



## REPORT TO PLANNING COMMISSION

**To:** Honorable Chairman and Members of the Planning Commission

**From:** Damaris Abraham, Planning Manager

**Date:** May 17, 2022

**Subject:** Planning Application No. 2021-02 (Riley Senior Apartments) requesting to develop a 16-unit apartment complex and related site improvements

**Applicant:** City of Lake Elsinore

### Recommendation

Adopt A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING PLANNING APPLICATION NO. 2021-02 (PLANNING DESIGN REVIEW NO. 2021-03) FOR THE CONSTRUCTION OF A 16-UNIT APARTMENT COMPLEX TOTALING 17,372 SQUARE FOOT AND RELATED IMPROVEMENTS LOCATED AT 200 N. RILEY STREET (APN: 374-162-036).

### Project Location

The project site consists of an approximately 0.54 acre vacant land and is located approximately at the southeast corner of the intersection of Riley St. and Heald Avenue and more specifically referred to as 200 North Riley Street (Assessor Parcel Number: 374-162-036)

### Environmental Setting

	EXISTING LAND USE	GENERAL PLAN	ZONING
Project Site	Vacant	Medium Density Residential	Downtown Elsinore SP Medium Density Residential
North	Residential	Medium Density Residential	Medium Density Residential
South	Outlet Chanel	Specific Plan	Downtown Elsinore SP Floodway
East	Residential	Specific Plan	Downtown Elsinore SP Medium Density Residential
West	Outlet Chanel	Specific Plan	Downtown Elsinore SP Floodway

### Project Description

The proposed project consists of one entitlement requests: a residential design review to permit the construction of a 16-unit affordable senior apartment complex. The proposed apartment complex would total 17,372 sq. ft. with two (2) buildings with a mix of one-bedroom and two-



bedroom units which will be offered to seniors at affordable rents.

Additional improvements consist of recreational amenities including a picnic and BBQ area, parking lot, trash enclosure and other ancillary and related improvements. Frontage and landscape improvements along both Heald and North Riley would also be included as part of the development of the proposed project.

The design incorporates recessed windows, window surrounds, arched colonnades, trellised shade structures, decorative window eaves, smooth stucco texture finish, and concrete tile roofs to create an effective architectural design.

### **Analysis**

The project is located within the Downtown Elsinore Specific Plan (DESP) and has a land use designation of Medium Density Residential (MDR). The MDR designation provides for typical single family detached and attached homes, duplexes, triplexes, four-plexes, courtyard residences, apartments, condominiums, single-family cluster and multi-family residential units, public and quasi-public uses, and similar compatible uses.

The project is proposing to provide a 100% senior affordable housing project which is, under State law, entitled to significant development incentives to encourage 100% affordable housing projects. Thus, this affordability component allows a density of 29 dwelling units per acre under the State's Density Bonus Law (California Government Code § 65915 *et seq.*).

Staff has reviewed the proposed project with respect to the relevant development standards as identified in the DESP and has detailed the requirements and the proposed development standards as follows:

<b>Development Standard</b>	<b>Required</b>	<b>Proposed</b>
Building Height	30'-0"	36'-8"
Front (Riley)	20'-0"	20'-2"
Side Setback (Heald)	15'-0"	27'-2"
Side Setback (Interior)	5'-0"	25'-0"
Rear Setback	15'-0"	24'-9"
Site Coverage	50%	41%

The proposed project meets all applicable development standards within the DESP, except for the building height. Under the State's Density Bonus Law, a builder can request an administrative waiver of a development standards that physically precludes the construction of the project and the approving agency must waive the development standard unless such a waiver would cause a specific, adverse impact to public health, safety, or the environment. (Cal. Gov. Code § 65915, subd. (e).) Staff has determined to grant an administrative waiver of the height limitation as the project height will not cause a public health or safety problem, or other adverse consequence.

### **Summary**

The proposed infill development has been found consistent with the General Plan and Municipal Code. The proposed design is found to be of a high quality and will provide an appropriate addition to the adjacent residential land uses. The Design Review Committee which includes staff from



Planning, Building and Safety, Fire, and Engineering have reviewed the requested Design Review application, and support the proposed application. Appropriate Conditions of Approval have been included that would mitigate any potential issues associated with the future development and establishment of use.

### **Environmental Determination**

Staff has determined that the proposed project is exempt from the California Environmental Quality Act (Cal. Publ. Res. Code §§21000 et seq.: "CEQA") and the State CEQA Guidelines (14. Cal. Code Regs §§15000 et seq.), specifically pursuant to Section 15332 (Class 32 – In-Fill Development Projects) because the Project is consistent with the applicable General Plan designation and policies, as well as zoning designation and regulations, the Project is within the City's boundaries and on a site less than five acres surrounded by urban uses, the Property has no value as habitat, and approval of the Project will not result in any significant effects relating to traffic, noise, air quality, or water quality and the Project is adequately served by all required utilities and public services.

### **Exhibits**

- A – RDR Resolution
- B – Conditions of Approval
- C – Vicinity Map
- D – Aerial Map
- E – Design Review Package
- F – Color Renderings



## **RESOLUTION NO. 2022-**

### **A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE, CALIFORNIA, APPROVING PLANNING APPLICATION NO. 2021-02 (PLANNING DESIGN REVIEW NO. 2021-03) FOR THE CONSTRUCTION OF A 16-UNIT APARTMENT COMPLEX TOTALING 17,372 SQUARE FOOT AND RELATED IMPROVEMENTS LOCATED AT 200 N. RILEY STREET (APN: 374-162-036)**

**Whereas**, the City of Lake Elsinore (City) requests approval of Planning Application No. 2021-02 (Planning Design Review No. 2021-02 and Variance No. 2022-02) for the construction of a 16-unit affordable senior apartment complex and a variance request to increase the building height by 6'-8". The project site is located approximately at the southeast corner of the intersection of Riley St. and Heald Avenue and more specifically referred to as 200 North Riley Street (Assessor Parcel Number: 374-162-036); and,

**Whereas**, Section 6.0 of the Western Riverside County Multiple Species Habitat Conservation Plan (MSHCP) requires that all discretionary projects within a MSHCP Criteria Cell undergo the Lake Elsinore Acquisition Process (LEAP) and Joint Project Review (JPR) to analyze the scope of the proposed development and establish a building envelope that is consistent with the MSHCP criteria; and,

**Whereas**, Section 6.0 of the MSHCP further requires that the City adopt consistency findings demonstrating that the proposed discretionary entitlement complies with the MSHCP Criteria Cell, and the MSHCP goals and objectives; and,

**Whereas**, the proposed project is exempt from the California Environmental Quality Act (Cal. Publ. Res. Code §§21000 et seq.: "CEQA") and CEQA Guidelines (14. Cal. Code Regs §§15000 et seq.), specifically pursuant to Section 15332 (Class 32 – In-Fill Development Projects); and,

**Whereas**, pursuant to Section 17.415.050 (Major Design Review) of the Lake Elsinore Municipal Code (LEMC), the Planning Commission (Commission) has been delegated with the responsibility of reviewing and approving, conditionally approving, or denying design review applications; and,

**Whereas**, on May 17, 2022 at a duly noticed Public Hearing the Commission has considered evidence presented by the Community Development Department and other interested parties with respect to this item..

**NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF LAKE ELSINORE DOES HEREBY RESOLVE, DETERMINE AND ORDER AS FOLLOWS:**

**Section 1:** The Commission has considered the Project prior to making a determination and has found it acceptable.

**Section 2:** That in accordance with the MSHCP, the Commission makes the following findings for MSHCP consistency:

1. The Project is not subject to the City's LEAP and the Western Riverside County Regional Conservation Authority's (RCA) JPR processes as it is not located within a Criteria Cell.



2. The Project is consistent with the Riparian/Riverine Areas, Vernal Pools Guidelines, and the Fuel Management Guidelines as the Project is wholly located within an existing building and does not include any earth disturbing activities therefore Sections 6.1.2 or 6.3.1 of the MSHCP are not applicable.
3. The project is consistent with the Protection of Narrow Endemic Plant Species Guidelines and the Additional Survey Needs and Procedures because the project is not located within any Narrow Endemic Plant Species Survey Areas or Critical Species Survey Areas.
4. The Project is consistent with the Fuels Management Guidelines because the Project site is not within or adjacent to any MSHCP Criteria Cell or conservation areas.
5. The project has been conditioned to pay any applicable MSHCP Local Development Mitigation fees.

**Section 3:** The Planning Commission finds proposed project is exempt from the California Environmental Quality Act (Cal. Publ. Res. Code §§21000 et seq.: "CEQA") and the State CEQA Guidelines (14. Cal. Code Regs §§15000 et seq.), specifically pursuant to Section 15332 (Class 32 – In-Fill Development Projects) because the Project is consistent with the applicable General Plan designation and policies, as well as zoning designation and regulations, the Project is within the City's boundaries and on a site less than five acres surrounded by urban uses, the Property has no value as habitat, and approval of the Project will not result in any significant effects relating to traffic, noise, air quality, or water quality and the Project is adequately served by all required utilities and public services.

**Section 4:** That in accordance with State Planning and Zoning Law and the Lake Elsinore Municipal Code, the Planning Commission makes the following findings regarding Planning Application No. 2021-02 (Planning Design Review No. 2021-02):

1. The project, as approved, will comply with the goals and objectives of the General Plan and the zoning district in which the project is located.

*The proposed apartments and ancillary improvements are compatible with the General Plan and the proposed use furthers the goals and objectives of the General Plan, and the proposed project is found to be consistent with the General Plan. The subject use is a permitted use in the Downtown Elsinore Specific Plan Medium Density Residential land use designation, and the proposed development complies with all applicable development standards. The proposed project is therefore found to be consistent with the General Plan and the Municipal Code.*

2. The project complies with the design directives and all other applicable provisions of the Municipal Code.

*The proposed project provides a continuity of a design that is consistent with the downtown. The proposed project has effectively designed to break up massing and provides an attractive building design. Landscaping has been fully developed to mitigate visual impacts. The proposed project has been designed in such a manner as to mitigate all potential visual impacts associated with mechanical equipment.*

3. Conditions and safeguards pursuant to Section 17.415.050.G.3 of the LEMC, including guarantees and evidence of compliance with conditions, have been incorporated into the



approval of the Project to ensure development of the property in accordance with the objectives of Section 17.415.050.

