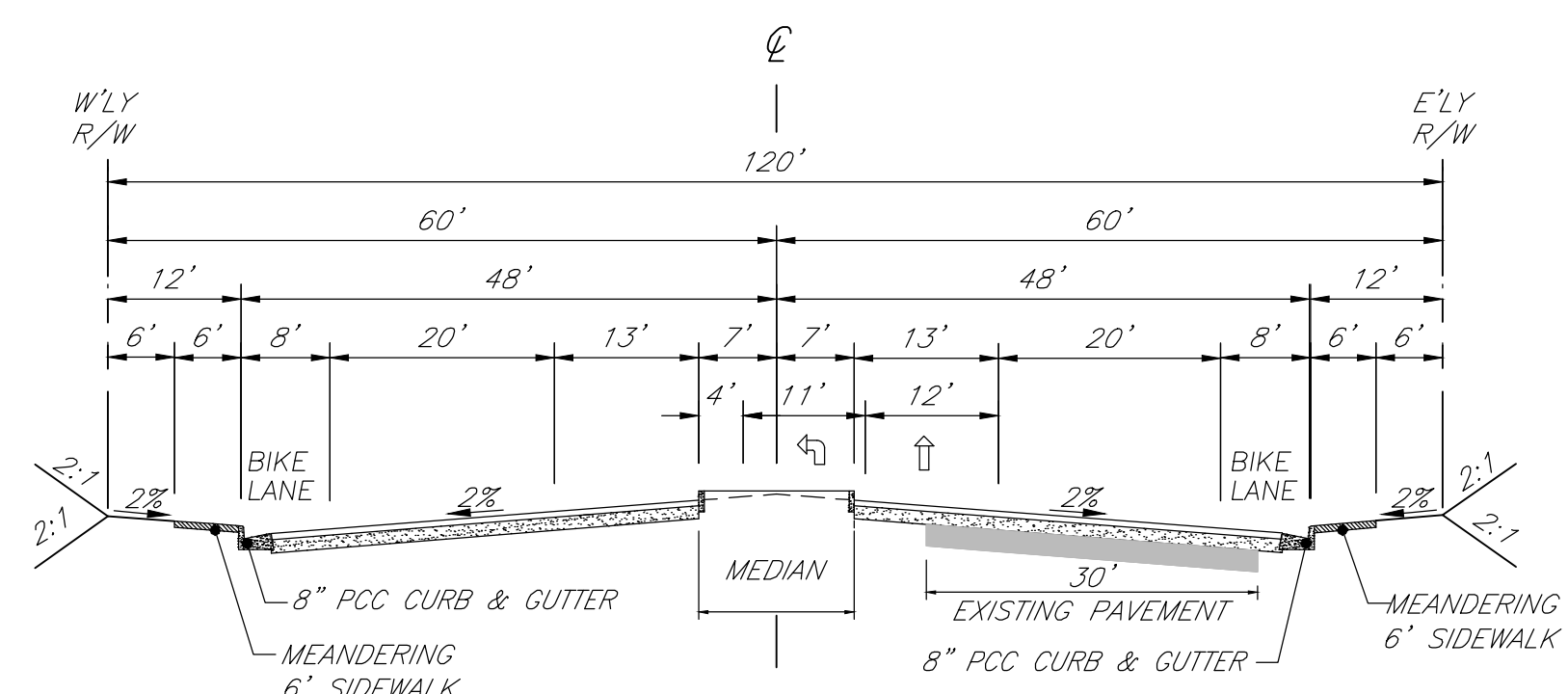
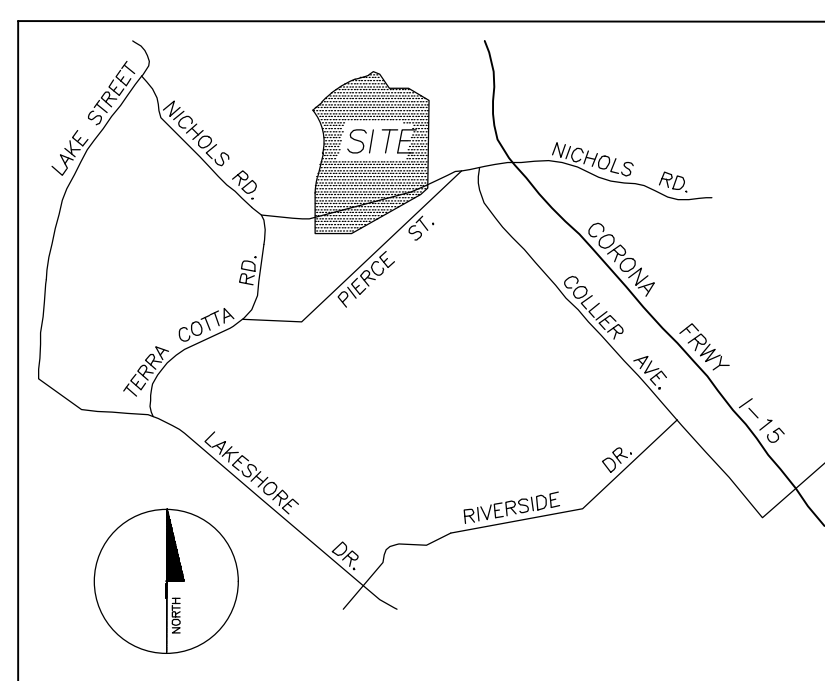


