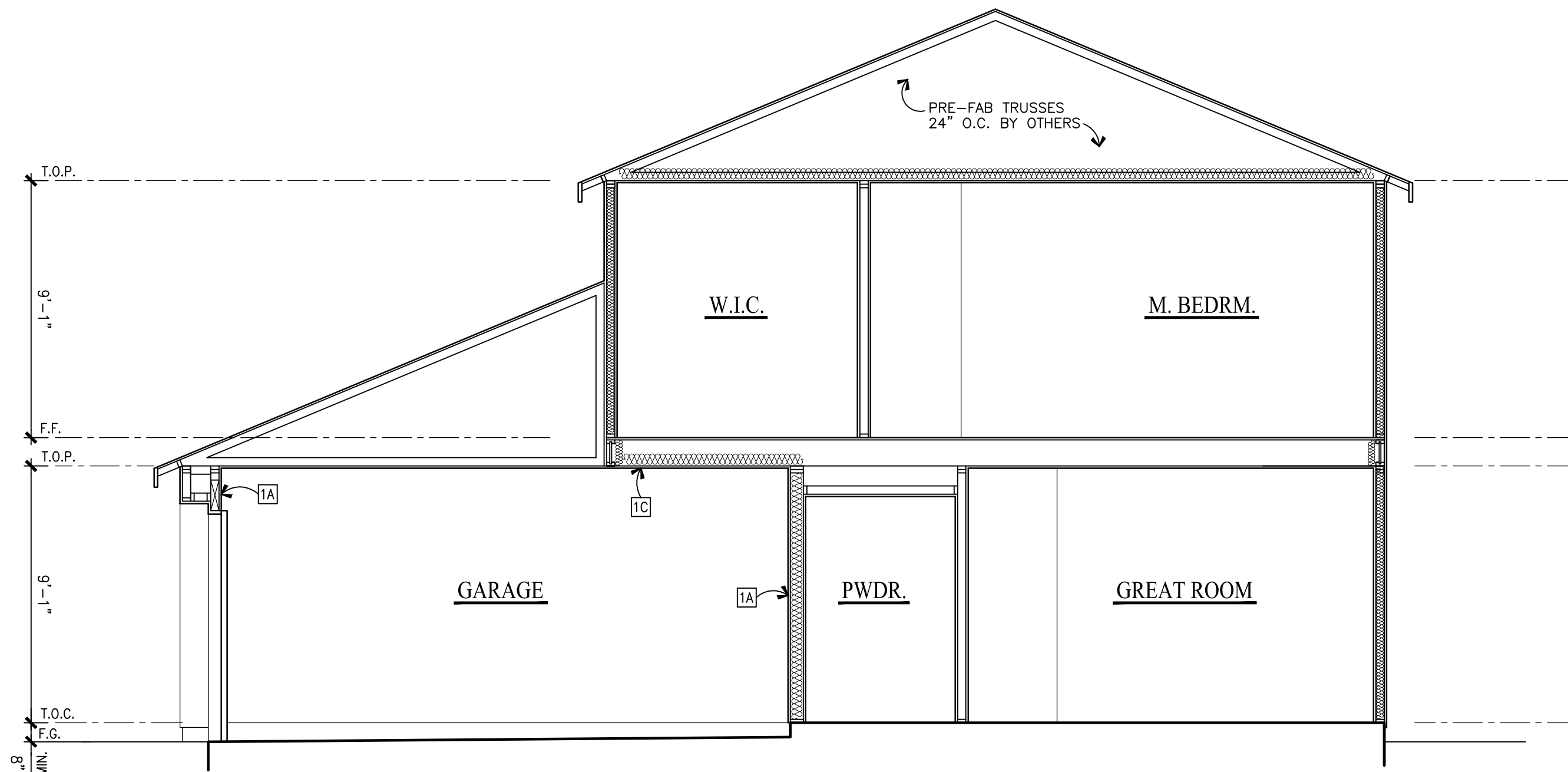
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SECTION 1-1

SCALE: 1/4" = 1' - 0"



SECTION 2-2

SCALE: 1/4" = 1' - 0"

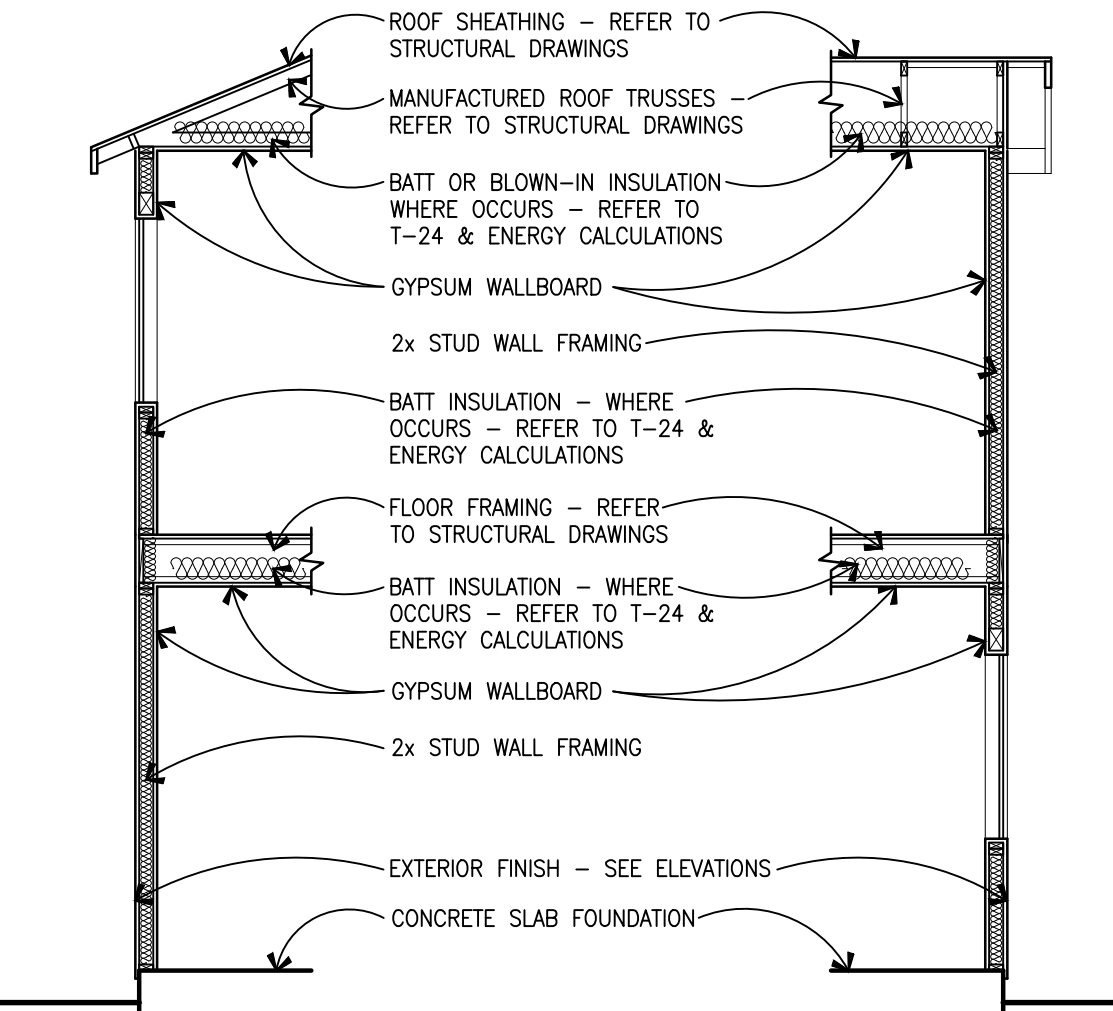
BUILDING SECTION - GENERAL NOTES

1. REFER TO STRUCTURAL PLANS FOR ANY AND ALL INFORMATION REGARDING THE FRAMING AND FOUNDATION DESIGN AND DETAILS. THE BUILDING SECTIONS ARE MERELY AN ARCHITECTURAL PROFILE, ETC.
2. BUILDING SECTIONS MAY VARY AT ALTERNATE ELEVATIONS - REFER TO APPLICABLE DRAWINGS
3. ALL KEYNOTES, DETAILS AND DIMENSIONS ARE TYPICAL TO THEIR CONDITION U.N.O. ON ELEVATION.
4. RADIANT BARRIER WITH AN EMITTANCE OF 0.05 OR LESS REQUIRED AT UNDERSIDE OF ROOF SHEATHING & ATTIC SIDE OF GABLE END WALLS - REFER TO T-24 & ENERGY CALCULATIONS
5. REFER TO ROOF PLAN FOR ROOF PITCH AND ROOFING MATERIAL.

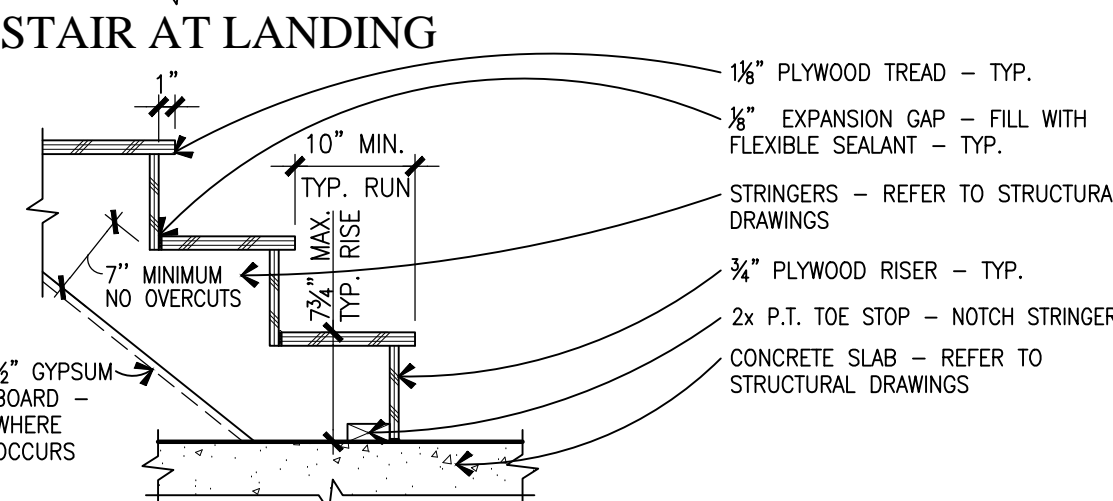
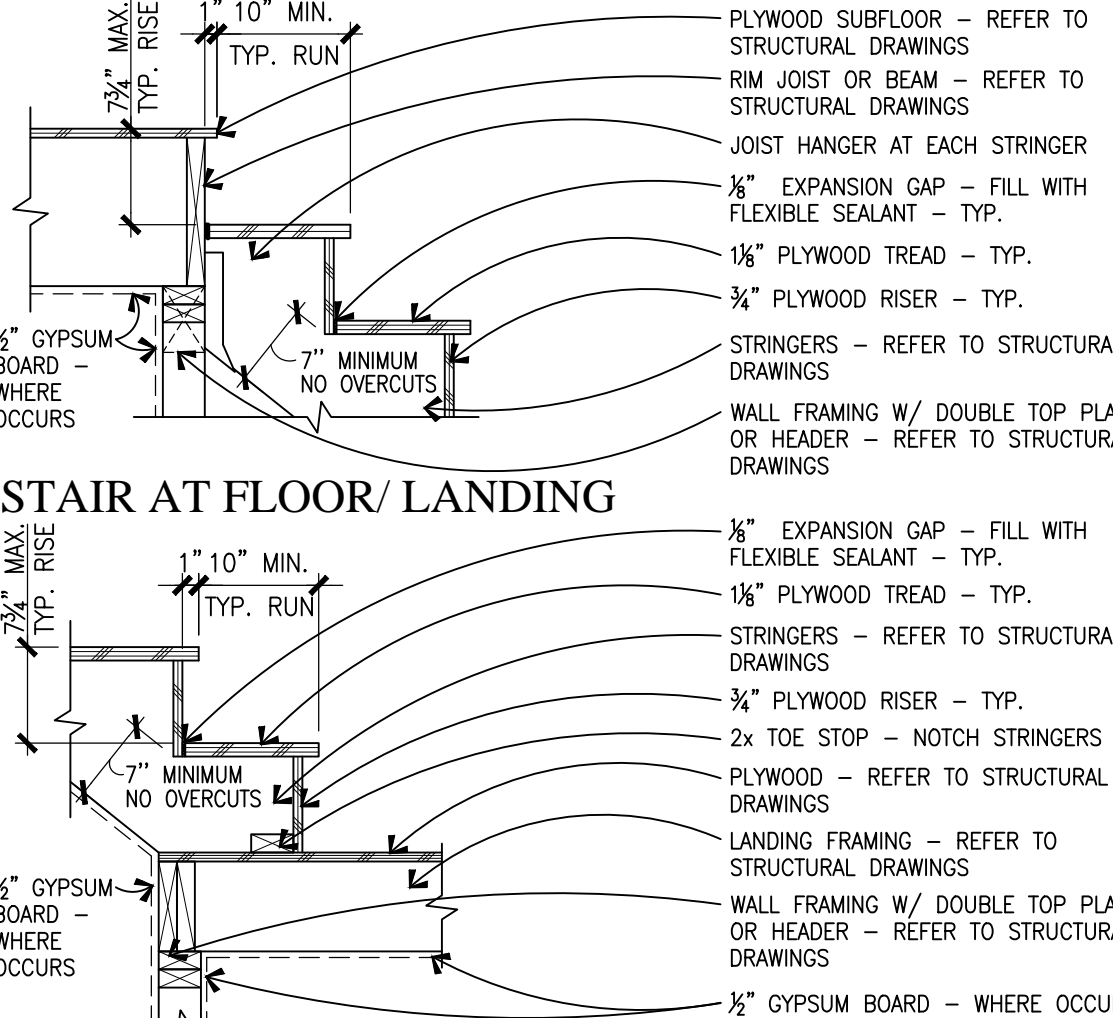
BUILDING SECTION - KEYNOTES

- 1A GARAGE WALLS AND VERTICAL SURFACES: PROVIDE MIN. (1) LAYER 1/2" GYPSUM BOARD  
1B GARAGE CEILINGS: PROVIDE MIN. (1) LAYER 1/2" GYPSUM BOARD W/ ATTIC SPACE ABV.  
1C GARAGE CEILINGS: PROVIDE MIN. (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD W/ LIVABLE SPACE ABV.  
1D UNDER STAIRS SPACES: PROVIDE MIN. 1/2" GYPSUM BOARD AT ALL WALLS AND CEILING OF USABLE SPACE UNDER STAIR

BUILDING SECTION - TYPICAL NOTES (N.T.S.)