*Pursuant to Section 17.415.050.E of the LEMC, the Project was considered by the Planning Commission at a duly noticed Public Hearing held on May 17, 2022. The Project, as reviewed and conditioned by all applicable City divisions, departments and agencies, will not have a significant effect on the environment.*

**Section 5:** Based upon the evidence presented, both written and testimonial, and the above findings, the Commission hereby recommends that the Council find that the Project is consistent with the MSHCP.

**Section 6:** Based upon all of the evidence presented, the above findings, and the conditions of approval imposed upon the Project, the Planning Commission hereby approves Planning Application No. 2021-02 (Planning Design Review No. 2021-02).

**Section 7:** This Resolution shall take effect from and after the date of its passage and adoption.

**Passed and Adopted** on this 17<sup>th</sup> day of May, 2022.

\_\_\_\_\_  
John Gray, Chairman

**Attest:**

\_\_\_\_\_  
Damaris Abraham,  
Planning Manager

STATE OF CALIFORNIA            )  
COUNTY OF RIVERSIDE        ) ss.  
CITY OF LAKE ELSINORE        )

I, Damaris Abraham, Planning Manager of the City of Lake Elsinore, California, hereby certify that Resolution No. 2022-\_\_ was adopted by the Planning Commission of the City of Lake Elsinore, California, at a regular meeting held May 17, 2022 and that the same was adopted by the following vote:



AYES  
NOES:  
ABSTAIN:  
ABSENT:

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Damaris Abraham,  
Planning Manager



## **CONDITIONS OF APPROVAL**

**PROJECT:** PA 2021-02 (PDR 2021-02 and VAR 2022-02)  
**PROJECT LOCATION:** APN 374-162-036  
**APPROVAL DATE:**  
**EFFECTIVE DATE:**  
**EXPIRATION DATE:**

### **PLANNING DIVISION**

1. Planning Application No. 2021-02 (Planning Design Review No. 2021-02 and Variance No. 2022-02) proposes the construction of a 16-unit affordable senior apartment complex and a variance request to increase the building height by 6'-8". The project site is located approximately at the southeast corner of the intersection of Riley St. and Heald Avenue and more specifically referred to as 200 North Riley Street (Assessor Parcel Number: 374-162-036).
2. The applicant shall defend (with counsel acceptable to the City), indemnify, and hold harmless the City, its Officials, Officers, Employees, and Agents from any claim, action, or proceeding against the City, its Officials, Officers, Employees or Agents to attach, set aside, void, or annul an approval of the City, its advisory agencies, appeal boards, or legislative body concerning the project attached hereto.
3. Design Review approval will lapse and be void unless a building permit is issued within two (2) years of the approval date and construction commenced and diligently pursued to completion. The Community Development Director may grant an extension of time for up to one (1) year prior to the expiration of the initial Design Review. An application for a time extension and required fee shall be submitted a minimum of one (1) month prior to the expiration date.

### **GENERAL CONDITIONS**

4. Prior to the Submittal of building plans for plan check, the applicant shall submit a signed copy of the Conditions of Approval for inclusion in the case file.
5. Prior to the issuance of a building permit, the applicant shall obtain and submit a "Will Serve" letter from Elsinore Valley Municipal Water District to the Director of Community Development. The "will serve" letter shall specifically indicate the specific water flow volumes for both domestic and fire protection water supply. It shall be within the Director of Community Development's sole discretion to determine whether the "will serve" letter is sufficient.
6. The signed set of conditions of approval shall be reproduced upon page one of building plans submitted to the Building and Safety Division for Plan Check. All conditions of approval shall be met prior to the issuance of a Certificate of Occupancy and release of utilities.
7. All site improvements shall be constructed as indicated on the approved site plan and elevations, with revisions as noted herein. The applicant shall meet all required development standards as set forth in the Lake Elsinore Municipal Code (LEMC). Any



other revisions to the approved site plan or building elevations shall be subject to the review of the Community Development Director or his designee. All plans submitted for Building Division Plan Check shall conform to the submitted plans as modified by the conditions of approval.

8. All materials and colors depicted on the approved plans shall be used. If the applicant wishes to modify any of the approved materials or colors depicted on the plans, the applicant shall submit a proposal setting forth the modifications for review by the Community Development Director or his designee.
9. The Applicant shall comply with all applicable City codes and ordinances.
10. A cash bond of \$1,000.00 shall be required for any construction trailers placed on the site and used during construction. Bonds will be released after removal of trailers and restoration of the site to a state acceptable to and approved by the Community Development Director or his designee.
11. The Applicant shall comply with the City's Noise Ordinance. Construction activity shall be limited to the hours of 7:00 AM to 5:00 PM, Monday through Friday, and no construction activity shall occur on Saturdays, Sundays or legal holidays.
12. Any exterior air conditioning or other mechanical equipment shall be ground mounted and screened so as to be invisible from neighboring property or public streets. Air conditioning units and related equipment may not encroach more than two-feet (2') into the required minimum side yard setback.
13. The proposed project shall be redesigned so as to meet all required setbacks prior to the issuance of a building permit.
14. Prior to the submittal of building plans for plan check, the applicant shall submit landscape plans to be approved by the Community Development Director, or their designee. The landscape plan improvements and plantings shall be fully installed prior to issuance of a Certificate of Occupancy.
15. The Applicant shall plant street trees, selected from the City Street Tree List, a maximum of thirty feet (30') apart along all street frontages. Planting is subject to the approval of the Community Development Director or designee prior to issuance of a Certificate of Occupancy.
16. Any planting within fifteen feet (15') of ingress/egress points shall be no higher than thirty-six inches (36").
17. Three (3) sets of the Final Landscaping / Irrigation Detail Plans shall be submitted to the Community Development Department with appropriate fees, reviewed by the City's Landscape Architect Consultant and approved by the Community Development Director or designee, prior to issuance of a building permit.
  - a) All planting areas shall have permanent and automatic sprinkler system with 50% plant coverage using a drip irrigation method.



- b) All planting areas shall be separated from paved areas with a six inch (6") high and six inch (6") wide concrete curb. Runoff shall be allowed from paved areas into landscape areas. Planting within fifteen feet (15') of ingress/egress points shall be no higher than twenty-four inches (24").
  - c) Landscape planters shall be planted with an appropriate parking lot shade tree pursuant to the LEMC and Landscape Design Guidelines.
  - d) No required tree planting bed shall be less than 5 feet wide.
  - e) Root barriers shall be installed for all trees planted within 10 feet of hardscape areas to include sidewalks.
  - f) Any transformers and mechanical or electrical equipment shall be indicated on landscape plan and screened as part of the landscaping plan.
  - g) The landscape plan shall provide for ground cover, shrubs, and trees and meet all requirements of the City's adopted Landscape Guidelines.
  - h) All landscape improvements shall be bonded 100% for material and labor for two years from installation sign-off by the City. Release of the landscaping bond shall be requested by the applicant at the end of the required two years with approval/acceptance reviewed by the Landscape Consultant and approved by the Community Development Director or Designee.
  - i) All landscaping and irrigation shall be installed within affected portion of any phase at the time a Certificate of Occupancy is requested for any building.
  - j) Final landscape plan must be consistent with approved site plan.
  - k) Final landscape plans to include planting and irrigation details.
  - l) Final landscape plans shall include drought tolerant planting consistent with Elsinore Valley Municipal Water District standards subject to plan check and approval by the City's landscape plan check consultant.
  - m) No turf shall be permitted.
- 18.** Driveways shall be constructed of concrete per Building and Safety Division standards.
- 19.** All walls and/or fencing need to be located off the property line. If the Applicant proposes to place any walls and/or fencing on the property line he/she must submit a notarized agreement between the subject property owner and the adjacent property owner to the Planning Department prior to installing the fence.
- 20.** The building address shall be a minimum of four inches (4") high and shall be easily visible from the public right-of-way. Care shall be taken to select colors and materials that contrast with building walls or trim.
- 21.** Shall pay all applicable fees at the rate in effect at the time that they are due.
- 22.** If any of the conditions of approval set forth herein fail to occur, or if they are, by their terms, to be implemented and maintained over time, if any of such conditions fail to be so implemented and maintained according to their terms, the City shall have the right to revoke or modify all approvals herein granted, deny or further condition issuance of all future building permits, deny, revoke, or further condition all certificates of occupancy issued under the authority of approvals herein granted; record a notice of violation on the



property title; institute and prosecute litigation to compel their compliance with said conditions or seek damages for their violation.

## **BUILDING DIVISION**

### **PRIOR TO BUILDING PERMITS**

23. Any and all improvements shall be in compliance with the 2019 editions of the California Building, Plumbing and Mechanical Codes, 2019 California electrical Code, California Administrative Code, 2019 California Energy Codes, 2019 California Green Building Standards, California Title 24 Disabled Access Regulations and the Lake Elsinore Municipal Code.
24. The developer shall comply with all Municipal Code provisions regarding construction debris removal and recycling as set forth in Chapter 14.12 (Construction and Demolition Waste Management) of the Lake Elsinore Municipal Code.
25. All department approvals and fees shall be paid prior to the issuance of building permits.
26. The applicant shall place a weatherproof 3' x 3' sign at the entrance to the project site identifying the approved days and hours of construction activity (i.e., 7:00 A.M. – 5:00 P.M., Monday through Friday with no construction activity to occur on Saturdays, Sundays or legal holidays) and a statement that complaints regarding the operation can be lodged with the City of Lake Elsinore Code Enforcement Division (951) 674-3124. The sign shall be installed prior to the issuance of a grading permit.

## **ENGINEERING DIVISION**

27. All slopes and landscaping within public right-of-way shall be maintained by the property owner.
28. On-site drainage including all natural drainage traversing the site (historic flow) shall be conveyed through the site to one or a combination of the following: to a public facility, accepted by adjacent property owners by a recorded letter of drainage acceptance or collected and conveyed by a method approved by the City Engineer to a drainage easement.
29. Arrangements for relocation of utility company facilities (power poles, vaults, street signs, etc.) on site and/or out on the roadway or alley shall be the responsibility of the property owner or his agent. Overhead utilities (12 KV or lower) shall be under grounded.
30. In accordance with the City's Franchise Agreement for waste disposal & recycling, the applicant shall be required to contract with CR&R Inc. for removal and disposal of all waste material, debris, vegetation and other rubbish generated during cleaning, demolition, clear and grubbing or all other phases of construction.
31. Provide soils, geology and seismic report, including recommendations for parameters for seismic design of buildings, and walls.