AMENDED VESTING TENTATIVE TRACT NO. 35773 - 275 LOTS

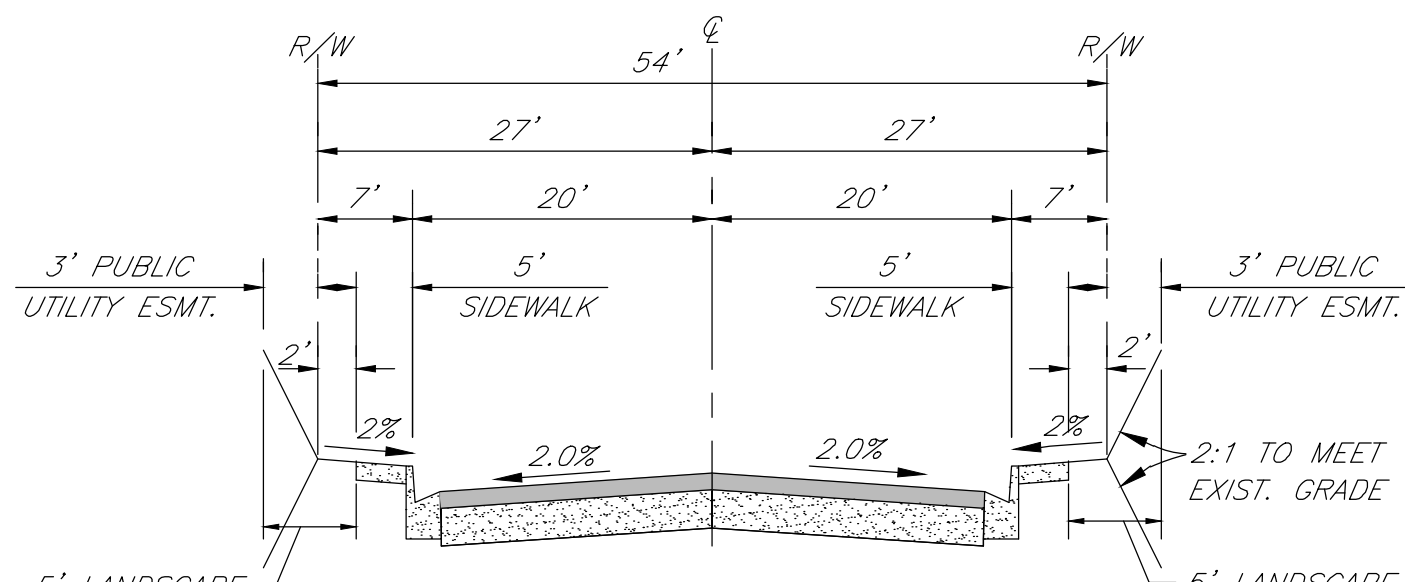
LAKE ELSINORE, CALIFORNIA

VICINITY MAP



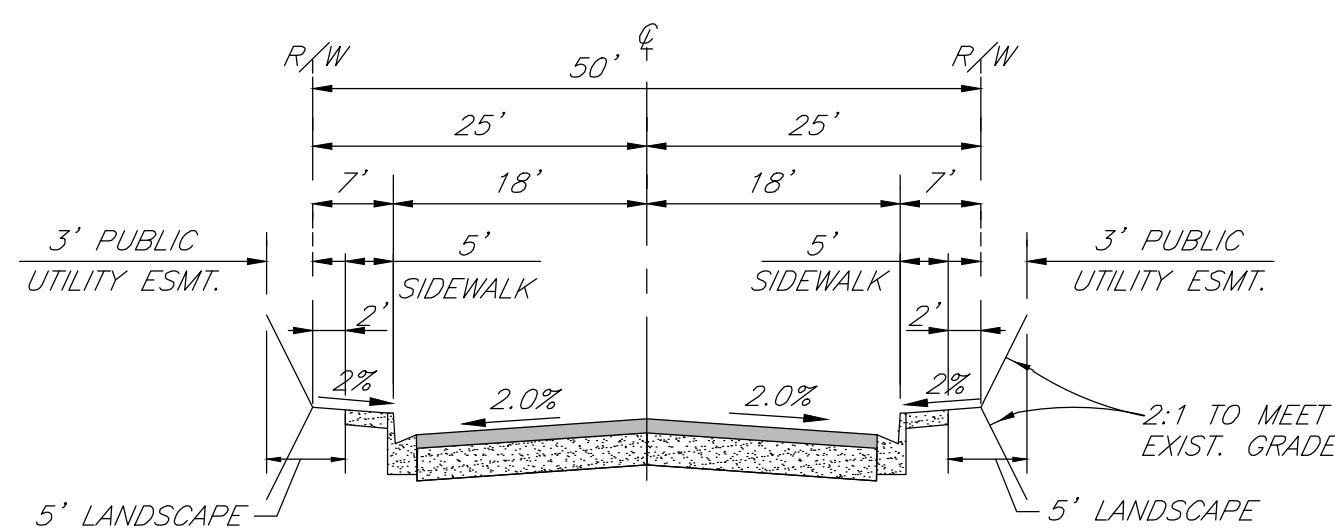
NICHOLS ROAD

ULTIMATE STREET SECTION
LOOKING EAST



ONSITE LOCAL

STREETS: A, B, C, D (SEE NOTE 15),
E, F, G, H, I, J, K, L, M, N, O, P



ONSITE CUL DE SAC

STREETS: F, G, K, P, O

NOTES

- EXISTING LAND USE: VACANT.
- EXISTING ZONING: ALBERHILL RANCH SPECIFIC PLAN.
- PROPOSED LAND USE: PLANNING AREA TWO (RESIDENTIAL).
- PARK REQUIREMENTS TO BE MET BY LAND DEDICATION, IMPROVEMENTS AND/OR FEES IF REQUIRED, WITHIN THE ALBERHILL RANCH SPECIFIC PLAN.
- WATER & SEWER SERVICE PROVIDE BY: ELSINORE VALLEY MUNICIPAL WATER DISTRICT.
- GAS SERVICE TO BE PROVIDED BY: SOUTHERN CALIFORNIA GAS CO.
- ELECTRIC SERVICE PROVIDED BY: SOUTHERN CALIFORNIA EDISON CO.
- TELEPHONE SERVICE PROVIDED BY: GENERAL TELEPHONE CO. OF CALIFORNIA.