BUILDING SECTION - STAIR DETAILS (N.T.S.)



STAIR AT SLAB

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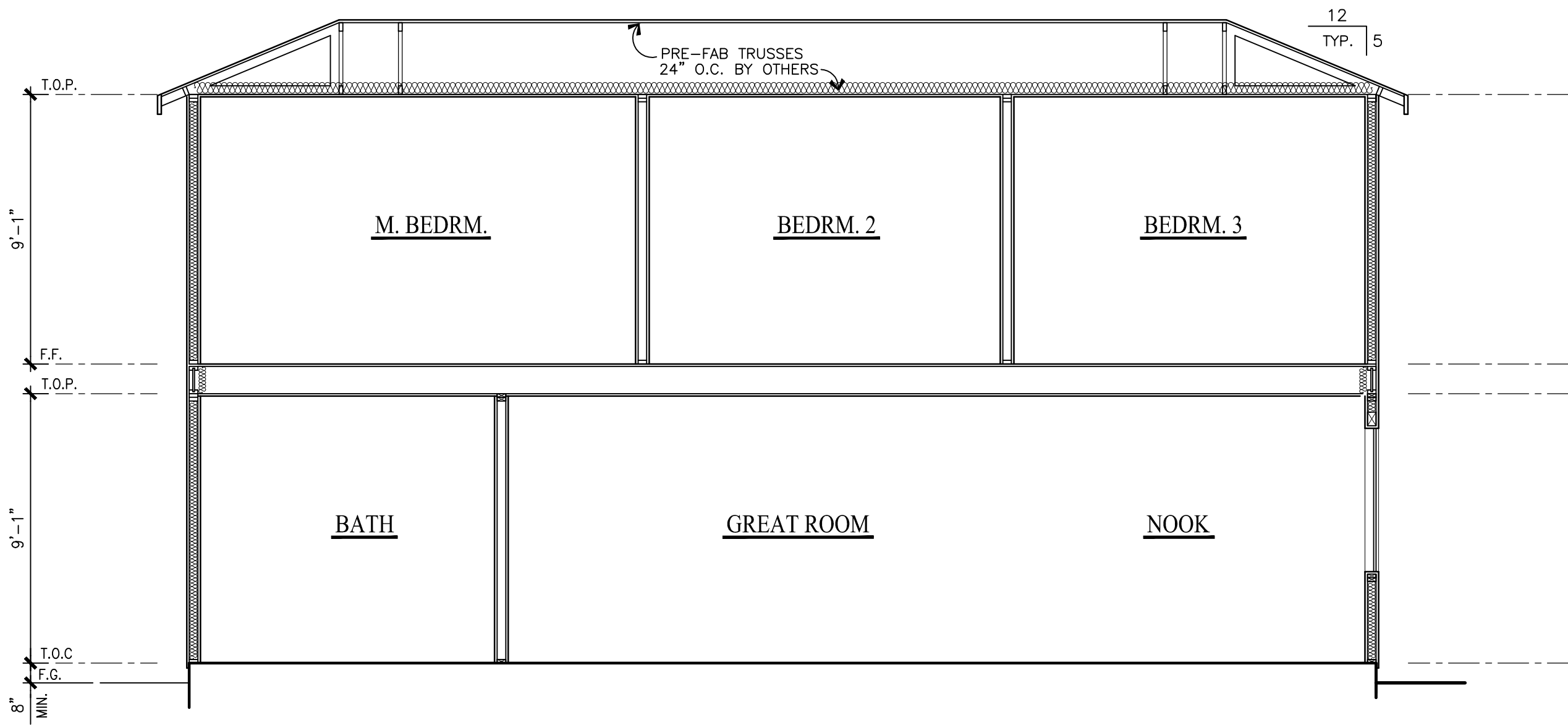
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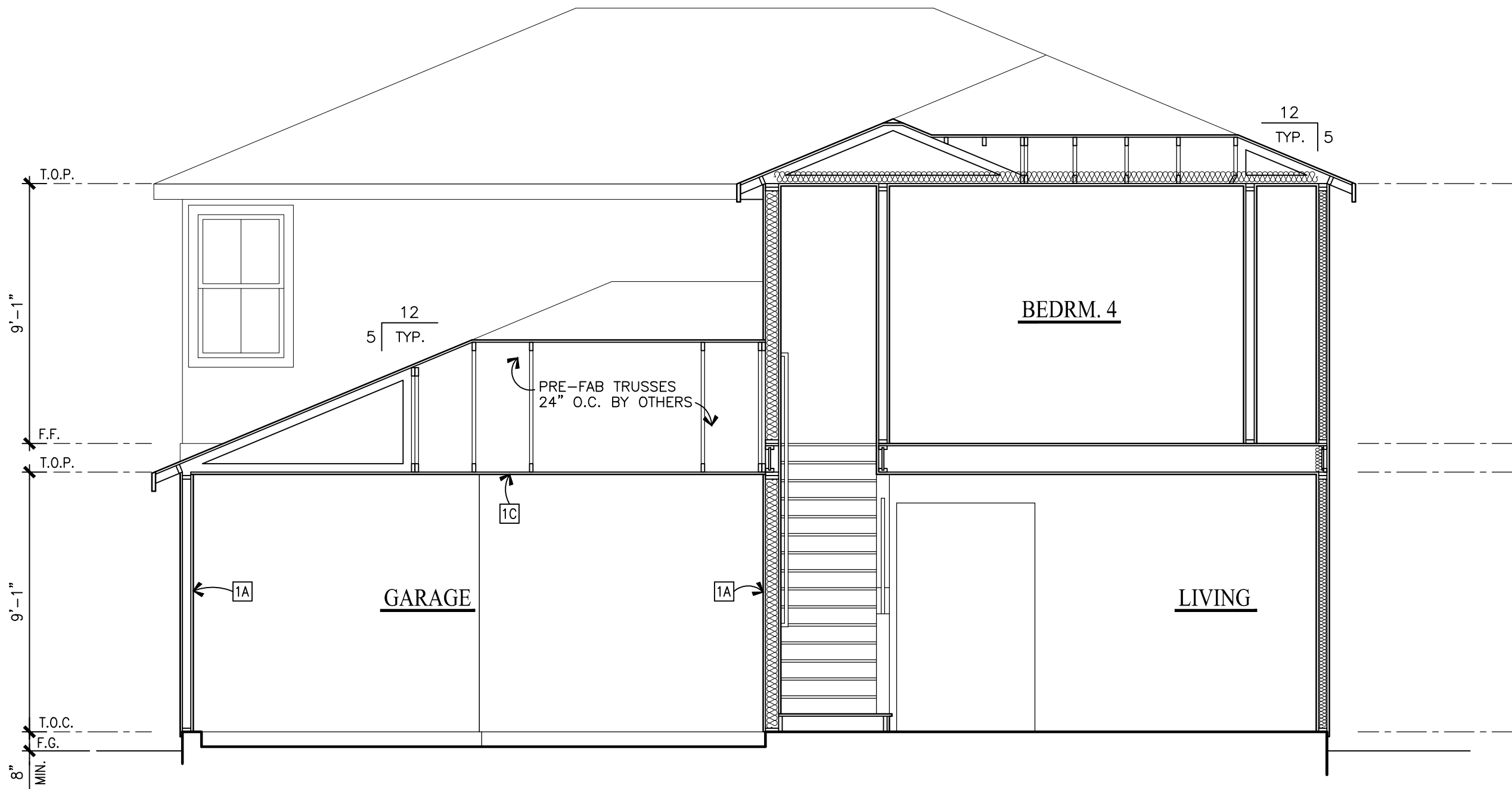
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SECTION 4-4

SCALE: 1/4" = 1' - 0"



SECTION 3-3

SCALE: 1/4" = 1' - 0"

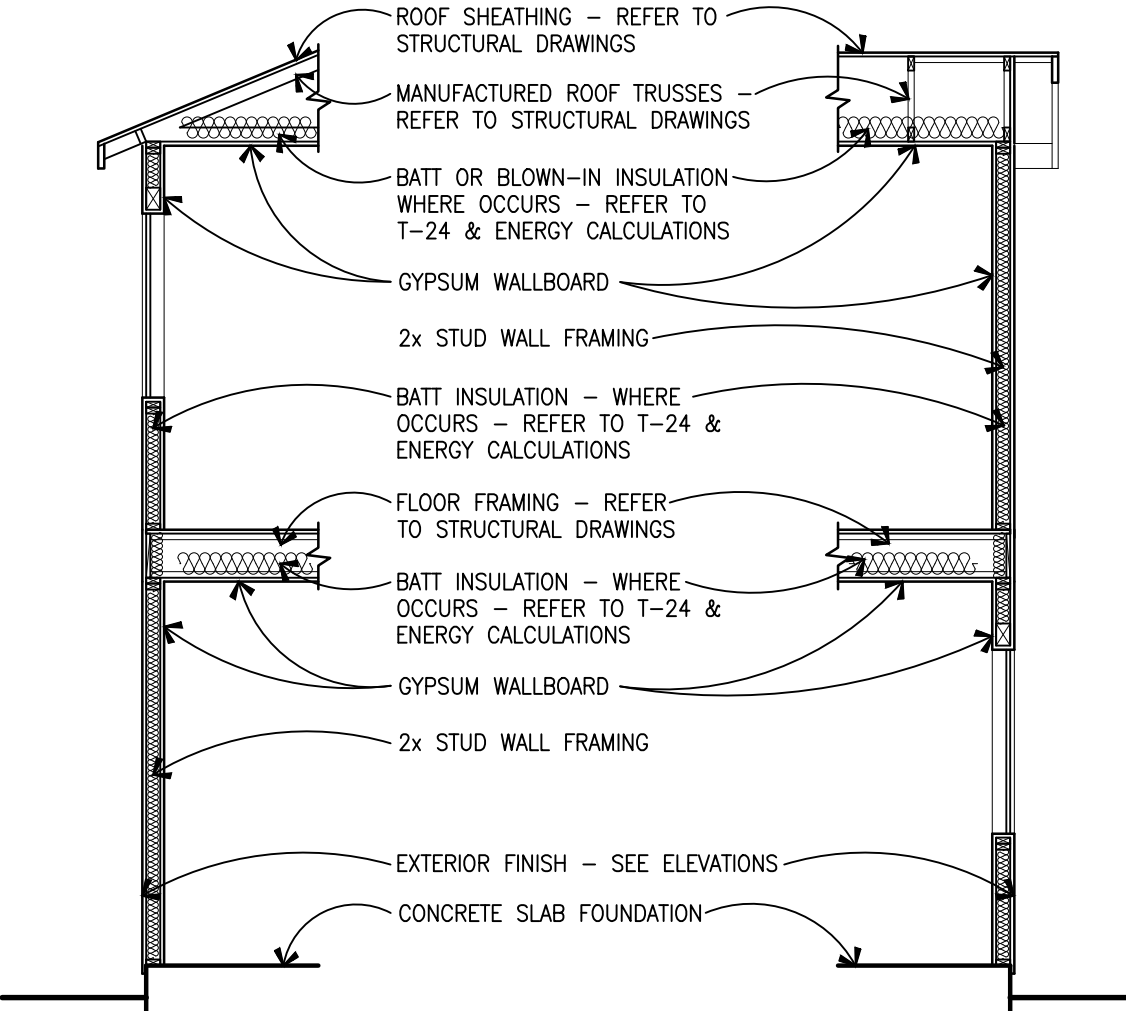
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5. REFER TO ROOF PLAN FOR ROOF PITCH AND ROOFING MATERIAL.