## **STORM WATER MANAGEMENT / POLLUTION PREVENTION**



- 32.** The applicant shall comply with City of Lake Elsinore ordinances for storm water management and discharge control. In accordance with state and federal law, these local storm water ordinances prohibit the discharge of waste into storm drain system or local surface waters. This includes non-storm water discharges containing oil, grease, detergents, trash, or their waste remains. Brochures of "Storm Water Pollution, What You Should Know" describing preventive measures are available at City Hall. Install and maintain a stabilized construction entrance / exit access point to reduce / eliminate tracking off site onto Park Way.

**IMPROVEMENTS:**

- 33.** An encroachment permit is required for all work to be done in the public right-of-way. Applicant shall submit the permit application, required fees, security, and documents prior to issuance.
- 34.** Work done under an encroachment permit for off-site improvements shall be delineated on the precise grading plans and approved and signed by the City Engineer prior to issuance of building permits.
- 35.** A California Registered Civil Engineer shall prepare the improvement plans required for this project. Improvements shall be designed and constructed to City of Lake Elsinore Standard Plans and City Codes (LEMC 12.04 and 16.34)
- 36.** The street improvements shall include sidewalk, curb and gutter, and a residential driveway approach. Plans must be approved and signed by the City Engineer prior to issuance of building permit (LEMC 16.34).
- 37.** Driveway slope not to exceed 15%.
- 38.** All improvements shall be ADA compliant.
- 39.** The existing street plans on file shall be modified accordingly and approved by the City Engineer prior to issuance of building permit.
- 40.** Roof drains shall not be allowed to outlet directly through coring in the street curb. Roofs should drain to a landscaped area.

**PRIOR TO GRADING PERMIT**

- 41.** A grading plan signed and stamped by a California Registered Civil Engineer shall be submitted for City review and approval. All grading shall be done under the supervision of a geotechnical engineer. Slopes steeper than 2 to 1 shall be evaluated for stability and proper erosion control and approved by the City. Grading plan submittal shall include supporting documentation as identified on the plan check submittal checklist. Reports shall be prepared by a Registered Civil Engineer.
- 42.** Grading plan shall include separate sheets for sediment and erosion control, traffic control and haul route.



43. All grading plan contours shall extend to minimum of 50 feet beyond property lines to indicate existing drainage pattern.
44. Hydrology and Hydraulic Reports shall be submitted for review and approval by City Engineer for plan approval.
45. Developer shall mitigate any flooding and/or erosion downstream caused by development of the site and/or diversion of drainage. The site plan or grading plan shall show natural drainage conveyed through the site, or collected and conveyed by a method approved by the City Engineer.
46. The applicant shall obtain all necessary off-site easements and/or permits for off-site grading and/or drainage acceptance from the adjacent property owners prior to grading permit issuance.
47. Applicant shall execute and submit grading and erosion control agreement, post grading security and pay permit fees as a condition of Grading Permit issuance.
48. Prior to issuance of a Grading Permit, applicant to provide the City for review and approval a plan of all proposed haul routes to be used for movement of import or export material. Export sites located within the Lake Elsinore City limits must have an active grading permit.
49. Applicant shall pay all applicable grading permit and development fees.
50. The applicant shall obtain and provide to the City a letter of non-interference from Southern California Edison.

**PRIOR TO BUILDING PERMIT**

51. All Public Works requirements shall be complied with as a condition of development as specified in the Lake Elsinore Municipal Code (LEMC) prior to building permit.
52. Public right-of-way dedications and easement shall be prepared by the applicant or his agent. Deeds shall be submitted to the Engineering Division for review and approval prior to issuance of building permit.

**PRIOR TO OCCUPANCY/FINAL APPROVAL:**

53. All compaction reports, grade certifications, monument certifications (with tie notes delineated on 8 ½ x 11" mylar) shall be submitted to the Engineering Division before final inspection will be scheduled.
54. Provide final soils report showing compliance with recommendations prior to occupancy.
55. Pay all fees and meet requirements for construction of off-site public works improvements (LEMC12.08, Res.83-78).
56. All street improvements shall be completed in accordance with approved plans or as a condition of development to the satisfaction of the City Engineer.



- 57. All required easement and dedications as conditions of this development shall be approved and recorded, with a recorded copy provided to the City.
- 58. All outstanding fees, to include processing, permit and development impact, shall be paid.
- 59. All approved plans shall be as-built. As-plans shall be submitted for review and approval by the City. The applicant/developer/owner is responsible for revising mylar plans.
- 60. Digital (.tif) copy on compact disc of all completed/as built grading and improvement plan and final reports (soil, hydrology, etc.) shall be provided.
- 61. Provide on compact disc GIS Shape files of all as built street and storm drain plans. \*ALL DATA MUST BE IN projected Coordinate System: NAD 83 State Plane California Zone VI U.S. Fleet.

#### **CITY OF LAKE ELSINORE FIRE MARSHAL**

- 62. **Lake Elsinore Fire Protection Planning Office Responsibility-** It is the responsibility of the recipient of these Fire Department conditions to forward them to all interested parties. The permit number (**as it is noted above**) is required on all correspondence. Questions should be directed to the Riverside County Fire Department, Lake Elsinore Fire Protection Planning Division at 130 S. Main St., Lake Elsinore, CA 92530. Phone: (951) 674-3124 Ext. 225. The following fire department conditions shall be implemented in accordance with the Lake Elsinore Municipal Code and the adopted codes at the time of project building plan submittal, these conditions are in addition to the adopted code requirements.
- 63. **Blue Dot Reflectors** - Blue retro-reflective pavement markers shall be mounted on private streets, public streets and driveways to indicate location of fire hydrants. Prior to installation, placement of markers must be approved by the Riverside County Fire Dept.
- 64. **Standard Fire Hydrants-** Super fire hydrants (6" x 4" x 2 1/2"), shall be located not less than 25 feet or more than 250 feet from any portion of the building as measured along approved vehicular travel ways. The required fire flow shall be available from any adjacent hydrant (s) in the system

#### **PRIOR TO BUILDING PERMIT ISSUANCE**

- 65. **Plan Check Fee-** Building plan check fees shall be made payable to the "City of Lake Elsinore", and shall be submitted to the Fire Department at the time of plan submittal.
- 66. **Water System Plans-** Applicant and/or developer shall submit 2 sets of water system plans to the Fire Department for review. The plans must be signed by a registered Civil Engineer and/or water purveyor prior to Fire Department review and approval. Mylars will be signed by the Fire Department after review and approval. Two (2) copies of the signed and approved water plans shall be returned to the Fire Department before release of a building permit.
- 67. **Prior to Building Construction Verification-** This project shall be inspected and approved by the Fire Marshal or designee prior to bringing combustible materials on site. During said inspection all permanent road signs shall be in place, all hydrants shall on



operating and approved for use by the water purveyor, and all permanent road surfaces shall be completed including primary and secondary access circulation.

**PRIOR TO BUILDING FINAL INSPECTION**

- 68. Residential Fire Sprinkler Systems for Single family and two-family 13D-** Install a complete fire sprinkler system designed in accordance with California Residential Code, California Fire Code and adopted standards. A C-16 licensed contractor must submit plans, along with the current fee, to the Fire Department for review and approval prior to installation.



I hereby state that I acknowledge receipt of the approved Conditions of Approval for the above named project and do hereby agree to accept and abide by all Conditions of Approval as approved by the City of Lake Elsinore Planning Commission on \_\_\_\_\_. I also acknowledge that all Conditions shall be met as indicated.

Date: \_\_\_\_\_

Applicant's Signature: \_\_\_\_\_

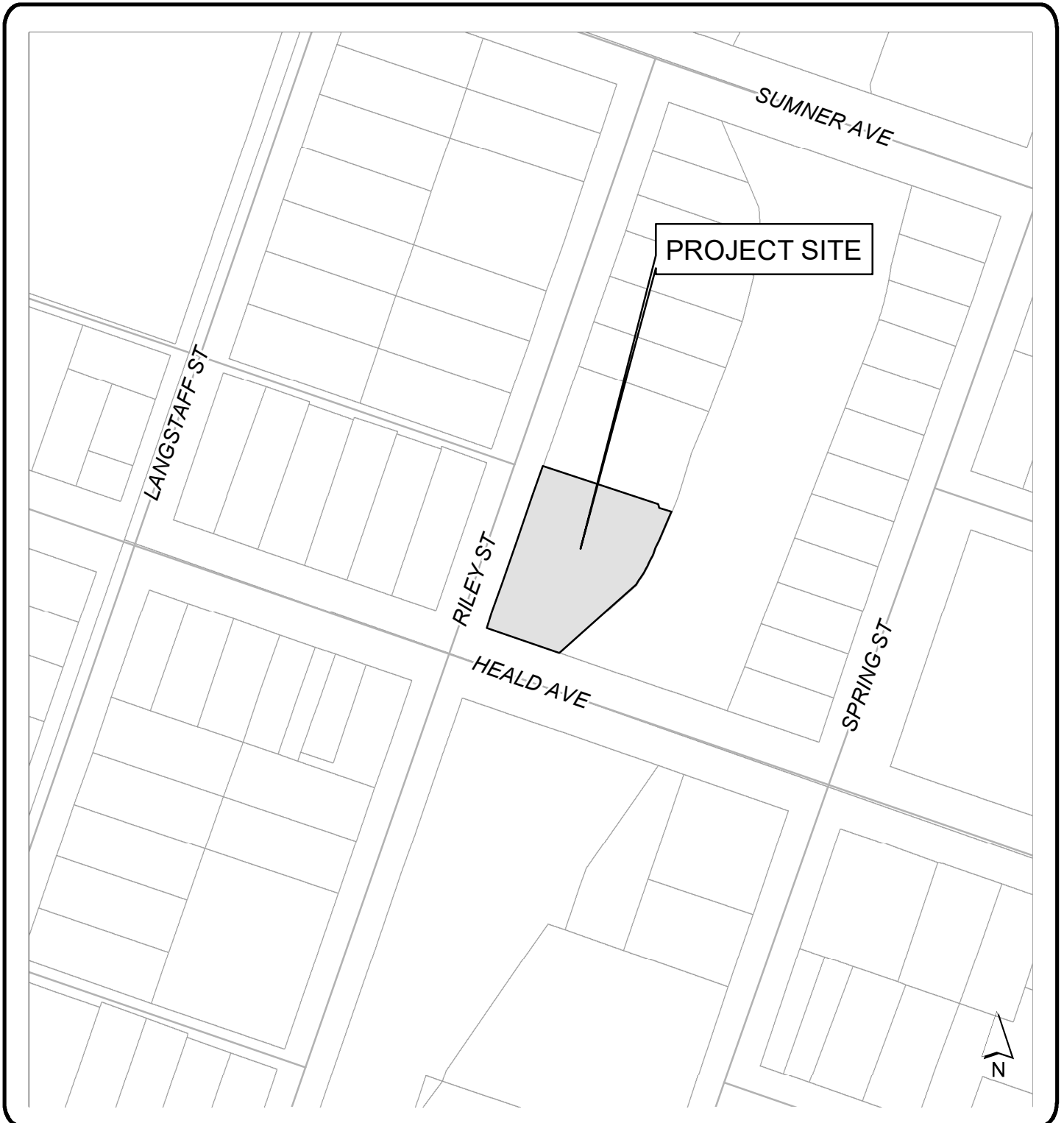
Print Name: \_\_\_\_\_

Address: \_\_\_\_\_

Phone Number: \_\_\_\_\_  
\_\_\_\_\_



Planning Application No. 2021-02  
APN: 374-162-036  
VICINITY MAP





Planning Application No. 2021-02  
APN: 374-162-036  
AERIAL MAP





PROJECT INFORMATION

PROJECT ADDRESS:

200 N. RILEY ST.  
LAKE ELSINORE, CA, 92530

ASSESSOR'S PARCEL NO.:

374-162-036-6

OWNER:

CITY OF LAKE ELSINORE  
130 SOUTH MAIN ST.,  
LAKE ELSINORE, CA, 92530

BUILDING DATA:

DESCRIPTION OF WORK:

2 BLDGS. 16 UNITS OF NEW APARTMENTS.  
11 UNITS OF MULTI-FAMILY ADA ADAPTABLE DWELLINGS. WITH 2 ADA COMPLIANT UNITS.

OCCUPANCY GROUP:

R-2

TYPE OF CONSTRUCTION:

YES

SPRINKLERED (YES/NO):

YES

BUILDING HEIGHT AND NO. OF STORIES:

BUILDING A  
HEIGHT:  
NO. OF STORIES:

27' - 2"  
2

BUILDING B  
HEIGHT:  
NO. OF STORIES:

36' - 8"  
3

SQUARE FOOTAGE:

PRIVATE OPEN SPACES

PLAYGROUND:

BBQ/ PICNIC AREA:

LAWN AREA:

888 SF  
365 SF  
875 SF

BUILDING FLOOR AREA:

BUILDING A  
LEVEL 1 (3) APARTMENTS -  
101A, 102A, 103A (1 BD, 1 BA EA)  
APARTMENT  
PATIO

378 SF  
159 SF

LEVEL 2 (3) APARTMENTS  
201A, 202A, 203 A (2BD, 1BA EA)  
APARTMENT  
(2) GARAGE PARKING  
SPACES 1EA

954 SF  
579 SF

BUILDING A OVERALL TOTAL:

6,198 SF

BUILDING B (LEVEL 1)

(2) APARTMENTS 101B & 10B (1 BD, 1 BA EA)  
(1) EXT. PARKING SPACE EA)

APARTMENT  
PATIO

583 SF  
214 SF

COMMON/ SERVICE AREAS  
BUILDING B GARAGE

473 SF  
1,535 SF

BUILDING B LEVEL 1 TOTAL:

3,602 SF

BUILDING B (LEVEL 2)

(2) APARTMENTS 201B, 202B, & 203B (2 BD, 1 BA EA)  
(1) GARAGE PARKING SPACE EA)

APARTMENT:  
PATIO

693 SF  
186 SF

202B  
PATIO

757 SF  
89 SF

203B  
PATIO

723 SF  
89 SF

204B  
PATIO

693 SF  
186 SF

COMMON/ SERVICE AREAS

494 SF

BUILDING B LEVEL 2 TOTAL:

3,786 SF

BUILDING B (LEVEL 3)

(4) APARTMENTS 301B, 302B, 303B & 304B (2 BD, 1 BA EA)  
(1) GARAGE PARKING SPACE EA)

APARTMENT:  
PATIO

693 SF  
186 SF

302B  
PATIO

757 SF  
89 SF

303B  
PATIO

723 SF  
89 SF

304B  
PATIO

693 SF  
186 SF

COMMON/ SERVICE AREAS

494 SF

BUILDING B LEVEL 3 TOTAL:

3,786 SF

BUILDING B OVERALL TOTAL:

11,174 SF

BUILDING A & B OVERALL TOTAL:

17,372 SF

LEGAL DESCRIPTION

374162036 Recorded Book/Page: MB 8/378  
SUBDIVISION NAME: HEALDS RESUB  
Lot/Parcel: 8 Block: 51 Tract Number:  
CITY BOUNDARY: LAKE ELSINORE

CODE INFORMATION

LIST OF ALL APPLICABLE CODES

ALL WORK SHALL COMPLY WITH CURRENTLY ADOPTED :

2019 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.  
(2018 INTERNATIONAL BUILDING CODE)

2019 CALIFORNIA RESIDENTIAL CODE (IRC), PART 2.5, TITLE 24 C.C.R.  
(2018 INTERNATIONAL RESIDENTIAL CODE)

2019 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.  
(2018 NATIONAL ELECTRICAL CODE)

2019 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R.  
(2018 UNIFORM MECHANICAL CODE)

2019 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.  
(2018 UNIFORM PLUMBING CODE)

2019 CALIFORNIA GREEN BUILDING STANDARD CODE

2019 CALIFORNIA ENERGY CODE

VICINITY MAP

SHEET LEGEND

STRUCTURAL

SCS STRUCTURAL COVER SHEET  
SN1 STRUCTURAL GENERAL NOTES  
SN2 STRUCTURAL GENERAL NOTES  
SN3 STRUCTURAL GENERAL NOTES  
S211 BUILDING A FOUNDATION PLAN  
S212 BUILDING A 2ND FLOOR FRAMING PLAN  
S213 BUILDING A ROOF FRAMING PLAN  
S221 BUILDING B FOUNDATIO PLAN  
S222 BUILDING B 2ND FLOOR FRAMING PLAN  
S223 BUILDING B 3RD FLOOR FRAMING PAN  
S224 BUILDING B ROOF FRAMING PLAN  
SD1 FOUNDATION DETAILS  
SD1.1 FOUNDATION DETAILS  
SD2 GENERAL FRAMING DETAILS  
SD3 FLOOR FRAMING DETAILS  
SD4 ROOF FRAMING DETAILS  
SD5 MISCELLANEOUS FRAMING DETAILS  
HFX1 HFX PANEL ANCHORAGE DETAIL  
HFX2 HFX FRAMING DETAIL

MECHANICAL

M0.1 MECHANICAL LEGEND, NOTES & SCHEDULES  
M0.2 MECHANICAL SCHEDULE  
M1.1 MECHANICAL OVERALL FLOOR PLAN  
M2.1 MECHANICAL BLDG A FLOOR PLANS  
M2.2 MECHANICAL BLDG B FLOOR PLANS-LEVEL 1  
M2.3 MECHANICAL BLDG B FLOOR PLANS-LEVEL 2  
M2.4 MECHANICAL BLDG B FLOOR PLANS-LEVEL 3  
M4.1 MECHANICAL ROOF PLAN  
M4.1 MECHANICAL DETAILS  
M4.2 MECHANICAL DETAILS  
M5.1 MECHANICAL SPECIFICATIONS  
M5.2 MECHANICAL SPECIFICATIONS CONT.

PLUMBING

P0.1 PLUMBING LEGENDS, NOTES & SCHEDULES  
P0.2 PLUMBING SCHEDULES CONT.  
P2.1 BLDG A PLUMBING DOMESTIC WATER & GAS FLOOR PLAN - LEVEL 1  
P2.2 BLDG A WASTE & VENT FLOOR PLAN-LEVEL 1  
P2.3 BLDG A PLUMBING DOMESTIC WATER & GAS FLOOR PLAN - LEVEL 2  
P2.4 BLDG A PLUMBING WASTE & VENT FLOOR PLAN - LEVEL 2  
P3.1 BLDG B PLUMBING DOMESTIC WATER & GAS FLOOR PLAN - LEVEL 1  
P3.2 BLDG B PLUMBING WASTE & VENT FLOOR PLAN - LEVEL 1  
P3.3 BLDG B PLUMBING DOMESTIC WATER & GAS FLOOR PLAN - LEVEL 2  
P3.4 BLDG B PLUMBING WASTE & VENT FLOOR PLAN - LEVEL 2  
P3.5 BLDG B PLUMBING DOMESTIC WATER & GAS FLOOR PLAN - LEVEL 3  
P3.6 BLDG B PLUMBING WASTER & VENT FLOOR PLAN - LEVEL 3  
P4.1 PLUMBING ROOF PLAN  
P5.1 BLDG B PLUMBING WASTE & VENT RISER DIAGRAMS  
P6.1 PLUMBING DETAILS  
P6.2 PLUMBING DETAILS CONT.  
P7.1 PLUMBING SPECIFICATIONS  
P7.2 PLUMBING SPECIFICATIONS CONT.