- CABLE TELEVISION TO BE PROVIDED BY: CHARTER.
- SCHOOL DISTRICT: LAKE ELSINORE UNIFIED SCHOOL DISTRICT.
- ALL MAJOR SLOPES OR COMMON AREAS, OPEN SPACE, PRIVATE DRAINAGE FACILITIES, FIRE BREAKS, HABITAT AREAS, ROAD ACCESS EASEMENTS, AND ANY OTHER COMMON AMENITIES SHALL BE MAINTAINED BY A HOMEOWNERS ASSOCIATION OR ESTABLISHED SUBJECT TO CURRENT STATE LAWS AND BE SUBJECT TO THE APPROVAL OF THE CITY ATTORNEY AND COMMUNITY DIRECTOR WHO SHALL REVIEW ALL CC & R'S AND RULES FOR THEIR ADEQUACY AND COMPLETENESS. THE CITY ATTORNEY SHALL REVIEW CC & R'S, HOMEOWNERS ASSOCIATION DOCUMENTS AND ALL DOCUMENTS TO CONVEY TITLE TO THE HOMEOWNERS ASSOCIATION.
- ALL SLOPES ARE PRIVATE UNLESS THEY ARE WITHIN A LETTERED H.O.A. MAINTAINED LOT.
- THIS IS AN APPLICATION FOR A DEVELOPMENT PERMIT.
- MINIMUM RESIDENTIAL LOT SIZE: 5,500 S.F.
- ALL STREETS "A" THROUGH "P" TO BE PRIVATE, EXCEPT FOR THE SOUTHERN MOST ±500 FEET OF "D" STREET.