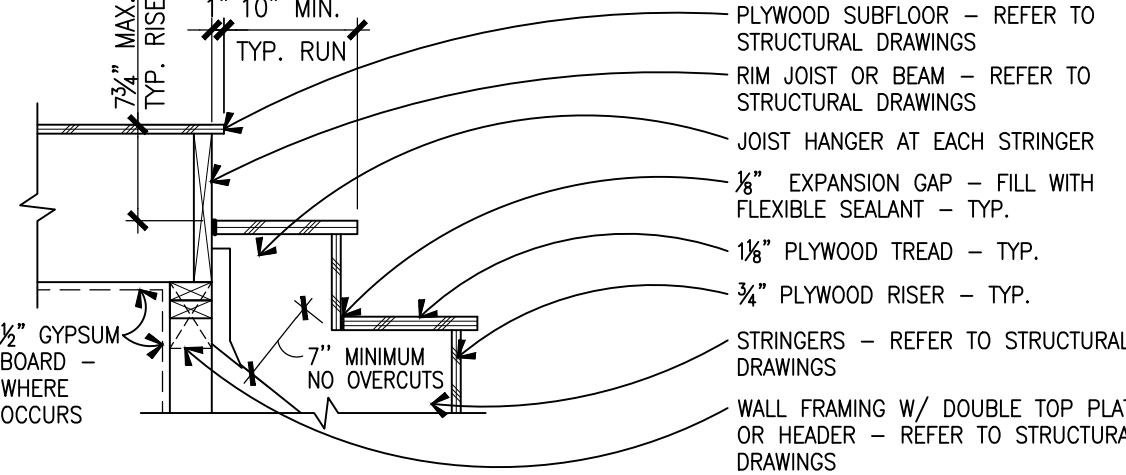
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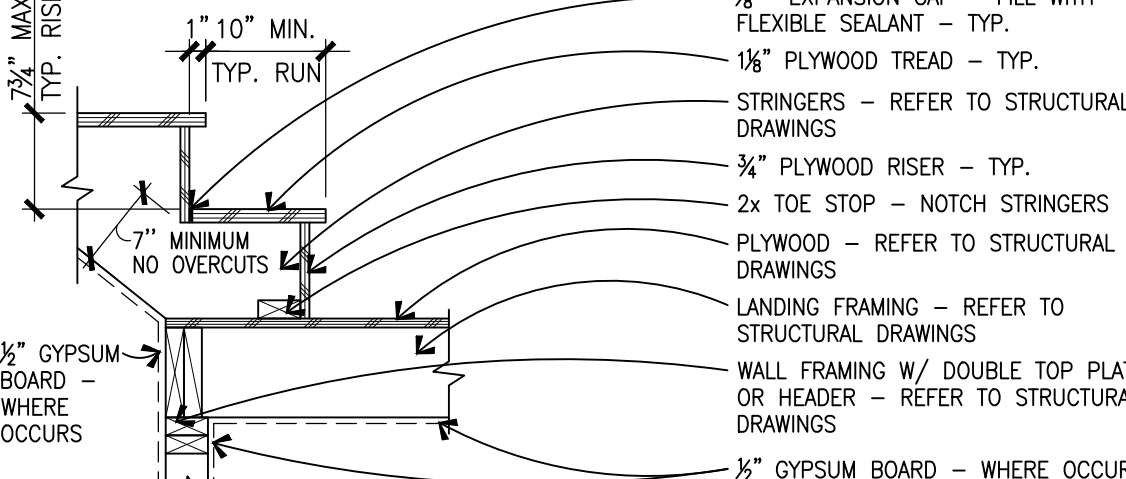
BUILDING SECTION - TYPICAL NOTES (N.T.S.)



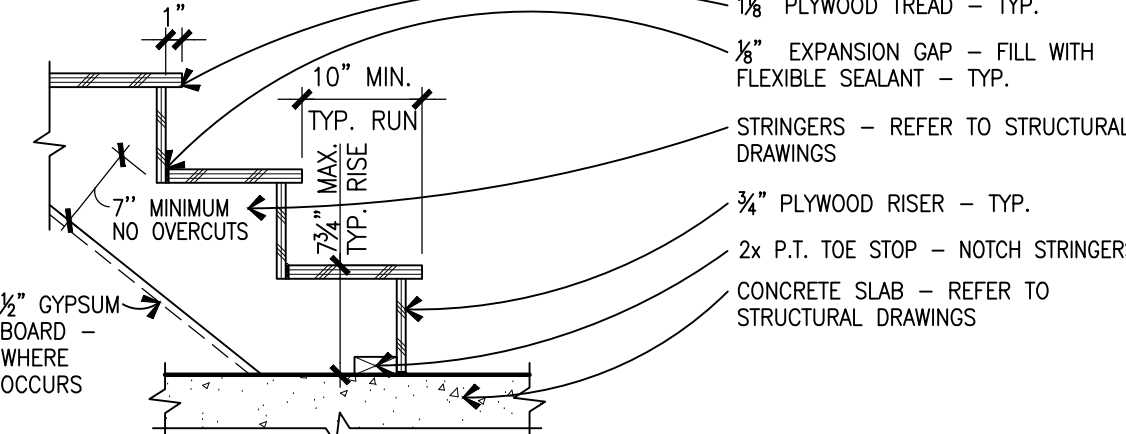
BUILDING SECTION - STAIR DETAILS (N.T.S.)



STAIR AT FLOOR/ LANDING



STAIR AT LANDING



STAIR AT SLAB

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|-----|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1.  | <u>GENERAL</u>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| 1.1 | ALL INTERIOR AND EXTERIOR DOOR HEIGHTS SHALL BE 8'-0" UNLESS NOTED OTHERWISE ON PLANS                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
| 1.2 | INSULATION TO BE ENCLOSED ON ALL SIDES.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| 1.3 | THE LANDING AT IN-SWINGING DOORS OTHER THAN THE REQUIRED EGRESS SHALL NOT BE MORE THAN 7 3/4" BELOW THE TOP OF THE THRESHOLD. (R311.3 CRC)                                                                                                                                                                                                                                                                                                                                                                                                        |
| 1.4 | APPROVED WEATHER STRIPPED SHALL BE PROVIDED AROUND THE PERIMETER OF THE ATTIC ACCESS OPENING. (IEC 110.7)                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| 1.5 | ALL EXTERIOR GLAZING SHALL HAVE A MIN. OF ONE TEMPERED PANE PER C.B.C. 708A.                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
| 1.6 | MAXIMUM ALLOWED U-FACTOR = 0.32 MAXIMUM ALLOWED SHGC = 0.25                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| 2.  | <u>EXTERIORS (REFER TO EXTERIOR ELEVATIONS)</u>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| 2.1 | PORCH AND PATIO CEILINGS TO BE STUCCO OVER HIGH RIBBED METAL LATH U.N.O.                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| 3.  | <u>INTERIORS</u>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| 3.1 | GARAGE WALLS AND VERTICAL SURFACES: PROVIDE MINIMUM (1) LAYER 1/2" GYPSUM BOARD                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| 3.2 | GARAGE CEILINGS: PROVIDE MINIMUM (1) LAYER 1/2" GYPSUM BOARD WITH ATTIC SPACE ABOVE PROVIDE MINIMUM (1) LAYER 5/8" TYPE "X" GYPSUM BOARD WITH LIVABLE SPACE ABOVE.                                                                                                                                                                                                                                                                                                                                                                                |
| 3.3 | UNDER STAIRS SPACES: PROVIDE MINIMUM 1/2" GYPSUM BOARD AT ALL WALL AND CEILING SURFACES OF ENCLOSED USABLE                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| 3.4 | ADD 2x12 BACKING AT SMURF TUB LOCATIONS DETERMINED BY BUILDER                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| 3.5 | ALL HANDRAILS SHALL HAVE A HEIGHT BETWEEN 34" TO 38" MEASURED FROM THE TREAD NOSING, HANDRAILS WITH CIRCULAR CROSS SECTION SHALL HAVE OUTSIDE THE DIAMETER BETWEEN 1.25" TO 2". HANDRAILS WITH NON-CIRCULAR CROSS SECTION SHALL HAVE PERIMETER DISTANCE BETWEEN 4.74" WITH A MAXIMUM CROSS-SECTION DIMENSION 2 1/4". EDGES SHALL HAVE A MINIMUM RADIUS OF 0.01". OPENING BETWEEN THE GUARDS (BALUSTERS OR ORNAMENTAL PATTERNS) SHALL BE CAPABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200# APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP. |
| 4.  | <u>APPLIANCES</u>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |

## Single Family Dwelling

4.1 VERIFY ALL CLEAR OPENING REQUIREMENTS

4.2 REFRIGERATOR: PROVIDE RECESSED COLD WATER BIBB FOR ICE MAKER.

4.3 CLOTHES WASHER AND CLOTHES DRYER:  
CLOTHES WASHER SHALL BE ON THE LEFT SIDE – PROVIDE HOT & COLD WATER SUPPLY (COLD WATER & WAX CONNECTIONS – PROVIDE AN APPROVED "SMITTY" PAN WHEN WASHER IS LOCATED ON SECOND FLOOR.  
CLOTHES DRYER SHALL BE ON RIGHT SIDE – PROVIDE 4" DIAMETER DRYER VENT TO OUTSIDE AIR (10' MIN. 14" LONG) 90 DEG. ELBOW UNLESS APPROVED OTHERWISE. DRYER EXHAUST VENTS TO BE MIN. 5" Ø FROM A/C CONDENSER. 2" SHALL BE DEDUCTED FOR EACH 90 DEG. ELBOW IN EXCESS OF 5' (504.3.2.2 & 504.3.2.2 CM).

4.4 RANGE/COOKTOP: – PROVIDE HOOD, LIGHT AND EXHAUST FAN ABOVE (OPT. MICROWAVE OVEN) – VENT TO OUTSIDE AIR.

4.5 PLUMBING

5.1 PLUMBING FIXTURES AND FITTINGS SHALL MEET THE REQUIREMENTS IN SECTION 4.303

6.1 FAUCETS IN KITCHENS, WET BARS, LAUNDRIES, LAUNDRY SINKS, ETC. SHALL HAVE A WATER FLOW NOT TO EXCEED 1.5 GALLONS PER MINUTE. (C.G.C.B. 4.303)

5.2 WATER HEATER: RINNAL TANKLESS "DIRECT" VENT WATER HEATER TO OUTSIDE AIR PER MANUFACTURER'S RECOMMENDATIONS – IN ATTIC W/ PAN DRAIN TO LAUNDRY.

6.2 TUB/SHOWER: PRE-FORMED FIBERGLASS MIN. 72" HIGH – PROVIDE CURTAIN ROD OR TEMPERED GLASS ENCLOSURE – SHOWER HEAD AT +76" A.F.F. TUB & SHOWER FLOORS & WALLS ABOVE TUB WITH INSTALLED SHOWER HEADS AND IN SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACE SHALL EXTEND TO 60" HEIGHT ABOVE DRAIN

6.1 ALL PLUMBING FIXTURES SHALL BE CONNECTED TO AN APPROVED WATER SUPPLY. LAUNDRATES, SINKS, SHOWERS, AND OTHERS SHALL BE PROVIDED WITH HOT & COLD WATER. K306.4.

6.2 MECHANICAL.

6.1 VERIFY LOCATIONS AND SIZES WITH MECHANICAL PLANS

6.2 A MINIMUM OPENING OF 100 SQ. IN. FOR MAKE-UP AIR SHALL BE PROVIDED IN THE LAUNDRY ROOM DOOR OR BY OTHER APPROVED MEANS PER C.M.C. SECTION 504.3.1

6.3 FORCED AIR UNIT(S) IN ATTIC – MAINTAIN 30" VERTICAL CLEAR HEADROOM ALONG MIN. 24" WIDE PLYWOOD CATWALK TO ATTIC ACCESS – MAXIMUM LENGTH 20'-0" – SEE DETAIL 15/S-2

6.4 AIR CONDITIONING CONDENSER UNIT SECURELY FASTENED TO CONCRETE OR FIBERGLASS PAD

6.5 ALL NEW LOW-RISE RESIDENTIAL BUILDINGS MUST HAVE A WHOLE HOUSE VENTILATION SYSTEM THAT PROVIDES A CALCULATED MINIMUM FRESH AIR SUPPLY BY USING EITHER A CONTINUOUSLY RUNNING BATHROOM FAN OR A SUPPLY RETURN AIR VENTILATION THRU A CENTRAL HVAC SYSTEM. THE MINIMUM VENTILATION VOLUME MUST BE A MINIMUM OF 1 C.F.M. FOR EACH 100 SQ.F.T. OF BATHROOM FAN OR A SUPPLY RETURN AIR VENTILATION THRU A CENTRAL HVAC SYSTEM. THE MINIMUM VENTILATION VOLUME MUST BE A MINIMUM OF 1 C.F.M. FOR EACH 100 SQ.F.T. OF FLOOR AREA PLUS 7.5 C.F.M. FOR EACH OCCUPANT. THE NUMBER OF OCCUPANTS IS DETERMINED BY ADDING THE NUMBER OF BEDROOMS AND THEN ADDING ONE. (ASHRAE 62.2)