ELECTRICAL

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E0.2 LUMINAIRE SCHEDULES  
E0.3 SINGLE LINE DIAGRAM  
E0.4 PANEL SCHEDULES  
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E1.2 ELECTRICAL SITE PHOTOMETRICS  
E2.1 BLDG A & B POWER FLOOR PLANS  
E2.2 BLDG A & B LIGHTING FLOOR PLANS  
E2.3 BUILDING B LIGHTING PHOTOMETRICS  
E3.1 ELECTRICAL DETAILS  
E4.1 ELECTRICAL SPECIFICATIONS

TITLE SHEET

TITLE

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T1.2 LEVEL 1 EXITING PLAN  
T1.3 LEVEL 2 & 3 EXITING PLAN

CIVIL

SHEET 1 OF 7 TITLE SHEET  
SHEET 2 OF 7 DEMO PLAN & DETAILS  
SHEET 3 OF 7 PRECISE GRADING PLAN  
SHEET 4 OF 7 PRECISE GRADING PLAN  
SHEET 5 OF 7 STREET IMPROVEMENTS PLAN  
SHEET 6 OF 7 UTILITY PLAN  
SHEET 7 OF 7 WATER AND SEWER IMPROVEMENT PLAN  
U-1 UTILITY PLAN  
U-2 UTILITY PLAN

LANDSCAPE

L-1 PLANTING PLAN  
L-2 IRRIGATION PLAN  
L-3 DETAILS ANND SPECIFICATIONS  
L-4 SPECIFICATIONS

ARCHITECTURAL

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A1.2 ENLARGED SITE PLAN & DETAILS  
A1.3 SITE DETAILS  
A1.4 SITE DETAILS  
A1.5 SITE DETAILS  
A1.6 TRELLIS DETAILS  
A1.7 TRELLIS DETAILS  
A2.1 DIMENSION PLAN-LEVEL 1  
A2.2 DIMENSION PLAN-LEVEL 2  
A2.3 DIMENSION PLAN-LEVEL 3  
A2.4 REFERENCE PLAN - LEVEL 1  
A2.5 REFERENCE PLAN - LEVEL 2  
A2.6 REFERENCE PLAN - LEVEL 3  
A2.7 REFLECTED CEILING PLAN-LEVEL 1  
A2.8 REFLECTED CEILING PLAN-LEVEL 2  
A2.9 REFLECTED CEILING PLAN-LEVEL 3  
A2.10 ROOF PLAN  
A2.11 ROOM FINISH SCHEDULE  
A2.12 DOOR & WINDOW SCHEDULES  
A2.13 DOOR & WINDOW DETAIL  
A2.14 RESTROOM DETAILS & ACCESSORIES SCHEDULE  
A2.15 ENLARGED PLANS -APARTMENT A1 (A2& A3 SIM.)  
A2.16 ENLARGED PLANS -APARTMENT 101B (102B SIM.)  
A2.17 ENL. PLANS - APARTMENT 201B (301B-302B SIM.)  
A2.18 ENL. PLANS -APARTMENT 203B & 204B (303B & 304B SIM.)  
A2.19 APARTMENT TYPES  
A3.1 OVERALL BUILDING SECTIONS  
A3.2 EXTERIOR ELEVATIONS BLDG A  
A3.3 EXTERIOR ELEVATIONS BLDG B  
A5.1 INTERIOR ELEVATIONS BLDG A  
A5.2 INTERIOR ELEVATIONS BLDG. A  
A5.3 INTERIOR ELEVATIONS BLDG. A  
A5.4 INTERIOR ELEVATIONS BLDG B  
A5.5 INTERIOR ELEVATION BLDG B  
A5.6 INTERIOR ELEVATION BLDG B  
A5.7 INTERIOR ELEVATION BLDG B  
A5.8 ENLARGED STAIRS  
A6.1 DETAILS  
A6.1 ELEVATOR PLAN & DETAIL  
A6.2 ELEVATOR PLAN & DETAIL  
A9.1 PERSPECTIVES  
A9.2 Unnamed

DESIGN TEAM

OWNER:

CITY OF LAKE ELSINORE,  
130 SOUTH MAIN STREET  
LAKE ELSINORE, CA, 92530  
(951) 674-3124  
(951) 674-2392

ARCHITECT:

G.V. SALTS  
GVSALTS@STKINC.COM  
STK ARCHITECTURE, INC.  
42095 ZEVO, DRIVE, STE. A-15  
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CIVIL ENGINEER:

ENGINEERING RESOURCES  
OF SOUTHERN CALIFORNIA  
MATT BRUDIN PE,  
1861 W. REDLANDS BLVD.  
REDLANDS, CA. 92373  
(909) 890-1255 ext. 103

LANDSCAPE ARCHITECT:

ALHAMBRA GROUP  
VINCE DI DONATA  
41635 ENTERPRISE CIRCLE  
NORTH, STE. C  
TEMECULA, CA. 92591  
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(951) 296-6803 FAX

STRUCTURAL ENGINEER:

INNOVATIVE STRUCTURAL ENGINEERING  
SHANE LOTHROP  
27369 VIA INDUSTRIA  
TEMECULA, CA, 92590  
(951) 600-0032 ext. 207

MECHANICAL/PLUMBING/ELECT. ENGINEERS:

DESIGN WEST ENGINEERING  
CAROL DEVILLIER PROJECT MANAGER  
412 E. VANDERBILT WAY,  
SAN BERNADINO, CA, 92408  
(909) 880-3700

GEOTECHNICAL:

INLAND FOUNDATION ENGINEERING, INC.  
DANIEL R. LIND, P. G., C. E. G.  
1310 S. SANTA FE AVE,  
P. O. BOX 937,  
SAN JACINTO, CA. 92581  
(951) 654-1555

ADE CONSULTING:

BUILDING & ENERGY DESIGN CONCEPTS.  
VINCENT MIRANDA.  
ADETITL24@GMAIL.COM  
1177 IDAHO STREET, SUITE 200,  
REDLANDS, CA 92374  
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(909) 307-0148 FAX

NOTES TO GENERAL CONTRACTOR

1. DEFERRED SUBMITTAL / SEPARATE PERMITS

THE FOLLOWING ARE UNDER DEFERRED SUBMITTAL/SEPARATE PERMITS. (TO BE OBTAINED AND INSTALLED BY THE GENERAL CONTRACTOR); SYSTEM / ITEM SHALL BE DESIGNED, ENGINEERED FOUNDATION AND BUILT BY GENERAL CONTRACTOR.

A. WOOD TRUSSES (FLOOR & ROOF)

B. ALUMAWOOD TRELLIS

C. PHOTOVOLTAIC PANELS

D. FIRE SPRINKLER SYSTEM/ FIRE ALARM DESIGNED TO MEET NFPA 13D REQUIREMENTS. SPRINKLER PLANS SHALL BE SUBMITTED AND APPROVED BY THE FIRE PREVENTION BUREAU UNDER A SEPERATE PERMIT (I.B.C. 1613 (AND ASCE 7-10 CHAPTER 10). REFER TO SPECIFICATIONS FOR MORE REQUIREMENTS.

2. SUBMITTAL DOCUMENTS FOR DEFERRED ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEER OF RECORD (PROVIDED BY GENERAL CONTRACTOR), WHO SHALL REVIEW THEM FOR GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING AND PROVIDE NOTATION INDICATING SO. THE GENERAL CONTRACTOR SHALL THEN SUBMIT DEFERRED DOCUMENTS TO THE BUILDING OFFICIAL. THE DEFERRED ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

THE DEFERRED SUBMITTAL ITEMS SHALL BE DESIGNED AND ENGINEERED PER I.B.C.

DEFERRAL OF ANY SUBMITTAL ITEMS SHALL HAVE THE PRIOR APPROVAL OF THE BUILDING OFFICIAL. THE REGISTERED DESIGN PROFESSIONAL IS RESPONSIBLE CHARGE SHALL LIST THE DEFERRED SUBMITTALS ON THE CONSTRUCTION DOCUMENTS FOR REVIEW BY THE BUILDING OFFICIAL. DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL. IN RESPONSIBLE CHARGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. [IBC 107.3.4.1)

3. GENERAL CONTRACTOR TO PROVIDE ALL BACKING/FRAMING AS NECESSARY FOR LIGHT FIXTURES, CEILING FANS, GRAB BARS, AND PLASTER REVEALS. THE GENERAL CONTRACTOR IS ALSO REQUIRED TO PROVIDE BACKING AT GYPSUM BOARD NAILING SURFACES AT EDGES, ETC.

4. CLEANOUTS INSTALLED UNDER CONCRETE OR ASPHALT PAVING SHALL BE ACCESSIBLE BY YARD BOXES, OR EXTENDED FLUSH WITH PAVING WITH A "BRASS CAP" OR OTHER APPROVED MATERIAL WHEN SUBJECT TO VEHICULAR TRAFFIC. [TMCC 15.0.04(F)]

TITLE 24 MANDATORY MEASURES

1. INSTALLED INSULATING MATERIAL SHALL HAVE BEEN CERTIFIED BY MANUFACTURER TO COMPLY WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATING MATERIAL.

2. ALL INSULATING MATERIALS SHALL BE INSTALLED IN COMPLIANCE SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF SECTION 2603.1 AND 720 OF THE CBC 2019.

3. ALLEXTERIOR JOINTS AND OPENING IN THE BUILDING ENVELOP ARE OBSERVABLE SOURCES OF LEAKAGE SHALL BE CAULKED, WEATHERSTRIPPED OR OTHERWISE SEALED.

4. SITE CONSTRUCTION DOORS, WINDOWS AND SKYLIGHTS SHALL BE CAULKED BETWEEN THE UNIT AND THE BUILDING, AND SHALL BE WEATHER STRIPPED (EXCEPT FOR UNFRAMED GLASS DOORS AND FIRE DOORS).

5. MANUFACTURED DOORS AND WINDOWS INSTALLED SHALL HAVE INFILTRATION RATES CERTIFIED BY THE MANUFACTURER PER C.E.C. 110.6 MANUFACTURED FENESTRATION PRODUCTS MUST BE LABELLED U-VALUE ACCORDING TO NFRC PROCEDURES. PROVIDE CERTIFIED COMPLIANCE FOR DOORS,WINDOWS & INSULATION.

6. VERTICAL GLAZING SHALL HAVE U-FACTORS PER NFRC 100-OR VALUES PER C.E.C. SECTION 110.6.2 TABLE 11.6 A OR QUALIFY FOR EXCEPTION 1& 2.

STK

ARCHITECTURE, INC.

42095 Zevu drive, Suite A15 Temecula, California 92590-3780  
Phone 951.296.9110 Email: stk@stkinc.com

CONSULTANTS:

PROJECT FOR:

CITY OF  
LAKE ELSINORE  
130 SOUTH MAIN ST.  
LAKE ELSINORE, CA 92530

PROJECT NAME:

RILEY  
APARTMENTS

200 N. RILEY ST.  
UNITS 1-9  
LAKE ELSINORE, CA 92530

ISSUE INFORMATION:

DATE:

INFORMATION:

09/01/2020 SCHEMATIC DESIGN  
12/09/2020 CUP SET  
05/2021 PLAN CHECK SET  
08/03/2021 PLAN REVISION 1  
04/22/2022 PLAN REVISION 2

REVISIONS

No

Date

Description

1 7/12/2021 Revision 1  
2 04/25/2022 Revision 2

SEAL:

REGISTERED ARCHITECT

VERNON S. SELL

No. C22977

REN 11-30-21

STATE OF CALIFORNIA

SHEET INFORMATION:

PROJECT NO.: 316-18-20  
SCALE: As indicated  
DATE: August 03, 2021

SHEET TITLE:

TITLE SHEET

SHEET NO.:

T1.1

PLAN CHECK SET RESUBMITTAL



GRADING NOTES

1.