LEGEND

- PROPERTY BOUNDARY
- LIMITS OF GRADING
- PAVED R/W
- CENTERLINE
- SEWER
- EXISTING SEWER
- WATER
- EXISTING WATER
- STORM DRAIN
- FLOWLINE
- PHASE BOUNDARY
- NICHOLS ROAD CURB
- SIDEWALK
- PROPOSED EASEMENT
- H.O.A. LOTS
- TOP OF SLOPE
- TOE OF SLOPE
- EX. ROAD DEDICATION
- EX. EDGE OF PAVEMENT
- FENCELINE
- STREET LIGHTS
- CATCH BASIN
- F/H
- WATER VALVE
- EX. POWER POLE

LOT SUMMARY TABLE

Lot No.	Land Use
1-275	RESIDENTIAL LOTS/P-SF
276	MIXED USE RESIDENTIAL
277	EVMD
LOT "E"	PUBLIC PARK
LOT "F"	PRIVATE PARK
LOT "G", "A"	OPEN SPACE
LOT "H", "D", "I", "J", "K", "L", "M", "N", "O", "P"	H.O.A. LOTS
LOT "W"	WMP BASIN
LOT "X"	DETENTION BASIN
LOT "Y", "Z"	PUBLIC R/W TO BE DEDICATED

LEGAL DESCRIPTION

PARCEL 1: BLOCKS 18, 19, 20, 21, 22, 24, 25, 26 and 27 of HOFF'S FIRST ADDITION TO TERRA COTTA CITY, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 12, PAGE 568 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, TOGETHER WITH THOSE PORTIONS OF ALLEYS AND STREETS (MERIDIAN STREET, COAL AVENUE, MERRILL AVENUE, JOHNSON AVENUE, NEWMAN AVENUE AND UNNAMED STREET) AS SHOWN ON SAID MAP WHICH PASSED BY OPERATION OF LAW WITH THE CONVEYANCE OF SAID BLOCKS.

EXCEPT THAT PORTION THEREOF AS CONDEMNED BY THE ELSINORE, POMONA AND LOS ANGELES RAILROAD COMPANY, A CERTIFIED COPY OF SAID DECREE OF CONDEMNATION BEING RECORDED AMONG 241, 1898 IN BOOK 67, PAGE 270 OF DEEDS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA, ALSO EXCEPT THAT PORTION DESCRIBED BY AN INSTRUMENT TO THE ELSINORE, POMONA AND LOS ANGELES RAILROAD COMPANY RECORDED MAY 9, 1898 IN BOOK 48, PAGE 242 OF DEEDS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

PARCEL 2: THAT PORTION OF BLOCKS 24 and 25 of HOFF'S FIRST ADDITION TO TERRA COTTA CITY, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 12, PAGE 568 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, INCLUDING WITHIN 50.00 FEET ON EACH SIDE OF AND PARALLEL TO THE CENTER LINE OF THE LOCATION OF THE ELSINORE, POMONA AND LOS ANGELES RAILWAY.