6.6 LOCAL CITY RATING: 78-38

|    |                                                                                                                                                     |
|----|-----------------------------------------------------------------------------------------------------------------------------------------------------|
| 1. | <b>SPATIAL</b>                                                                                                                                      |
| 1A | LINE OF FLOOR/WALL BELOW                                                                                                                            |
| 1B | LINE OF FLOOR/WALL ABOVE                                                                                                                            |
| 1C | LINE OF CEILING HEIGHT CHANGE                                                                                                                       |
| 1D | PROPERTY LINE                                                                                                                                       |
| 2. | <b>EXTERIORS (REFER TO EXTERIOR ELEVATIONS)</b>                                                                                                     |
| 2A | NEWEL POST                                                                                                                                          |
| 2B | 36" HIGH DECORATIVE RAILING                                                                                                                         |
| 2C | 42" HIGH GUARDRAIL SEE DETAIL 15/AD.1                                                                                                               |
| 2D | MER-KO ELASTOMERIC DECKING ICC-ES 3389 OR APPROVED EQUAL - INSTALL PER MANUFACTURER'S INSTRUCTIONS                                                  |
| 2E | TREX DECKING - INSTALL PER MANUFACTURERS INSTRUCTIONS                                                                                               |
| 3. | <b>STAIRS</b>                                                                                                                                       |
| 3A | 36" HIGH CONTINUOUS WALL MOUNTED HANDRAIL - SEE DETAIL                                                                                              |
| 3B | 42" HIGH GYPSUM BOARD PONYWALL/GUARDWALL - SEE DETAIL                                                                                               |
| 3C | 42" HIGH GUARDRAIL WITH BALUSTERS SPACED AT 3.99" MAXIMUM CLEAR - SEE DETAIL 1/AD.2                                                                 |
| 3D | STAIR RAILING (36" HIGH ABOVE STAIR TREAD NOSING) W/ BALUSTERS SPACED AT 3.99" MAX. CLEAR - SEE DETAIL 1/AD.2                                       |
| 4. | <b>INTERIORS</b>                                                                                                                                    |
| 4A | LINE OF FLOOR MATERIAL CHANGE                                                                                                                       |
| 4B | 2x6 STUD WALL FRAMING                                                                                                                               |
| 4C | ALIGN WINDOW SILL WITH COUNTER TOP                                                                                                                  |
| 5. | <b>OPENINGS</b>                                                                                                                                     |
| 5A | 1 3/4" THICK, SOLID CORE, TIGHT-FITTING, SELF-CLOSING, SELF LATCHING, 20 MINUTE RATED DOOR                                                          |
| 5B | APPROVED 22"x30" RATED ATTIC ACCESS TO MAINTAIN HOUSE TO GARAGE SEPARATION REQUIRED BY C.B.C. SECTION 406.1.4 WITH MINIMUM 30" CLEAR HEADROOM ABOVE |
| 6. | <b>CABINETS AND COUNTERS</b>                                                                                                                        |
| 6A | LOWER CABINETRY                                                                                                                                     |
| 6B | UPPER CABINETRY                                                                                                                                     |
| 6C | VANITY CABINETRY                                                                                                                                    |
| 6D | ISLAND CABINETRY                                                                                                                                    |
| 6E | 4'-0" DEEP LOCKABLE STORAGE WALL MOUNTED UPPER CABINETS ±42" FLOOR CLEARANCE                                                                        |
| 6F | FULL HEIGHT CABINETRY                                                                                                                               |
| 6G | SHELVING (5) 16" U.I.N.O.                                                                                                                           |
| 6H | EATING BAR AT +36" / 42" A.F.F.                                                                                                                     |
| 7. | <b>PLUMBING</b>                                                                                                                                     |
| 7A | HOT-MOPPED SHOWER PAN WITH MUDESET CERAMIC TILE FLOOR AND SURROUND TO +84" A.F.F.                                                                   |
| 7B | BROWN TEMPLATED GLASS ENCLOSURE AND DOOR. POSITION SHOWER HEAD AT +76" A.F.F.                                                                       |
| 7C | PECK, POWN, & ETC                                                                                                                                   |

===== SHELF AND POLE

===== PROPOSED NEW WALL

===== -12" GYPSUM BOARD DROP SOFFIT U.N.O. EXTERIOR SOFFIT - SEE ELEVATIONS

○ LAVATORY SINK

□ KITCHEN SINK: 36" DOUBLE WITH GARBAGE DISPOSAL

▷ WATER CLOSET: CLEAR SPACE NOT LESS THAN 30" IN WIDTH AND WITH NOT LESS THAN 24" CLEAR SPACE IN FRONT OF THE WATER CLOSET STOOL

SCALE:  $1/4" = 1' - 0"$

SCALE:  $1/4" = 1' - 0"$

1/25/18

6/12/18

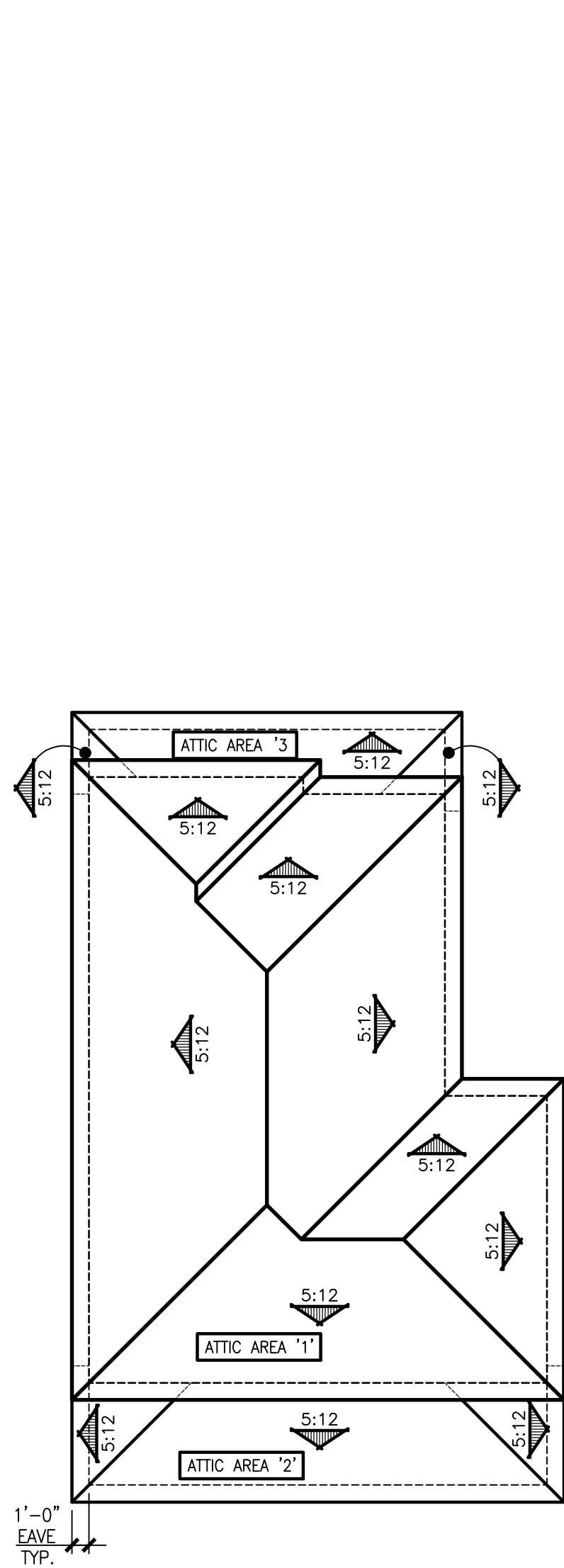
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17008

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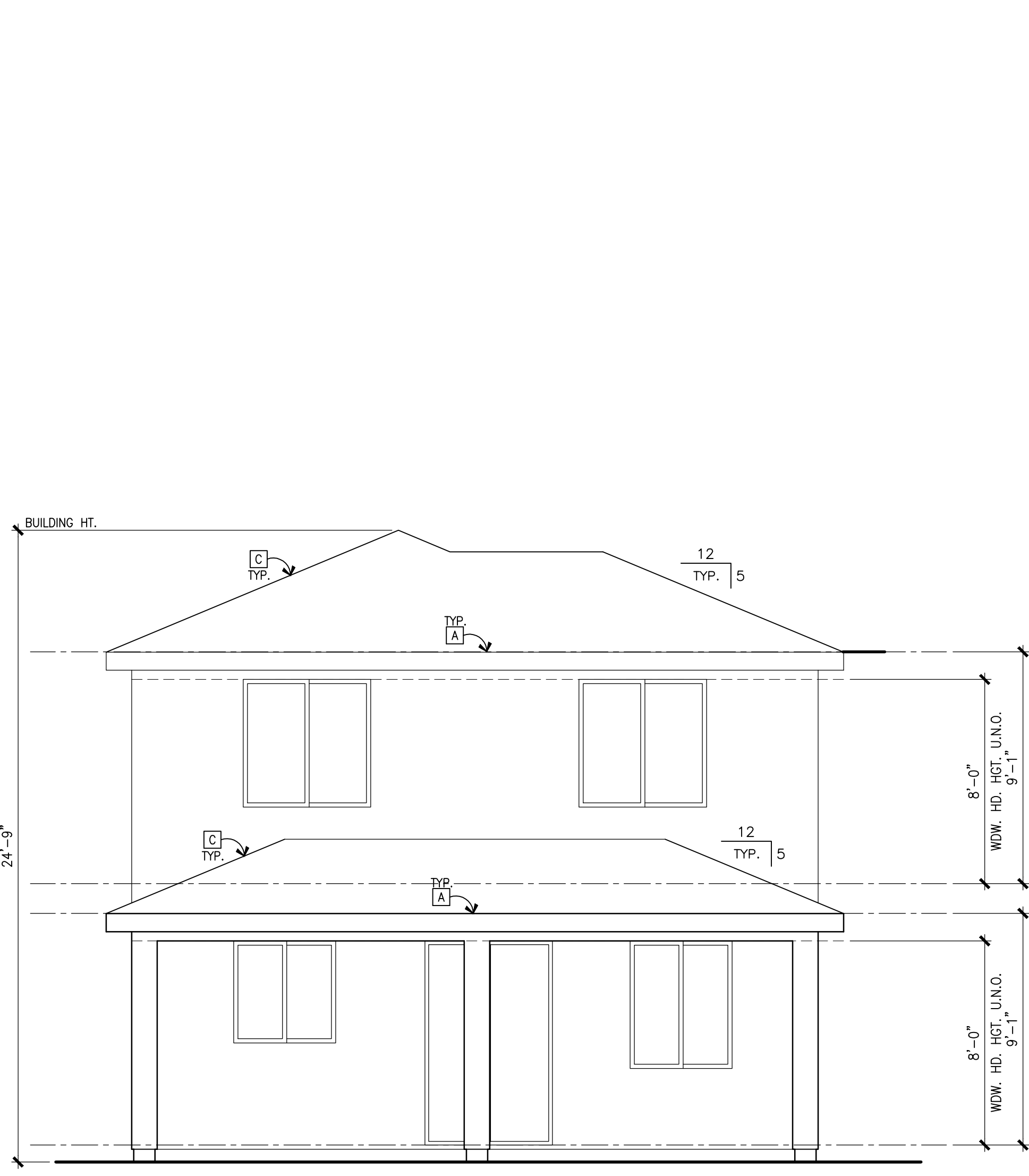
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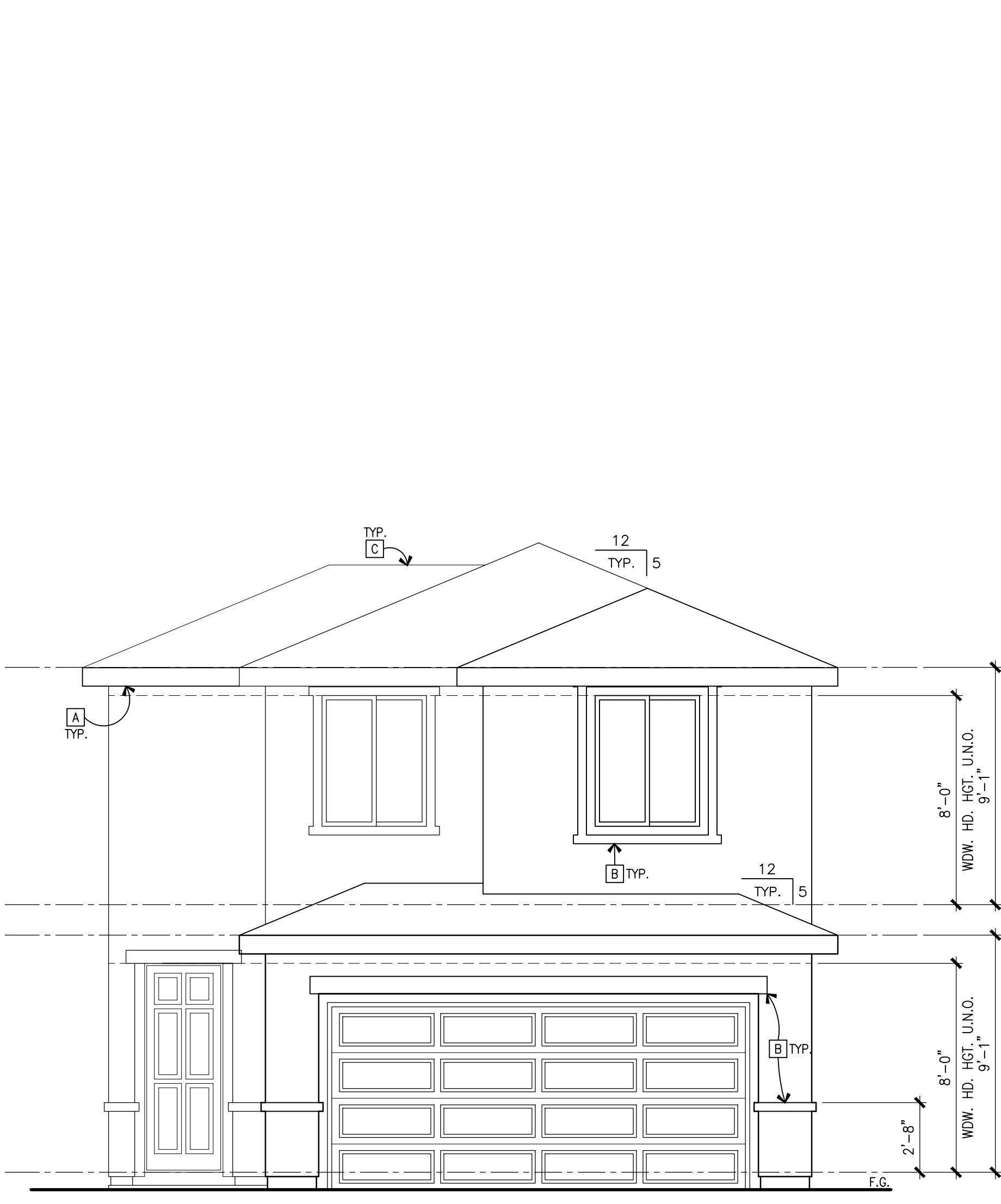
ROOF PLAN