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF LAKE ELSINORE MUNICIPAL CODE, CHAPTER 15.72 AND APPLICABLE STANDARDS AND SPECIFICATIONS AND THE LATEST EDITION OF THE UNIFORM BUILDING CODE (U.B.C.), CHAPTER 33.
2.

A PERMIT SHALL BE OBTAINED FROM THE ENGINEERING DEPARTMENT, CITY OF LAKE ELSINORE, PRIOR TO ANY OPERATIONS.
3.

THE DEVELOPER AND/OR THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AND U.S.A. ALERT (1-800-422-4133) FORTY-EIGHT (48) HOURS PRIOR TO GRADING.
4.

THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEERING DEPARTMENT AT LEAST TWENTY-FOUR (24) HOURS IN ADVANCE OF BEGINNING GRADING OPERATIONS.
5.

DUST SHALL BE CONTROLLED BY WATERING OR OTHER METHODS APPROVED BY THE CITY ENGINEER.
6.

CUT SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL, UNLESS OTHERWISE APPROVED, AND SHALL BE SHOWN ON THE PLAN.
7.

FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL, UNLESS OTHERWISE APPROVED, SHALL BE SHOWN ON PLAN, AND SHALL NOT HAVE LESS THAN 90% RELATIVE COMPACTION OUT TO THE FINISHED SURFACE.
8.

FILLS SHALL BE COMPACTED THROUGHOUT TO 90% DENSITY AS DETERMINED BY THE MODIFIED THREE (3) LAYER A.S.T.M. D-1557-70 TEST METHOD.
9.

FILL AREAS SHALL BE CLEANED OF ALL VEGETATION AND DEBRIS, SCARIFIED, AND INSPECTED BY THE GRADING INSPECTOR AND APPROVED SOILS TESTING AGENCY PRIOR TO THE PLACING OF FILL.
10.

ALL FILL MATERIAL SHALL BE CLEAN EARTH. NO FILL SHALL BE PLACED UNTIL PREPARATION OF GROUND IS APPROVED BY THE SOILS ENGINEER.
11.

FINISH GRADE SHALL BE SLOPED AWAY FROM ALL EXTERIOR WALLS AT NOT LESS THAN 1/2" PER FOOT FOR A MINIMUM OF THREE (3) FEET, THEN 1% (MINIMUM) TO FLOW LINE OF EARTH SWALE.
12.

MINIMUM BUILDING PAD AND DRAINAGE SWALE SLOPE SHALL BE 1% IF CUT OR FILL SLOPE IS LESS THAN TEN FEET (10'), AND 2% IF CUT OR FILL IS GREATER THAN TEN FEET (10'). DRAINAGE SWALES SHALL BE A MINIMUM OF 0.5' DEEP AND CONSTRUCTED A MINIMUM OF TWO FEET (2') FROM THE TOP OF CUT OR FILL SLOPES.
13.

PROVIDE 5' WIDE BY 1' HIGH BERM OR EQUIVALENT ALONG THE TOP OF ALL FILL SLOPES OVER 5' HIGH.
14.

PROVIDE A BROW DITCH, DESIGNED TO HANDLE ONE HUNDRED (100) YEAR STORM FLOWS ALONG THE TOP OF CUT SLOPES.
15.

NO OBSTRUCTION OF FLOOD PLAINS OR NATURAL WATER COURSES SHALL BE PERMITTED.
16.

A SOILS ENGINEER SHALL BE RETAINED BY THE DEVELOPER, TO SUPERVISE GRADING AND PROVIDE A FINAL SOILS REPORT WHICH INCLUDES FOUNDATION REQUIREMENTS (SUBDIVISIONS) AND EXPANSIVE CHARACTERISTICS OF THE SOIL.
17.

GRADING CERTIFICATION BY THE DEVELOPER'S CIVIL ENGINEER AND A FINAL COMPACTION REPORT BY A SOILS ENGINEER SHALL BE SUBMITTED TO THE BUILDING AND ENGINEERING DEPARTMENTS PRIOR TO ISSUANCE OF BUILDING PERMITS.
18.

THE SOILS ENGINEERING INVESTIGATION DATED DECEMBER 18, 2020 PREPARED BY INLAND FOUNDATION ENGINEERING, INC. AND THE ENGINEERING GEOLOGIC INVESTIGATION DATED DECEMBER 18, 2020 PREPARED BY INLAND FOUNDATION ENGINEERING, INC., SHALL BE CONSIDERED A PART OF THIS GRADING PLAN AND SHALL BE IN COMPLIANCE.
19.

A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR SHALL SUBMIT CERTIFICATION OF BUILDING PAD ELEVATION. WHERE SPECIFIC ELEVATIONS ARE REQUIRED, THE ELEVATION (WITH RESPECT TO MEAN SEA LEVEL) SHALL BE GIVEN. IF AN ELEVATION WITH RESPECT TO ADJACENT GROUND SURFACE IS REQUIRED, THE ACTUAL DISTANCE ABOVE THE ADJACENT GROUND SHALL BE GIVEN.
20.

ALL PROPERTY CORNERS SHALL BE CLEARLY DELINEATED IN THE FIELD PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION/GRADING.
21.

STABILITY CALCULATIONS WITH A SAFETY FACTOR OF AT LEAST 1.5 SHALL BE SUBMITTED BY A SOILS ENGINEER TO THE BUILDING AND ENGINEERING DEPARTMENTS FOR CUT AND FILL SLOPES OVER THIRTY FEET (30') IN VERTICAL HEIGHT.
22.

A FINAL COMPACTION REPORT WILL BE REQUIRED FOR ALL FILLS GREATER THAN ONE (1) FOOT.
23.

IF STEEP SLOPING TERRAIN OCCURS UPON WHICH FILL IS TO BE PLACED, IT MUST BE CLEARED, KEYED AND BENCHED INTO FIRM NATURAL SOIL FOR FULL SUPPORT. PREPARATION SHALL BE APPROVED BY A REGISTERED SOILS ENGINEER PRIOR TO PLACEMENT OF FILL MATERIAL. SLOPES GREATER THAN 5:1 ARE REQUIRED TO BE KEYED AND BENCHED.
24.

THE SOILS ENGINEER SHOULD INSPECT THE CONSTRUCTION IN THE FOLLOWING STAGES:
- a.

UPON COMPLETION OF CLEARING AND DURING EXCAVATION AND BEFORE BACKFILL OF ALLUVIAL, COLLUVIAL AND TERRACED AREAS AND ANY SUBSTRUCTURES.
- b.

DURING ALL ROUGH GRADING AND OPERATIONS INCLUDING PRE-COMPACTION, BENCHING AND FILLING OPERATIONS.
- c.

DURING INSTALLATION OF BUTTRESS AND CANYON SUB-DRAINS AND FILTER MATERIAL.
- d.

WHEN ANY UNUSUAL GRADING CONDITIONS ARE ENCOUNTERED DURING CONSTRUCTION.

CITY OF LAKE ELSINORE



LEGEND

	PROPERTY LINE	FL	FLOW LINE
	PROPOSED CURB	FS	FINISH SURFACE
	PROPOSED CROSS GUTTER	HP	HIGH POINT
	LANDSCAPE AREA	LP	LOW POINT
	ASPHALT CONCRETE PAVING	TC	TOP OF CURB
	CONCRETE PAVING	TS	TOP OF SLOPE
	DRAINAGE SLOPE & DIRECTION	X.XX	ELEVATION
		(X.XX)	(EXISTING ELEV.)



VICINITY MAP  
NOT TO SCALE



CONSTRUCTION NOTES

QTY

- 1

CONSTRUCT TYPE 6A CURB PER CITY STD. 202

126 L.F.
- 2

CONSTRUCT TYPE 6A CURB PER CITY STD. 202 WITH CURB CUTS PER DETAIL SHEET 2.

139 L.F.
- 3

CONSTRUCT 3' WIDE CROSS GUTTER PER DETAIL SHEET 2.

110 L.F.
- 4

CONSTRUCT 4" THK. MIN. AC OVER 12" AB PER SOILS REPORT

2770 S.Y.
- 5

CONSTRUCT 4" THK. CONC. PER SOILS REPORT

4800 S.F.
- 6

ADA FACILITY AND STRIPING PER ARCHITECT'S PLAN
- 7

INSTALL VARIABLE H. TYPE 6B RETAINING WALL PER CALTRANS STD. B3-7A.

2075 S.F.
- 8

EXISTING POWER POLE TO BE RELOCATED BY OTHERS.
- 9

TRASH ENCLOSURE PER ARCHITECTURAL PLANS.

25 L.F.
- 10

EXISTING RADAR SPEED SIGN TO BE RELOCATED BY OTHERS.
- 11

INSTALL BOLLARD PER DETAIL SHEET 2.

2 EA.
- 12

0.15' GRIND AND OVERLAY.
- 13

CONSTRUCT BIO TREATMENT FACILITY PER DETAIL "B" SHEET 2.
- 14

CONCRETE WHEEL STOP – PER ARCHITECT'S PLAN

1 EA.
- 15

6" DIA. PVC PERFORATED SDR 35 PIPE

125 L.F.
- 16

CONSTRUCT BIO TREATMENT FACILITY PER DETAIL "C" SHEET 2.
- 17

CONSTRUCT ADA RAMP PER CITY STD. 214B

2 EA.
- 18

CONSTRUCT COMMERCIAL DRIVEWAY PER CITY STD. 118B.

1 EA.
- 19

INSTALL REDWOOD HEADER PER CITY STD. 590
- 20

INSTALL DRIVEWAY APPROACH PER CITY STD. 117.

1 EA.
- 21

INSTALL 6" DIA PVC SCH 40 PIPE

50 L.F.
- 22

CONSTRUCT UNDERGROUND STORM WATER STORAGE W/ PUMP PER SEPARATE PLAN
- 23

INSTALL DETECTABLE WARNING MAT 48"x72" PER DETAIL ON SHEET 2

2 EA.
- 24

CONSTRUCT BIO TREATMENT FACILITY PER DETAIL "A" SHEET 2.