PARCEL 3: THAT PORTION OF BLOCK 19 and 20 of HOFF'S FIRST ADDITION TO TERRA COTTA CITY, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 12, PAGE 568 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, INCLUDING WITHIN 50.00 FEET ON EACH SIDE OF AND PARALLEL TO THE CENTER LINE OF THE LOCATION OF THE ELSINORE, POMONA AND LOS ANGELES RAILWAY.

PARCEL 4: A PORTION OF BLOCKS 21 and 22 of HOFF'S FIRST ADDITION TO TERRA COTTA CITY, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 12, PAGE 568 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, INCLUDING WITHIN 50.00 FEET ON EACH SIDE OF AND PARALLEL TO THE CENTER LINE OF THE LOCATION OF THE ELSINORE, POMONA AND LOS ANGELES RAILWAY.

PARCEL 5: LOT 1 IN BLOCK 17 OF HOFF'S FIRST ADDITION TO TERRA COTTA CITY, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 12, PAGE 568 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, CALIFORNIA.

PARCEL 6: LOT 3 IN BLOCK 17 OF HOFF'S FIRST ADDITION TO TERRA COTTA CITY, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 12, PAGE 568 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, CALIFORNIA.

PARCEL 7: LOTS 5, 7 and 9 IN BLOCK 17 OF HOFF'S FIRST ADDITION TO TERRA COTTA CITY, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 12, PAGE 568 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, CALIFORNIA.

PARCEL 8: LOTS 2, 4, 6, 8 and 10 IN BLOCK 17 OF HOFF'S FIRST ADDITION TO TERRA COTTA CITY, IN THE CITY OF LAKE ELSINORE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 12, PAGE 568 OF MAPS, RECORDS OF SAN DIEGO COUNTY, CALIFORNIA.

PARCEL 9: THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF RIVERSIDE, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF NORTHEAST QUARTER OF FRACTIONAL SECTION 26, TOWNSHIP 5 SOUTH, RANGE 5 WEST, 50 BERNARDINO MERIDIAN, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

EXCEPT THEREFROM THAT CERTAIN STRIP OF LAND 100.00 FEET IN WIDTH LYING WITHIN SAID NORTHEAST QUARTER AS DESCRIBED IN THE INDIVIDUAL OUTCLAIM DEED RECORDED MARCH 18, 1987 AS INSTRUMENT NO. 73307, OFFICIAL RECORDS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF RIVERSIDE, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THAT PORTION OF NORTHEAST QUARTER OF FRACTIONAL SECTION 26, TOWNSHIP 5 SOUTH, RANGE 5 WEST, 50 BERNARDINO MERIDIAN, IN THE COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

EXCEPT THEREFROM THAT CERTAIN STRIP OF LAND 100.00 FEET IN WIDTH LYING WITHIN SAID NORTHEAST QUARTER AS DESCRIBED IN THE INDIVIDUAL OUTCLAIM DEED RECORDED MARCH 18, 1987 AS INSTRUMENT NO. 73307, OFFICIAL RECORDS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

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EXCEPT THEREFROM THAT CERTAIN STRIP OF LAND 100.00 FEET IN WIDTH LYING WITHIN SAID NORTHEAST QUARTER AS DESCRIBED IN THE INDIVIDUAL OUTCLAIM DEED RECORDED MARCH 18, 1987 AS INSTRUMENT NO. 73307, OFFICIAL RECORDS, RECORDS OF RIVERSIDE COUNTY, CALIFORNIA.

STATEMENT OF OWNERSHIP

I HEREBY STATE THAT THIS MAP WAS PREPARED UNDER MY SUPERVISION AND THAT THE OWNER OF RECORD HAS KNOWLEDGE OF AND CONSENTS TO THE FILING OF THIS MAP.