ROOF MATERIAL: ASPHALT SHINGLES SCALE: 1/8" = 1' - 0"



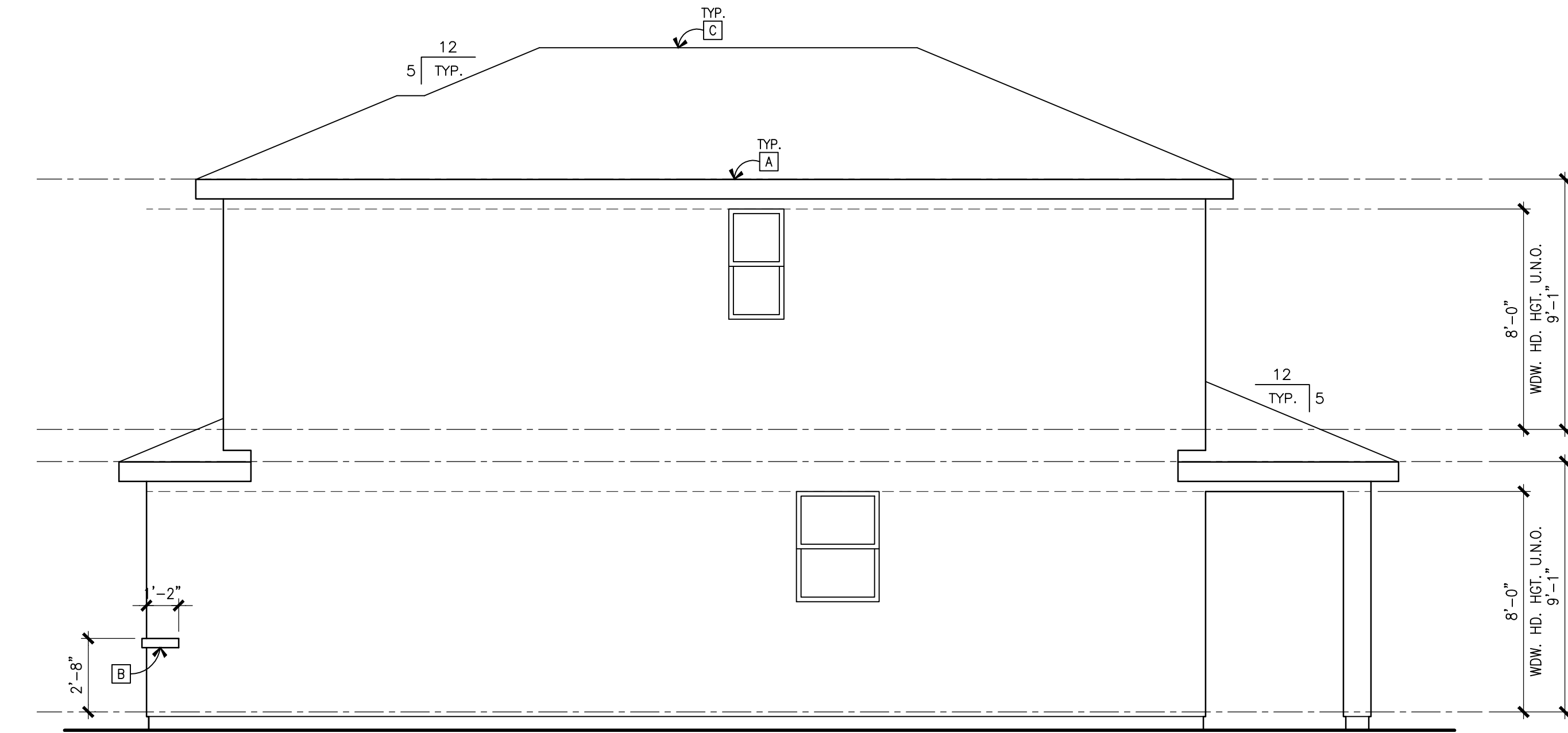
SOUTH ELEVATION

SCALE: 1/4" = 1' - 0"



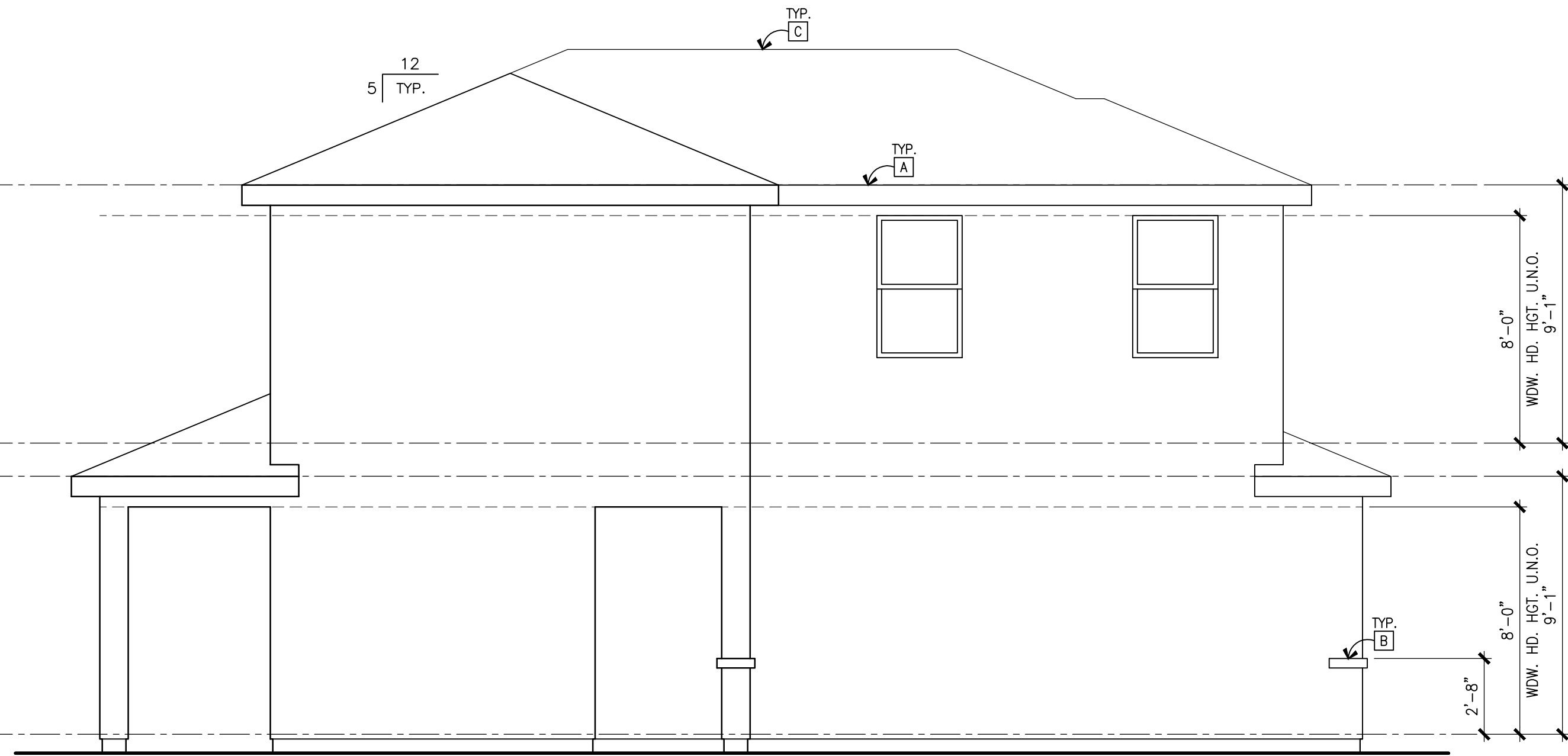
NORTH ELEVATION

SCALE: 1/4" = 1' - 0"



WEST ELEVATION

SCALE: 1/4" = 1' - 0"



EAST ELEVATION

SCALE: 1/4" = 1' - 0"

EXTERIOR ELEVATION - GENERAL NOTES

- ALL KEYNOTES, DETAILS AND DIMENSIONS ARE TYPICAL TO THEIR CONDITION U.N.O. ON ELEVATION.
- EXTERIOR FINISH – PLASTER (3-COAT STUCCO) – 2 LAYERS OF APPROVED BUILDING PAPER UNDER STUCCO WHEN OVER WOOD SHEATHING (C.R.C. 703.6.3) – PROVIDE HIGH RIB METAL LATH AT SOFFIT AND CEILINGS U.N.O.

EXTERIOR ELEVATION - KEYNOTES

- EXTERIOR FINISHES
  - 2x8 FASCIA BOARD COLOR CHERRIT COLA (DEA156) MANUFACTURER DUNCAN EDWARDS PAINT
  - STUCCO OVER EXPANDED POLYSTYRENE (E.P.S.) DECORATIVE FOAM TRIM COLOR SUN DRIED 3011L (17) MANUFACTURER LA HABRA
  - ROOF MATERIAL – 30 YEAR CLASS 'A' ASPHALT COMPOSITION ROOFING OR BETTER U.L. FIRE RESISTANCE U.L. WIND RESISTANCE OR APPROVED EQUAL OVER (1) LAYER 30# ROOFING FELT (PROVIDE (2) LAYERS OF 30# ROOFING FELT ON LOWER ROOFS) ASTM D3161, ASTM D3018 TYPE 1 INSTALL PER MANUFACTURER'S INSTRUCTIONS. SHINGLES BY OWENS CORNING ICC-ES-ESR-1389
  - STONE VENEER MANUFACTURER: ADORN COLOR: DESERT TAN

EXTERIOR ELEVATION - FINISH MATERIAL & COLOR

- ALL FASCIA BOARD COLOR CHERRY COLA (DEA156) BY DUNCAN EDWARDS PAINT
- STUCCO MANUFACTURER: LA HABRA COLOR CHABUS #12 (74)
- ROOF MANUFACTURER: OWENS CORNING COLOR DESERT TAN
- STUCCO FOAM TRIM COLOR SUN DRIED 3011L (17) MANUFACTURER LA HABRA
- ROOF VENTS MANUFACTURER: O'HAGIN ROOF VENT TO MATCH ROOF SHINGLE COLOR

ROOF PLAN - GENERAL NOTES

- ROOF MATERIAL – 30 YEAR CLASS 'A' ASPHALT COMPOSITION ROOFING OR BETTER U.L. FIRE RESISTANCE U.L. WIND RESISTANCE OR APPROVED EQUAL OVER (1) LAYER 30# ROOFING FELT (PROVIDE (2) LAYERS OF 30# ROOFING FELT ON LOWER ROOFS) ASTM D3161, ASTM D3018 TYPE 1 INSTALL PER MANUFACTURER'S INSTRUCTIONS. SHINGLES BY OWENS CORNING ICC-ES-ESR-1389 MINIMUM REQUIREMENTS:
  - 11 GA. CORROSION RESISTANT NAILS WITH MINIMUM 3/4" PENETRATION INTO SHEATHING PER C.R.C. SECTION 905.3.6 AND IN ACCORDANCE WITH C.R.C. TABLE 905.3.7.
  - HEADS OF ALL TILE SHALL BE NAILED.
  - THE NOSES OF ALL EAVE COURSE TILES SHALL BE FASTENED WITH APPROVED CLIPS.
  - ALL TILES SHALL BE NAILED AS REQUIRED BY MANUFACTURER'S INSTRUCTIONS.
  - THE NOSES OF ALL RIDGE, HIP AND RAKE TILES SHALL BE SET IN A BEAD OF APPROVED ROOFER'S MASTIC.
- PROVIDE MINIMUM 26 GA. CORROSION RESISTANT METAL FLASHING AT ALL VALLEYS AND ROOF-TO-WALL CONDITIONS.
- PROVIDE DIVERTERS AT DOORS AS REQUIRED.
- PROVIDE A MINIMUM 22"x30" ACCESS OPENING IN ROOF SHEATHING TO OVER FRAMED ATTIC AREAS WITH 30" MINIMUM HEAD CLEARANCE – PROVIDE A 12"x12" OPENING IN ROOF SHEATHING TO OVER FRAMED ATTIC AREAS WITH LESS THAN 30" HEAD CLEARANCE FOR VENTILATION.
- ALL ROOF, WALL AND EAVE VENTS SHALL BE SCREENED WITH CORROSION RESISTANT, NON-COMBUSTIBLE WIRE MESH WITH 1/4" MAXIMUM MESH OPENINGS.
- NET FREE AIR VALUES FOR VENTS USED IN OUR VENTILATION CALCULATIONS ARE BASED ON "C & J METAL PRODUCTS INC." AT WWW.CJMETALS.COM & BY "O'HAGIN'S, INC." AT WWW.OHAGINVENT.COM THESE VALUES ARE SUBJECT TO CHANGE WITHOUT NOTIFICATION AND MUST BE VERIFIED BY INSTALLER AT TIME OF INSTALLATION – APPROVED EQUAL PRODUCTS MUST PROVIDE THE NET FREE AIR VENTILATION TOTALS REQUIRED BY THE CALCULATIONS PROVIDED ON THESE ARCHITECTURAL DRAWINGS.
- RADIANT BARRIER WITH AN EMITTANCE OF 0.05 OR LESS REQUIRED AT UNDERSIDE OF ROOF SHEATHING & ATTIC SIDE OF GABLE END WALLS – REFER TO T-24 & ENERGY CALCULATIONS.
- PROVIDE KICK OUT FLASHING AT ALL FASCIA TO WALL TERMINATIONS

ROOF PLAN - KEYNOTES

- EDGE OF ROOF
- EDGE OF BUILDING BELOW

ROOF PLAN - SYMBOLS

- INDICATES DIRECTION OF ROOF PITCH
- INDICATES "O'HAGIN" CLOAKED TILE VENT OR APPROVED EQUAL

ATTIC VENT NOTES

- ATTIC VENTS SHALL MEET THE FOLLOWING (R806.1, R806.2). THE NET FREE VENTILATION AREA SHALL BE LESS THAN: 1/150 OF ATTIC SPACE OR 1/300 PROVIDE 'A' CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE WARM SIDE OF CEILING OR 1/300 PROVIDE AT LEAST 50% AND NOT MORE THAN 80% OF REQUIRED VENTILATION AREA MUST BE LOCATED AT LEAST 3'-0" ABOVE EAVE OR CORNICE VENTS WITH THE BALANCE PROVIDED BY EAVE OR CORNICE VENTS
- OPENINGS SHALL HAVE CORROSION RESISTANT WIRE MESH OR OTHER APPROVED MATERIAL WITH 1/16" MINIMUM AND 1/4" MAXIMUM OPENING.