EARTHWORK

CUT= 450 C.Y.  
FILL = 2,395 C.Y.  
NET = 1,945 C.Y. FILL  
(UNADJUSTED)  
NOTE: EARTHWORK QUANTITIES ARE FOR PERMIT PURPOSE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING HIS/HER OWN QUANTITIES

INDEX OF SHEETS

SHEET 1	TITLE SHEET
SHEET 2	DEMO PLAN & DETAILS
SHEET 3	GRADING PLAN
SHEET 4	GRADING PLAN
SHEET 5	STREET IMPROVEMENTS PLAN
SHEET 6	STREET SECTIONS
SHEET 7	EROSION CONTROL PLAN

OWNER/DEVELOPER

CITY OF LAKE ELSINORE  
130 S. MAIN STREET  
LAKE ELSINORE, CA 92530  
PHONE: (951) 674-3124  
CONTACT: GUS PAPAGOLOS

TOPOGRAPHY

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TEMECULA, CA 92590  
PHONE: (951) 699-6874  
CONTACT: DENNIS JANDA, PLS

LEGAL DESCRIPTION

APN: 374-162-063; 374-162-064  
RECORDED BOOK/PAGE: 8/378  
SUBDIVISION NAME: HEALDS RESUB  
LOT/PARCEL: 2-P, 4-P, 6-P, 8-P; BLOCK: 51

BASIS OF BEARINGS

CENTERLINE HEALD AVE.  
PER RS 91-5-13  
MB 91 Pg. 8  
N 70d 59' 09" W

SITE DATA

GROSS ACREAGE=  
23.436 S.F (0.54 ACRES)  
AREA OF DISTURBANCE =  
23.436 S.F (0.54 ACRES)  
CUT= 450 C.Y.  
FILL = 2,395 C.Y.  
NET = 1,945 C.Y. IMPORT

SOILS ENGINEER

INLAND FOUNDATION ENGINEERING, INC.  
1310 S. SANTA FE AVE  
SAN JACINTO, CA 92586  
PHONE: (951) 654-1555  
CONTACT: ALAN EVANS, PLS

PRIVATE ENGINEER'S NOTE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS, OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE DRAWINGS.

CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE COUNTY OF SAN BERNARDINO, THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

REVIEWED: C. NORVANI 12-23-21

CABLE

CHARTER CABLEVISION.  
6680 VIEW PARK COURT  
RIVERSIDE, CA 92503

GAS

SEMPRA ENERGY  
13525 12TH STREET  
CHINO, CA 91719  
PHONE: (909) 613-1531

WATER/ SEWER

ELSINORE VALLEY MUNICIPAL  
WATER DISTRICT  
31315 CHANEY STREET  
LAKE ELSINORE, CA 92530  
PHONE: (951) 674-3146

PHONE: (951) 674-3146

TELEPHONE

AT&T  
870 MOUNTAIN AVENUE  
UPLAND, CA 91786  
PHONE: (909) 608-1204

ELECTRIC

SO. CALIFORNIA EDISON  
2244 WALNUT GROVE AVENUE  
ROSEMEAD, CA 91770  
PHONE: (800) 655-4555

FIBER OPTICS

AT&T  
870 MOUNTAIN AVENUE  
UPLAND, CA 91786  
PHONE: (909) 608-1204

ENG-2021-00257

REVIEWED: C. NORVANI 12-23-21



Call: TOLL FREE  
1-800-422-4133

TWO WORKING DAYS BEFORE YOU DIG

MARK	REVISIONS	APPR.	DATE	THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS AND HAVE BEEN FOUND ACCEPTABLE	PREPARED BY:	1861 W. Redlands Blvd, Bldg 7B Redlands, Ca. 92373 P: (909) 890-1255 F: (909) 890-0995	SEAL REGISTERED PROFESSIONAL ENGINEER No. 41836 Exp. 3/31/22 CIVIL STATE OF CALIFORNIA	SCALE: AS NOTED DATE: MARCH 11, 2021	BENCH MARK: CITY OF LAKE ELSINORE BENCHMARK NUMBER: A-93-13 ELEV: 1384.19' DATUM: NGVD29	CITY OF LAKE ELSINORE TITLE SHEET RILEY APARTMENTS 200 RILEY STREET LAKE ELSINORE, CA 92530	SHEET 1 OF 7 SHEETS FILE No. 21-503
					REMON HABIB, RCE No. 83156 CITY ENGINEER CITY OF LAKE ELSINORE	12-23-2021 DATE	JOHN M. BRUDIN R.C.E. 41839 EXP. 3/31/22				







NOTES

A PRE-GRADING/PRECONSTRUCTION MEETING AND SITE INSPECTION SHALL BE ARRANGED FOR BY THE SITE DEVELOPER PRIOR TO COMMENCING GRADING OPERATIONS. THOSE PARTIES REQUIRED TO ATTEND THE PRE-CONSTRUCTION MEETING SHALL INCLUDE BUT ARE NOT LIMITED TO THE DEVELOPER, PROJECT SUPERINTENDENT, ENGINEER OF RECORD, SOIL ENGINEER, GRADING CONTRACTOR AND THE UNDERGROUND UTILITIES CONTRACTOR. REPRESENTING THE DEPARTMENT OF BUILDING AND SAFETY SHALL BE THE GRADING PLAN-CHECKER AND/OR GRADING INSPECTOR. THE FOCUS OF PRE-CONSTRUCTION MEETING SHALL BE TO DISCUSS THE VARIOUS ASPECTS AND RESPONSIBILITIES OF THE GRADING PROJECT AND TO PROVIDE AN APPROXIMATE TIME-TABLE FOR THE OF ROUGH GRADING. ARRANGE FOR A PRE-GRADING/CONSTRUCTION MEETING BY CALLING THE DISTRICT OFFICE RESPONSIBLE FOR PROVIDING YOUR GRADING AND BUILDING INSPECTIONS. CALL COUNTY DISPATCH AT (951)955-1800.

OVEREXCAVATION NOTE

OVEREXCAVATIONS SHALL BE ON THE ORDER OF 3-5 FEET TO REMOVE THE UPPER PORTIONS OF THE EXISTING FILL & ANY TOP SOIL WITHIN THE PROPOSED BUILDING PADS. OVEREXCAVATIONS SHALL EXTEND Laterally FROM THE BUILDING FOOTPRINT A DISTANCE EQUAL TO THE DEPTH OF OVEREXCAVATION OR A MINIMUM OF THREE (3) FEET, WHICHEVER IS GREATER.

NOTES

THE EOR HAS DETERMINED THAT CONSIDERING THE SITE CONDITIONS INCLUDING THE SOIL AND CLIMATE, THE PROPOSED SITE DRAINAGE SLOPES SHALL BE SATISFACTORY AND DO NOT WARRANT THE MORE CONSERVATIVE REQUIREMENTS OF THE BUILDING CODE.

"EXCEPT FOR THE RETAINING WALLS IN CONJUNCTION WITH THIS GRADING, ALL INFORMATION ASSOCIATED WITH BUILDINGS (INCLUDING SETBACKS AND FF ELEVATIONS) IS FOR REFERENCE ONLY AND THE APPROVAL OF THIS GRADING PLANS DO NOT INCLUDE ANY PROVISION ASSOCIATED WITH BUILDINGS"

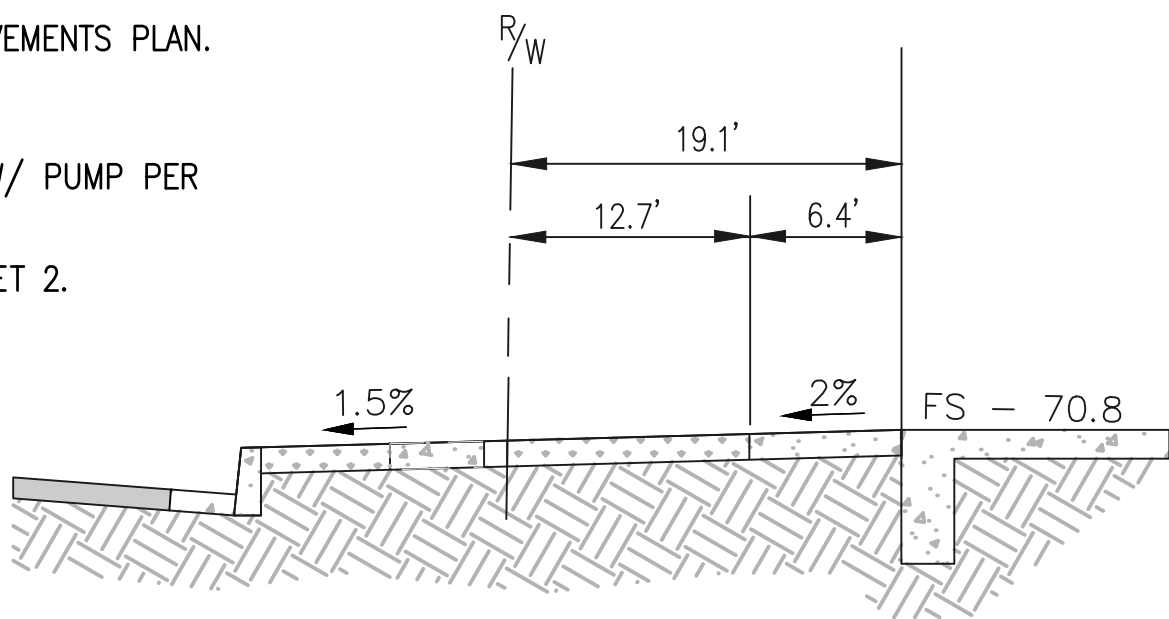
CONSTRUCTION NOTES

- 1) CONSTRUCT TYPE 6A CURB PER CITY STD. 202.
- 2) CONSTRUCT TYPE 6A CURB PER CITY STD. 202 WITH CURB CUTS PER DETAIL SHEET 2.
- 3) CONSTRUCT 3' WIDE CROSS GUTTER PER DETAIL SHEET 2.
- 4) CONSTRUCT 4" THK. MIN. AC OVER 12" AB PER SOILS REPORT.
- 5) CONSTRUCT 4" THK. CONC. PER SOILS REPORT.
- 6) ADA FACILITY AND STRIPING PER ARCHITECT'S PLAN.
- 7) INSTALL VARIABLE H. TYPE 6B RETAINING WALL PER CALTRANS STD.B3-7A.
- 8) EXISTING POWER POLE TO BE RELOCATED BY OTHERS.
- 9) TRASH ENCLOSURE PER ARCHITECTURAL PLANS.
- 10) EXISTING RADAR SPEED SIGN TO BE RELOCATED BY OTHERS.
- 11) INSTALL BOLLARD PER DETAIL SHEET 2.
- 12) 0.15' GRIND AND OVERLAY.
- 13) CONSTRUCT BIO TREATMENT FACILITY PER DETAIL "B" SHEET 2.
- 14) CONCRETE WHEEL STOP - PER ARCHITECT'S PLAN.
- 15) 6" DIA. PVC PERFORATED SDR 35 PIPE.
- 16) CONSTRUCT BIO TREATMENT FACILITY PER DETAIL "C" SHEET 2.
- 17) CONSTRUCT ADA RAMP PER CITY STD. 214B.
- 18) CONSTRUCT COMMERCIAL DRIVEWAY PER CITY STD. 118B.
- 19) INSTALL REDWOOD HEADER PER CITY STD. 590.
- 20) CONSTRUCT DRIVEWAY APPROACH PER STREET IMPROVEMENTS PLAN.
- 21) INSTALL 6" DIA PVC SCH 40 PIPE.
- 22) CONSTRUCT UNDERGROUND STORM WATER STORAGE W/ PUMP PER SEPARATE PLAN.
- 24) CONSTRUCT 3' WIDE CROSS GUTTER PER DETAIL SHEET 2.