THOMAS M. CASELINE

DATE

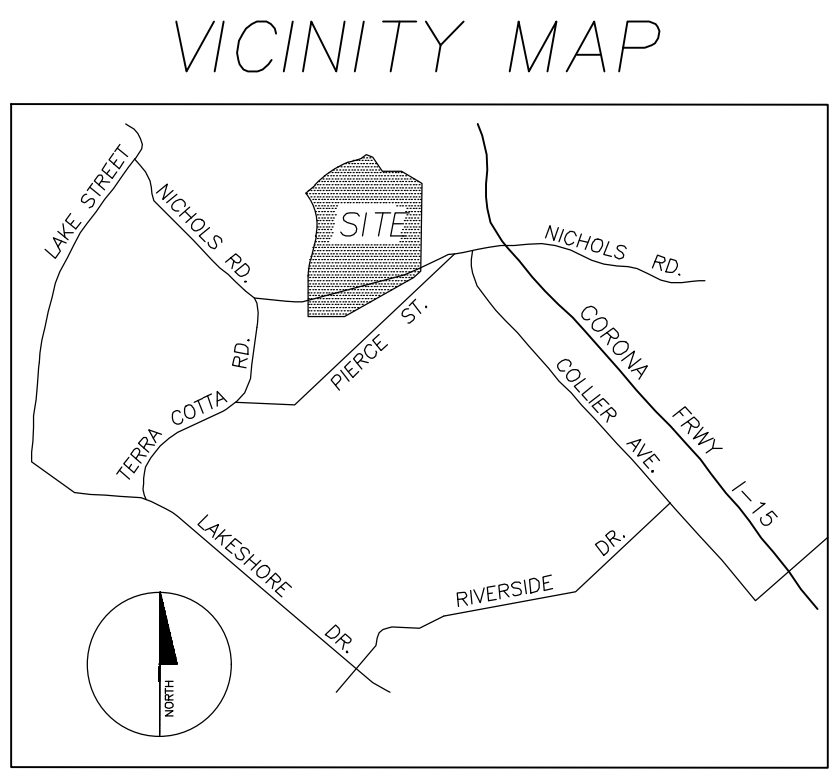
PREPARED FOR:

CASTLE & COKE ALBERHILL HOME BUILDING INC.
6455 ALBERHILL RANCH ROAD
LAKE ELSINORE, CA 92530
(951) 245-0476

KWC ENGINEERS
CIVIL ENGINEERS • PLANNERS • SURVEYORS
1880 COMPTON AVENUE, SUITE 100 • CORONA, CA 92681-3370 • 951-734-2130

SHEET
1 OF 2
SHEETS

AMENDED VESTING TENTATIVE TRACT NO.35773 - 275 LOTS
LAKE ELSINORE, CALIFORNIA
TRACT PHASING PLAN & TRACT MAINTENANCE PLAN



NUMBERED PARCELS

LOT NO.	GROSS AREA (S.F.)	LOT NO.	GROSS AREA (S.F.)
1	7,851	36	7,091
2	8,241	37	7,154
3	8,648	38	7,191
4	7,363	39	6,983
5	9,263	40	6,728
6	8,282	41	12,594
7	8,042	42	9,022
8	7,017	43	9,052
9	7,027	44	9,072
10	6,881	45	8,988
11	6,323	46	9,378
12	6,132	47	9,143
13	5,923	48	9,237
14	5,697	49	8,952
15	5,667	50	8,899
16	5,731	51	11,133
17	5,774	52	8,785
18	6,171	53	8,220
19	12,637	54	8,587
20	10,888	55	7,151
21	7,224	56	5,829
22	6,400	57	5,880
23	7,324	58	6,243
24	9,784	59	6,769
25	8,220	60	6,525
26	8,142	61	6,276
27	8,644	62	6,280
28	8,841	63	6,276
29	9,040	64	6,276
30	9,141	65	7,149
31	9,504	66	11,624
32	11,896	67	9,217
33	7,160	68	9,143
34	5,136	69	9,046
35	6,676	70	8,850