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"New Single Family Dwellings"

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Issue Date

1/25/18

Revision Date

6/12/18

Design by:

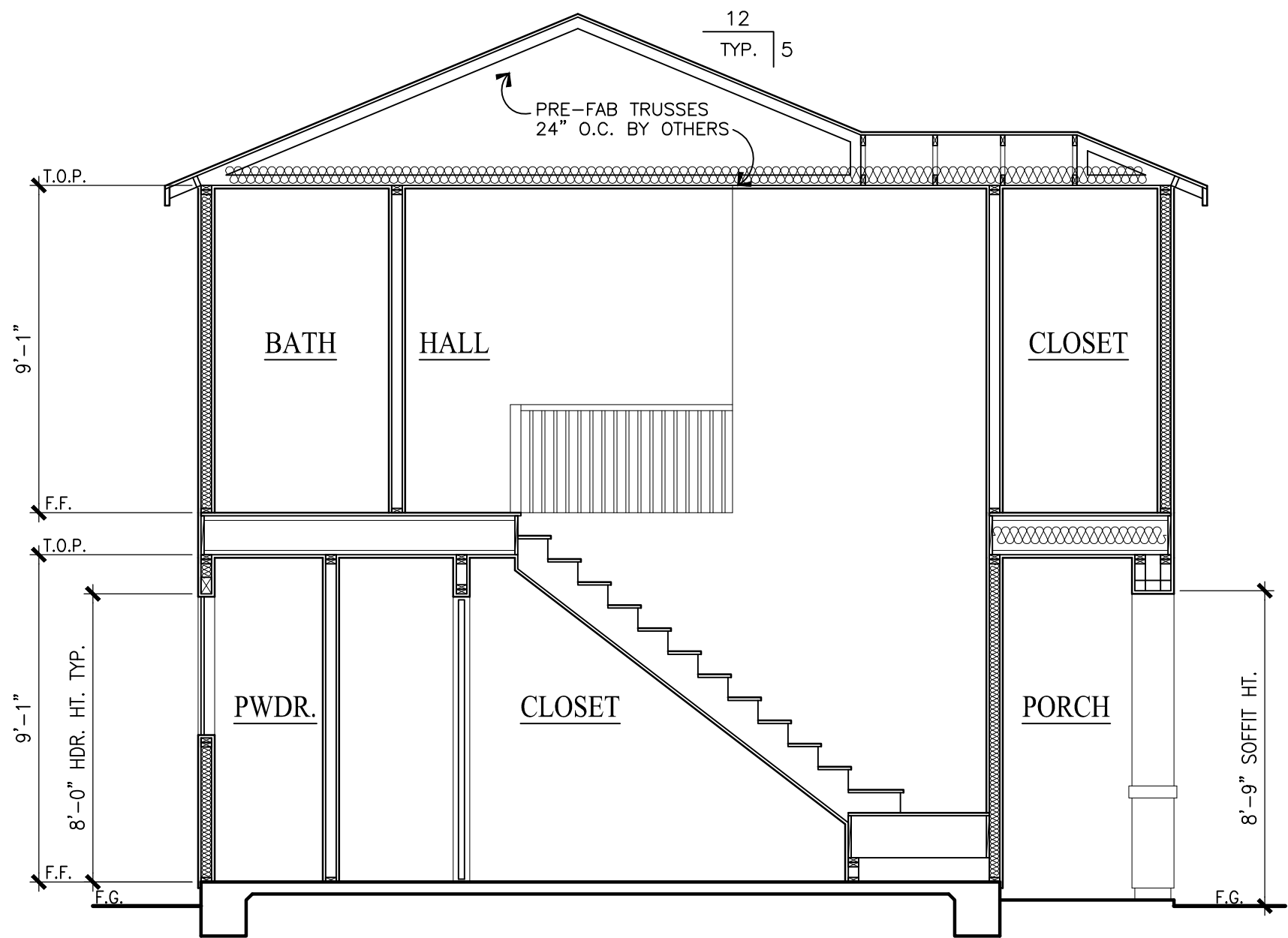
Rene Alvarez

Project #

17008

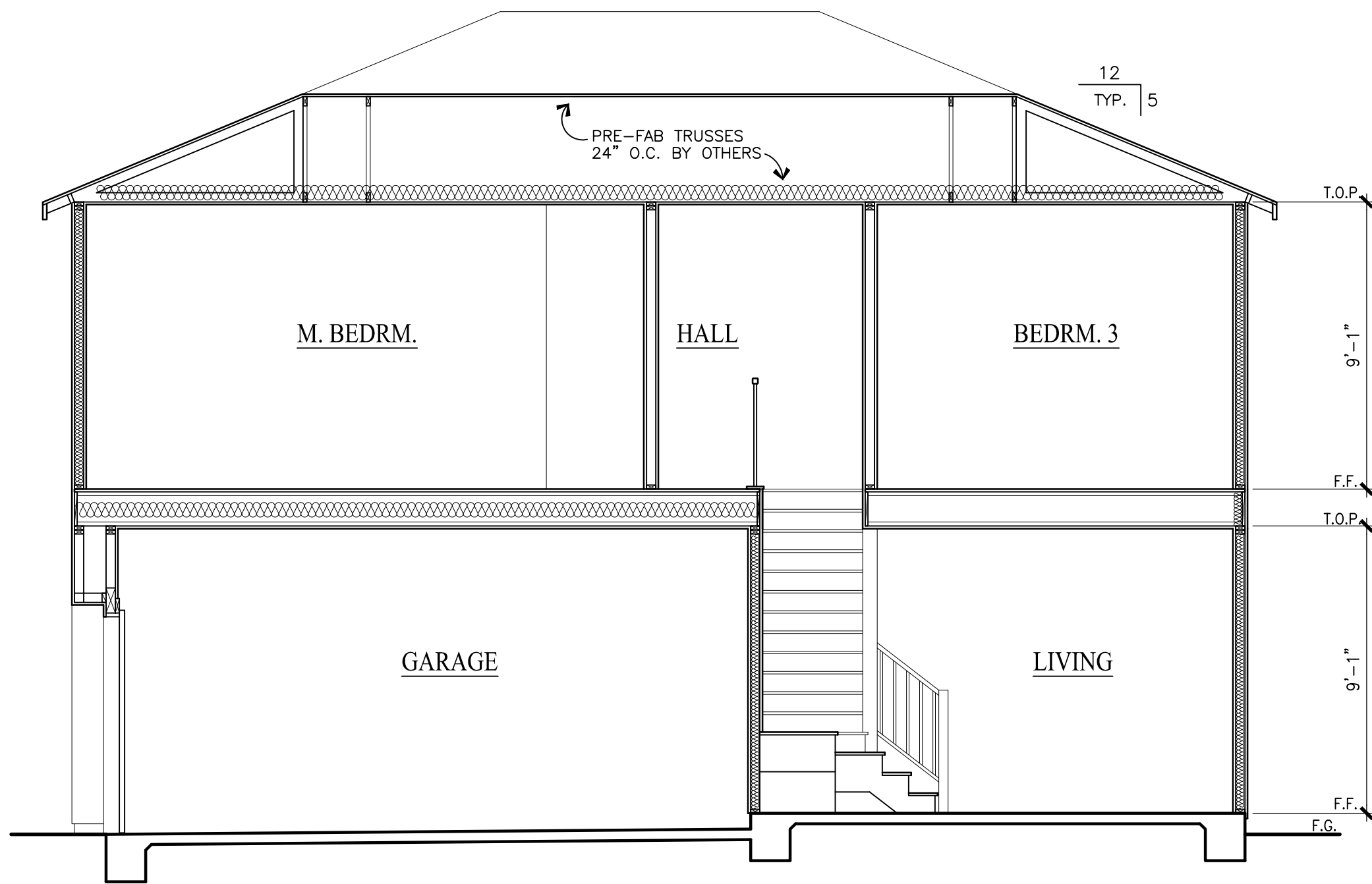
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SECTION 1-1

SCALE: 1/4" = 1' - 0"



SECTION 2-2

SCALE: 1/4" = 1' - 0"

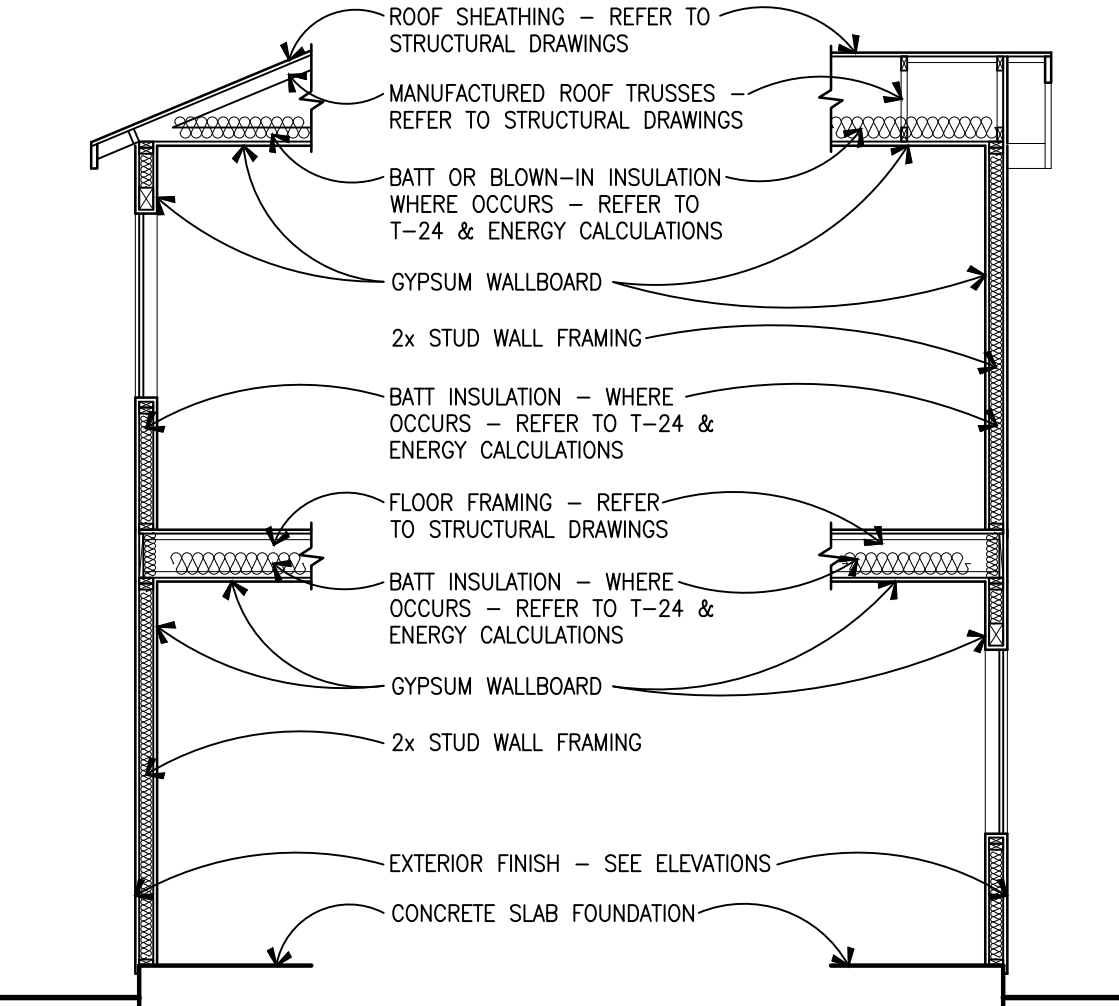
BUILDING SECTION - GENERAL NOTES

1. REFER TO STRUCTURAL PLANS FOR ANY AND ALL INFORMATION REGARDING THE FRAMING AND FOUNDATION DESIGN AND DETAILS. THE BUILDING SECTIONS ARE MERELY AN ARCHITECTURAL PROFILE, ETC.
2. BUILDING SECTIONS MAY VARY AT ALTERNATE ELEVATIONS - REFER TO APPLICABLE DRAWINGS
3. ALL KEYNOTES, DETAILS AND DIMENSIONS ARE TYPICAL TO THEIR CONDITION U.N.O. ON ELEVATION.
4. RADIANT BARRIER WITH AN EMITTANCE OF 0.05 OR LESS REQUIRED AT UNDERSIDE OF ROOF SHEATHING & ATTIC SIDE OF GABLE END WALLS - REFER TO T-24 & ENERGY CALCULATIONS
5. REFER TO ROOF PLAN FOR ROOF PITCH AND ROOFING MATERIAL.

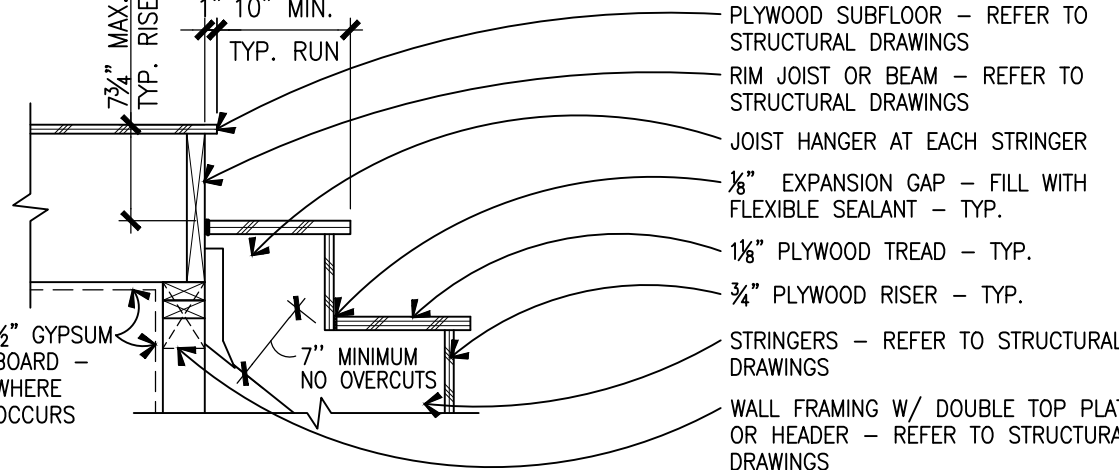
BUILDING SECTION - KEYNOTES

- 1A GARAGE WALLS AND VERTICAL SURFACES: PROVIDE MIN. (1) LAYER 1/2" GYPSUM BOARD  
1B GARAGE CEILINGS: PROVIDE MIN. (1) LAYER 1/2" GYPSUM BOARD W/ ATTIC SPACE ABV.  
1C GARAGE CEILINGS: PROVIDE MIN. (1) LAYER 5/8" TYPE 'X' GYPSUM BOARD W/ LIVABLE SPACE ABV.  
1D UNDER STAIRS SPACES: PROVIDE MIN. 1/2" GYPSUM BOARD AT ALL WALLS AND CEILING OF USABLE SPACE UNDER STAIR

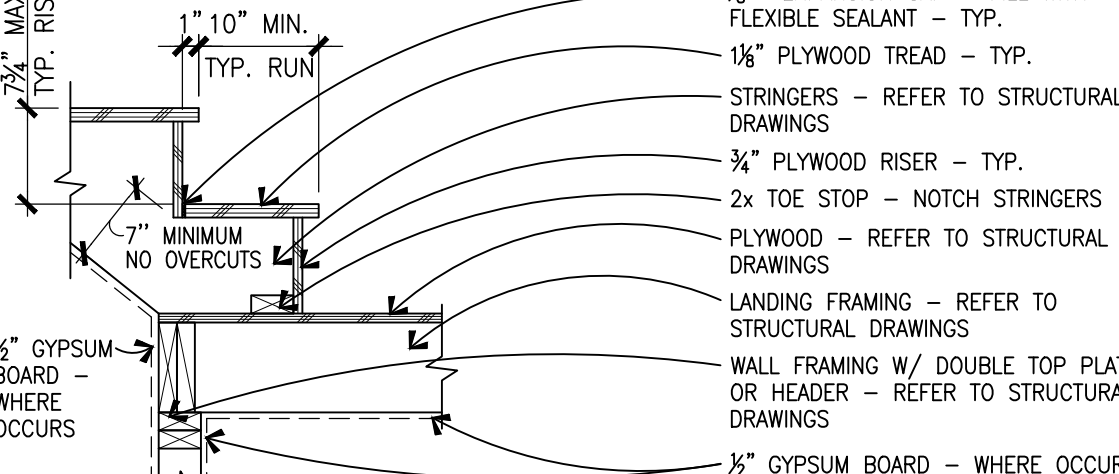
BUILDING SECTION - TYPICAL NOTES (N.T.S.)



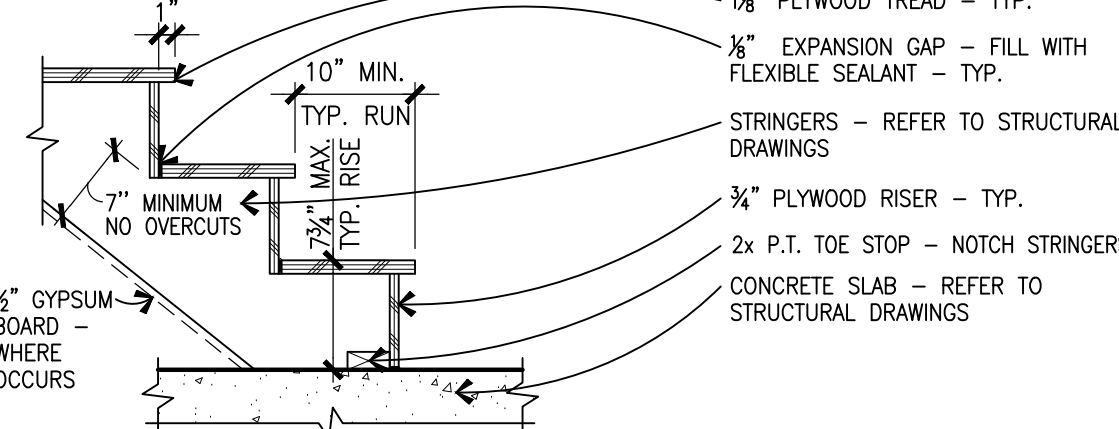
BUILDING SECTION - STAIR DETAILS (N.T.S.)



STAIR AT FLOOR/ LANDING



STAIR AT LANDING



STAIR AT SLAB

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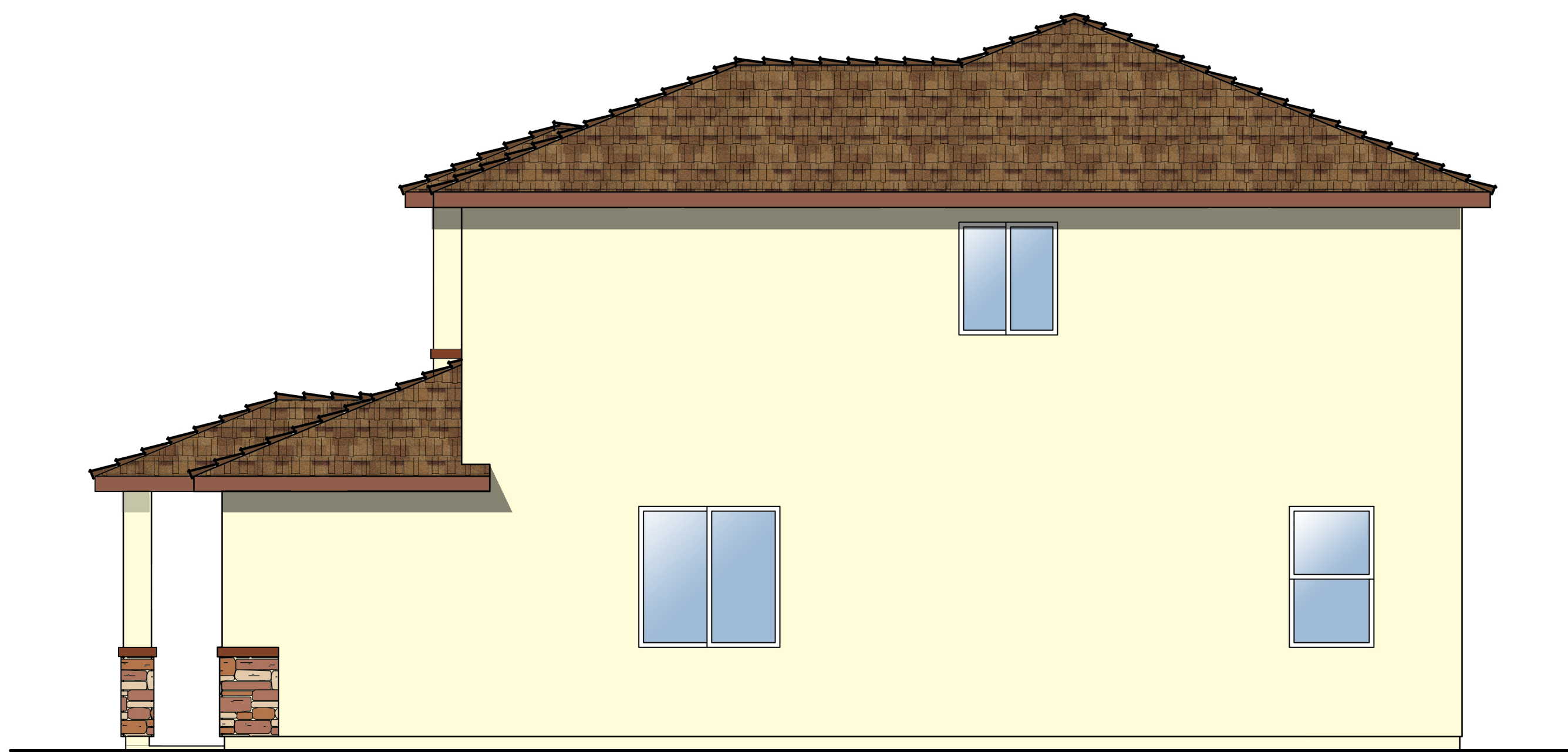
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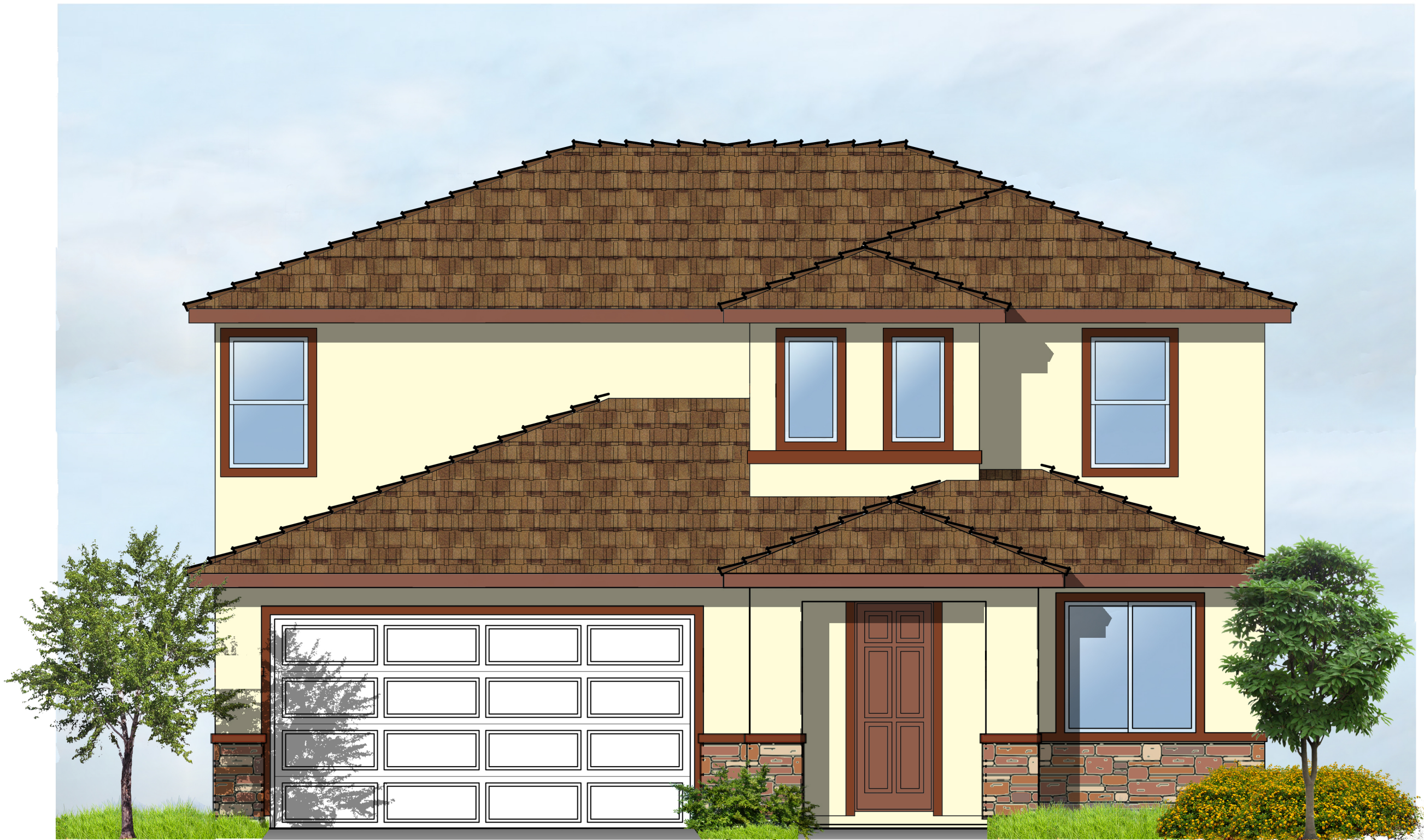
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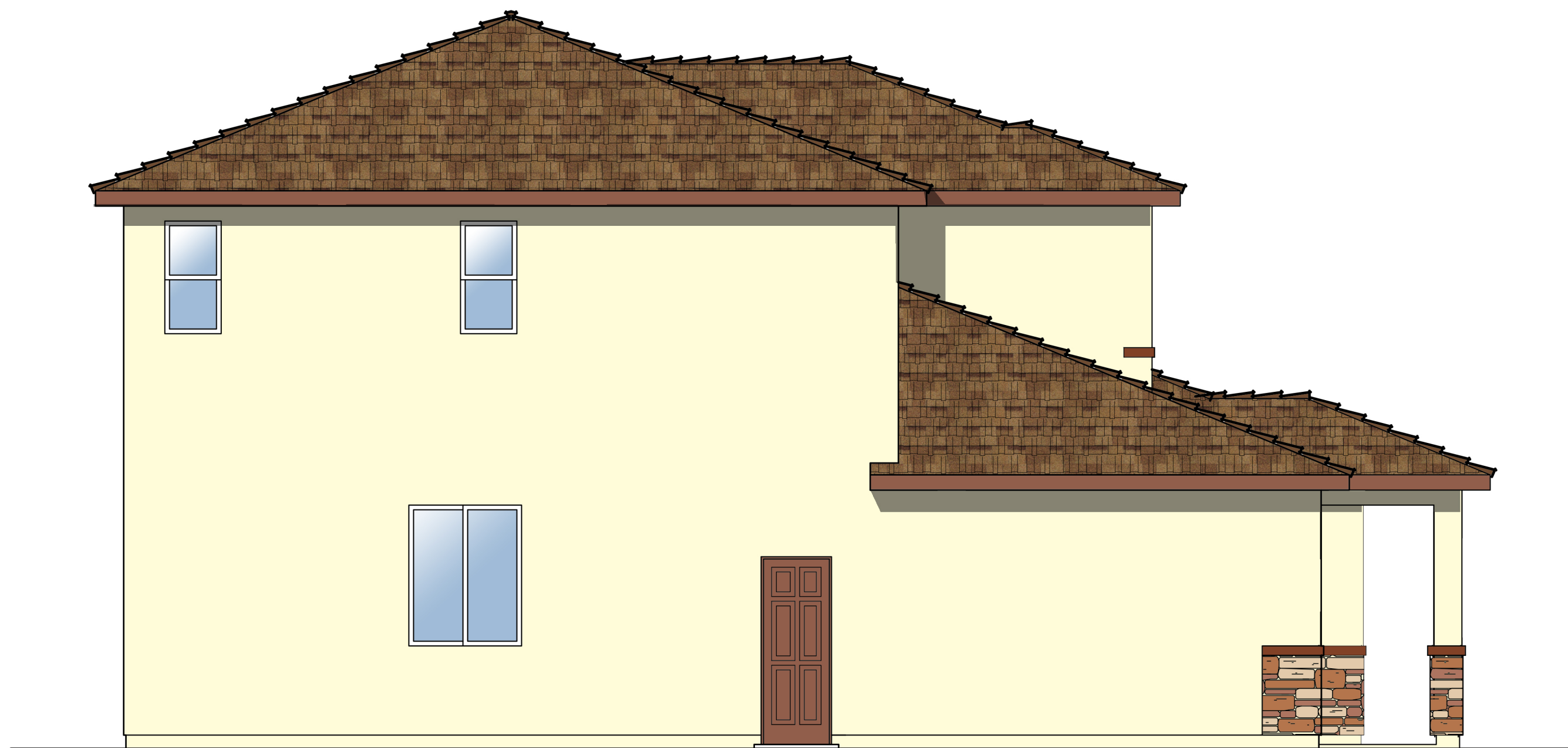
EAST ELEVATION