NUMBERED PARCELS

LOT NO.	GROSS AREA (S.F.)	LOT NO.	GROSS AREA (S.F.)
71	9,045	106	9,659
72	9,084	107	10,043
73	9,623	108	9,529
74	8,989	109	9,990
75	9,087	110	10,527
76	9,374	111	9,917
77	9,452	112	9,354
78	7,980	113	10,699
79	5,649	114	8,987
80	6,507	115	9,702
81	6,507	116	13,387
82	6,865	117	10,557
83	6,139	118	10,392
84	6,357	119	11,068
85	6,360	120	11,536
86	6,237	121	10,647
87	6,087	122	10,144
88	6,867	123	12,347
89	6,721	124	6,720
90	6,650	125	5,663
91	6,687	126	6,298
92	6,185	127	6,078
93	6,189	128	7,748
94	6,002	129	8,019
95	8,016	130	9,701
96	12,134	131	10,671
97	10,276	132	10,940
98	9,254	133	10,755
99	9,374	134	10,728
100	9,202	135	9,374
101	6,639	136	9,036
102	9,764	137	11,410
103	9,734	138	9,118
104	10,009	139	6,839
105	9,563	140	6,837

NUMBERED PARCELS

LOT NO.	GROSS AREA (S.F.)	LOT NO.	GROSS AREA (S.F.)
141	8,547	176	10,017
142	8,880	177	9,161
143	9,571	178	11,548
144	9,457	179	6,421
145	9,181	180	6,837
146	9,242	181	6,779
147	7,552	182	6,745
148	7,447	183	6,220
149	8,340	184	10,097
150	8,715	185	14,684
151	7,114	186	10,568
152	9,956	187	9,734
153	6,722	188	9,642
154	6,436	189	8,960
155	6,492	190	9,121
156	6,426	191	8,613
157	6,590	192	9,710
158	6,725	193	10,244
159	6,836	194	10,899
160	6,954	195	9,263
161	7,129	196	7,695
162	11,049	197	7,988
163	6,693	198	7,361
164	8,060	199	9,003
165	8,691	200	6,433
166	10,680	201	7,592
167	10,651	202	8,360
168	10,483	203	6,735
169	9,087	204	7,931
170	14,258	205	8,238
171	15,897	206	7,015
172	11,815	207	7,475
173	9,454	208	7,634
174	12,721	209	7,481
175	10,570	210	7,312

NUMBERED PARCELS

LOT NO.	GROSS AREA (S.F.)	LOT NO.	GROSS AREA (S.F.)
211	7,058	246	13,041
212	6,737	247	12,169
213	6,692	248	8,343
214	6,718	249	7,537
215	6,853	250	8,110
216	7,603	251	12,116
217	7,420	252	13,426
218	6,912	253	13,872
219	6,924	254	17,116
220	6,890	255	10,443
221	6,622	256	12,585
222	6,298	257	12,050
223	6,363	258	11,912
224	6,363	259	11,079
225	6,363	260	10,189
226	6,363	261	9,556
227	6,363	262	13,587
228	6,426	263	10,007
229	5,865	264	6,380
230	5,850	265	6,588
231	7,583	266	6,963
232	6,016	267	11,104
233	6,636	268	11,180
234	9,249	269	11,569
235	9,715	270	11,115
236	9,795	271	11,104
237	9,794	272	11,853
238	9,822	273	13,431
239	9,880	274	16,501
240	9,728	275	10,451
241	11,011		
242	12,796		
243	9,879		
244	9,728		
245	10,027		

TOTAL RSF LOTS 275
TOTAL LOT AREA 2,396,891 S.F.
AVERAGE LOT AREA 8,716 S.F.