SOUTH ELEVATION

MATERIAL SCHEDULE

- ROOF: ASPHALT SHINGLES - MANUFACTURER: OWENS CORNING - COLOR: DESERT TAN -
- WALLS - STUCCO - MANUFACTURER: LA HABRA - COLOR: CHABLIS #12 (74) -
- FASCIA - WOOD - COLOR: CHERRY COLA (DEA156) BY DUNCAN EDWARDS PAINT -
- STUCCO FOAM TRIM - MANUFACTURER: LA HABRA - COLOR: SUN DRIED 3011L (17)
- STONE VENEER - COLOR: DESERT TAN -
- PORCH WITH STUCCO SOFFITS -



WEST ELEVATION

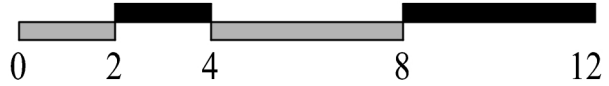


NORTH ELEVATION

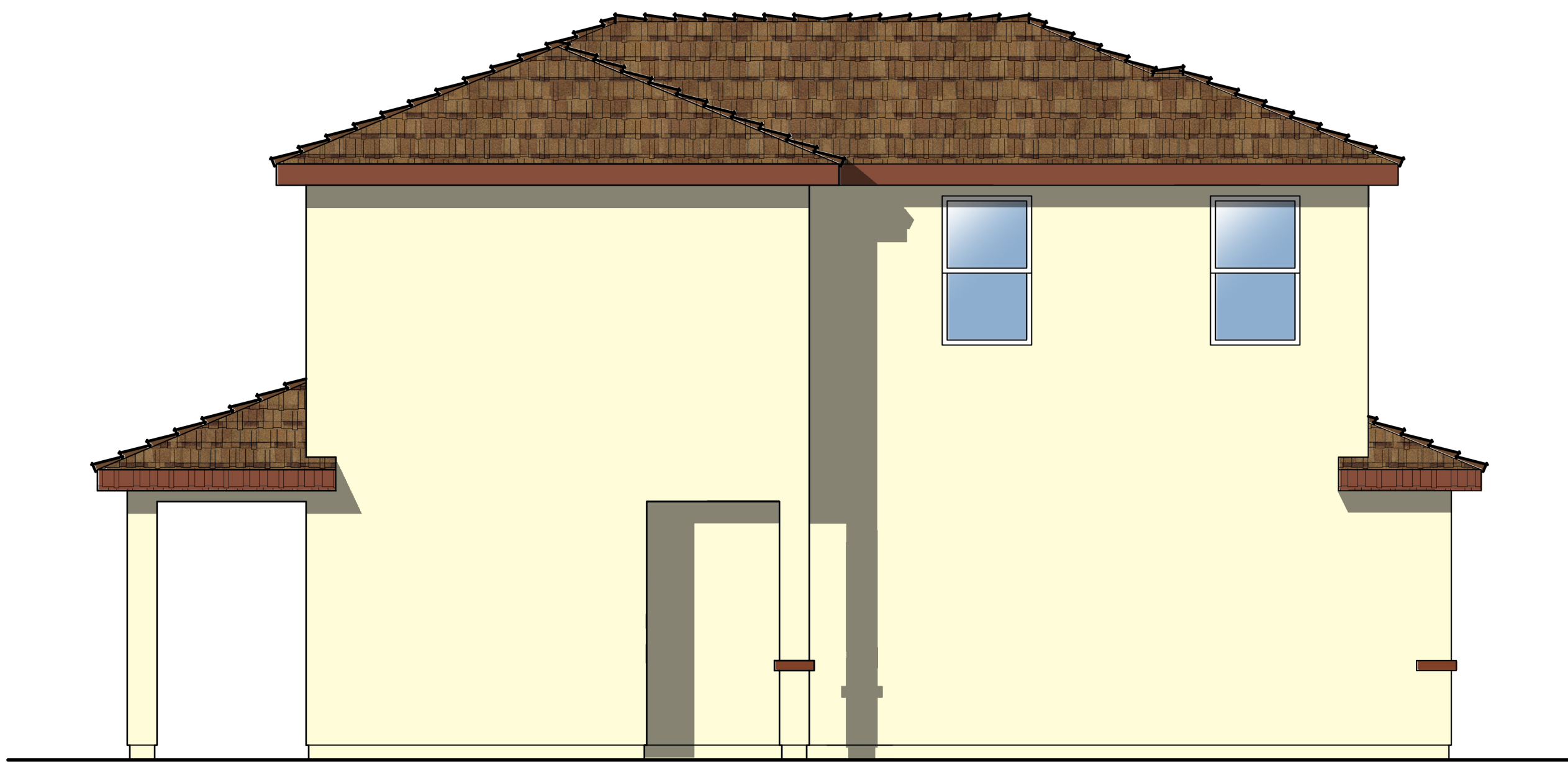
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SHEET #  
**D1-1**

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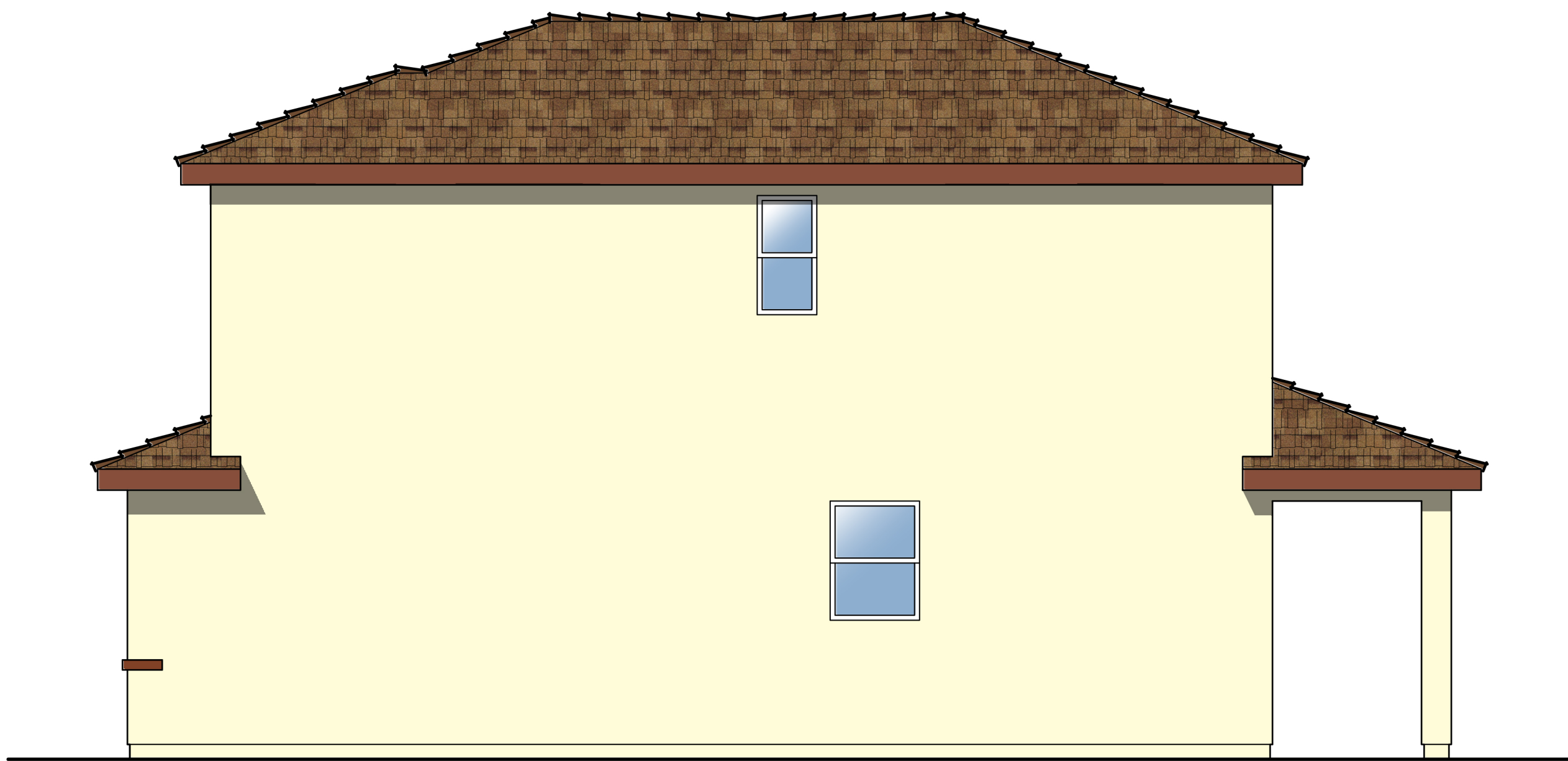
EAST ELEVATION



NORTH ELEVATION

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- PORCH WITH STUCCO SOFFITS -



WEST ELEVATION



SOUTH ELEVATION

**Ou RESIDENCE**  
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**D2-1**

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