TRACT MAINTENANCE PLAN

	PROPOSED USE	RESPONSIBLE PARTY FOR CONSTRUCTION	RESPONSIBLE PARTY FOR OWNERSHIP	RESPONSIBLE PARTY FOR MAINTENANCE
NICHOLS ROAD	PUBLIC ROADWAY	C&C AHB, INC.	CITY OF LAKE ELSINORE	CITY OF LAKE ELSINORE
7 1/2"-7 1/2" STREET	PRIVATE ROADWAY	C&C AHB, INC.	HOMEOWNERS ASSOCIATION	HOMEOWNERS ASSOCIATION
PORTION OF 10" STREET	PUBLIC ROADWAY	C&C AHB, INC.	CITY OF LAKE ELSINORE	CITY OF LAKE ELSINORE
LOT 7 1/2"-10", 7", 7 1/2"-7 1/2" 120"	OPEN SPACE/SLOPE	C&C AHB, INC.	HOMEOWNERS ASSOCIATION	HOMEOWNERS ASSOCIATION
LOT 7 1/2"	PUBLIC PARK	C&C AHB, INC.	CITY OF LAKE ELSINORE	CITY OF LAKE ELSINORE
LOT 7 1/2"	PRIVATE PARK	C&C AHB, INC.	HOMEOWNERS ASSOCIATION	HOMEOWNERS ASSOCIATION
LOT 7 1/2", 7 1/2"	OPEN SPACE/SLOPE	C&C AHB, INC.	CITY OF LAKE ELSINORE	CITY OF LAKE ELSINORE
LOT 7 1/2"	WOMP BASIN	C&C AHB, INC.	HOMEOWNERS ASSOCIATION	HOMEOWNERS ASSOCIATION
LOT 7 1/2"	DETENTION BASIN	C&C AHB, INC.	COUNTY FLOOD CONTROL	COUNTY FLOOD CONTROL
LOT 7 1/2", 7 1/2"	R/W TO BE DEDICATED	C&C AHB, INC.	CITY OF LAKE ELSINORE	CITY OF LAKE ELSINORE
LOT 7 1/2", 7 1/2"	NON-BUILDABLE LOTS	C&C AHB, INC.	HOMEOWNERS ASSOCIATION	HOMEOWNERS ASSOCIATION
SEWER LINES	UTILITIES	C&C AHB, INC.	EVMD	EVMD
WATER LINES	UTILITIES	C&C AHB, INC.	EVMD	EVMD
STORM DRAIN UP TO 18"	UTILITIES	C&C AHB, INC.	HOMEOWNERS ASSOCIATION	HOMEOWNERS ASSOCIATION
STORM DRAIN 18" TO 36"	UTILITIES	C&C AHB, INC.	CITY OF LAKE ELSINORE	CITY OF LAKE ELSINORE
STORM DRAIN 36" AND UP	UTILITIES	C&C AHB, INC.	COUNTY FLOOD CONTROL	COUNTY FLOOD CONTROL

NOTES

1. ALL PHASES SHOWN HEREON ARE PROPOSED RECORDING PHASES AND ARE SUBJECT TO CHANGE.
2. ALL NATURAL AND MANUFACTURED SLOPES NOT INCLUDED WITHIN RESIDENTIAL LOTS SHALL BE MAINTAINED BY THE H.O.A.
3. ALL H.O.A. WALLS, FENCES AND ENTRY MONUMENTATION AND SIGNAGE SHALL BE MAINTAINED BY THE PROJECT H.O.A.
4. ALL STORM DRAIN SYSTEMS WITHIN PROPOSED ROADWAY RIGHT OF WAY SHALL BE MAINTAINED BY CITY OF LAKE ELSINORE AND/OR R.C.F.C.&W.C.D.
5. ALL ONSITE WOMP FACILITIES SHALL BE MAINTAINED BY THE H.O.A.
6. ALL PUBLIC UTILITIES WITHIN THE PROPOSED ROADWAY RIGHT OF WAY AND/OR PUBLIC EASEMENTS SHALL BE MAINTAINED BY THE RESPECTIVE PURVEYOR (I.E. SEWER, WATER, POWER, TELEPHONE, C.A.T.V.)



LEGEND

- PROPERTY BOUNDARY
- LIMITS OF GRADING
- PROP. R/W
- CENTERLINE
- SEWER
- EXISTING SEWER
- WATER
- EXISTING WATER
- STORM DRAIN
- FLOWLINE
- PHASE BOUNDARY
- NICHOLS ROAD CURB
- SIDEWALK
- PROPOSED EASEMENT
- TOP OF SLOPE
- TOE OF SLOPE
- EX. ROAD DEDICATION
- EX. EDGE OF PAVEMENT
- FENCELINE
- STREET LIGHTS
- CATCH BASIN
- F/H
- WATER VALVE
- EX. POWER POLE

100' 0 100' 200' 300'
SCALE IN FEET

TRACT PHASING PLAN

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SHEET 2 OF 2
SHEETS