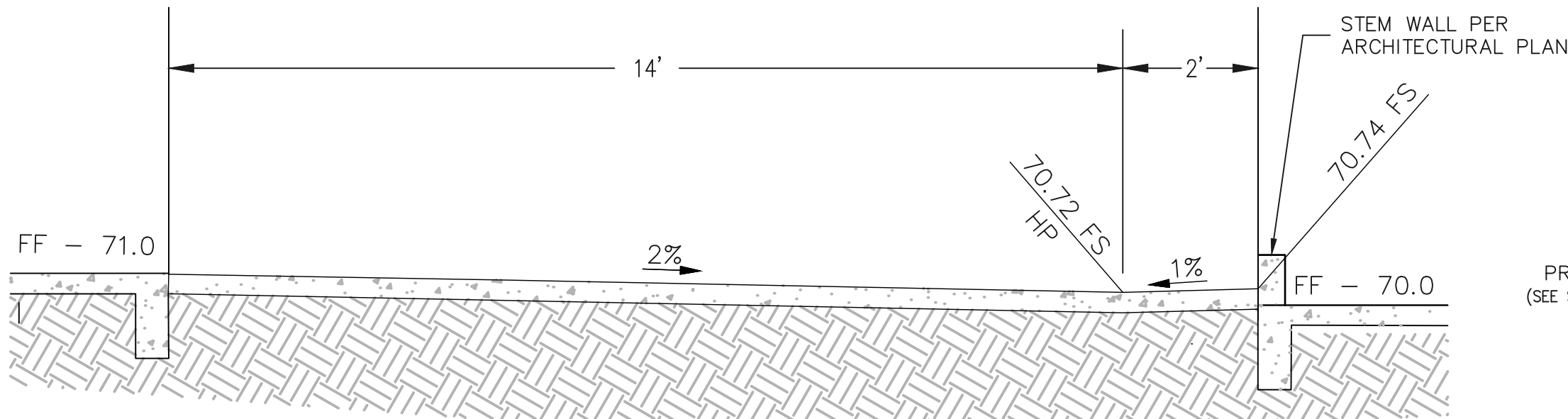
Underground Service Alert

Call: TOLL FREE 1-800-422-4133

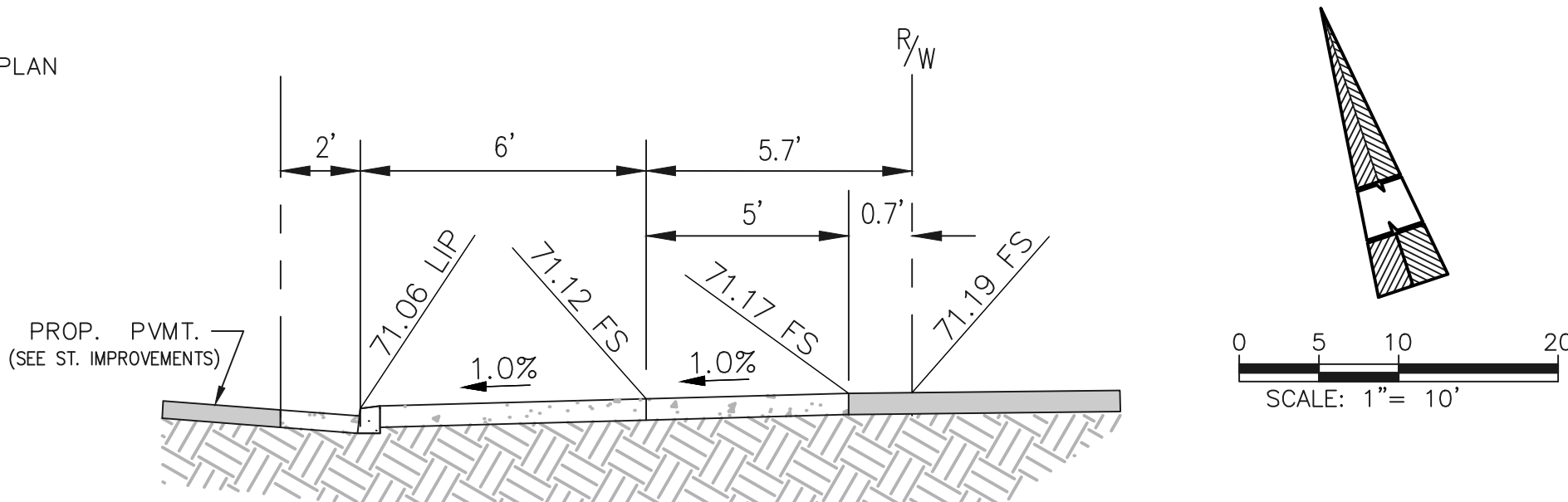
TWO WORKING DAYS BEFORE YOU DIG



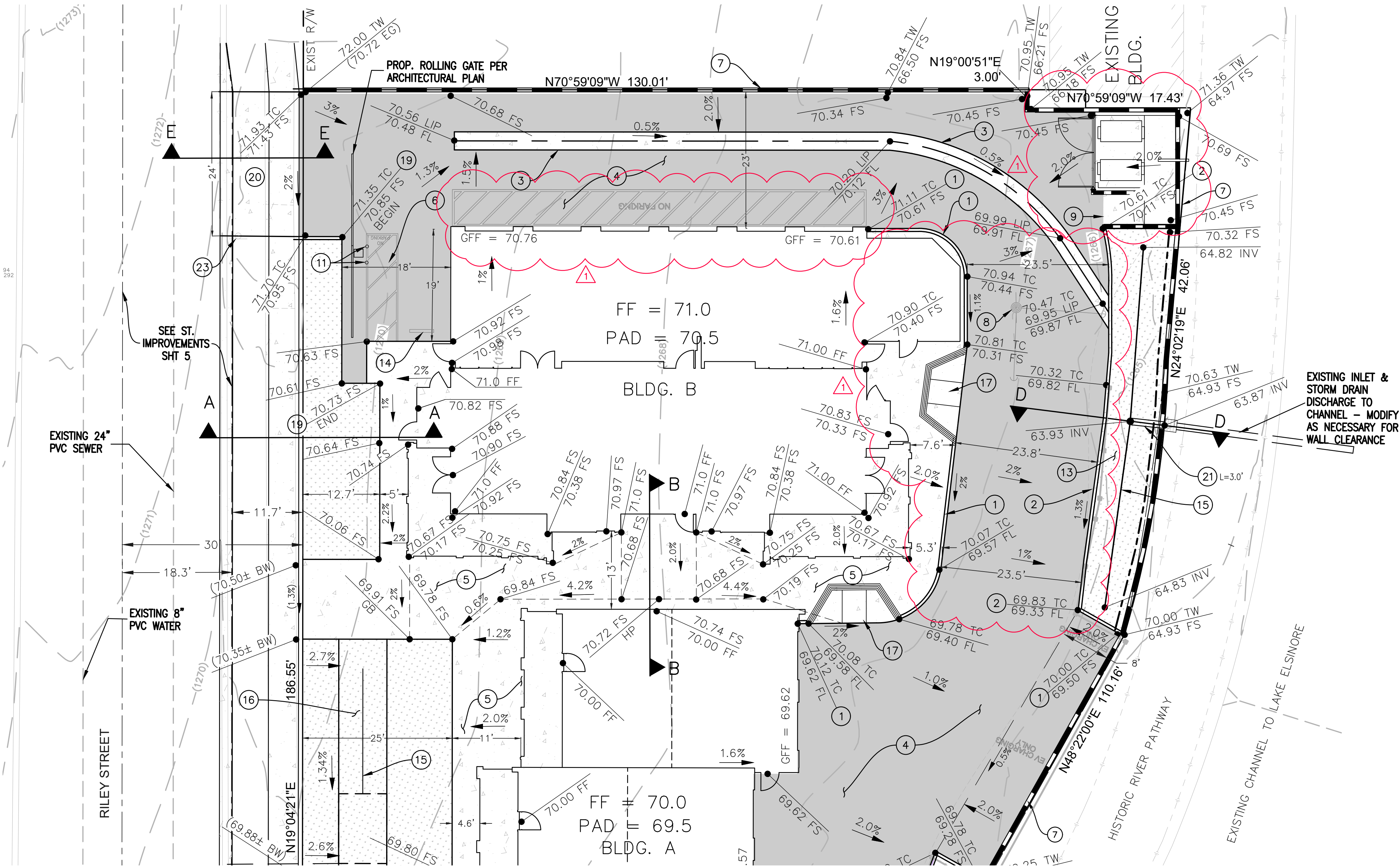
SECTION A-A  
NOT TO SCALE






SECTION B-B  
NOT TO SCALE



SECTION E-E  
NOT TO SCALE



FOR CONTINUATION SEE SHEET 4

MARK	REVISIONS	APPR.	DATE	THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS AND HAVE BEEN FOUND ACCEPTABLE	<div>PREPARED BY:</div> <div><b>ERSC</b> INC.COM</div> <div>Engineering Resources of Southern California</div> <div>1861 W. Redlands Blvd, Bldg 7B Redlands, Ca. 92373 P: (909) 890-1255 F: (909) 890-0995</div> <div></div> <div>JOHN M. BRUDIN R.C.E. 41836 EXP. 3/31/22</div> <div>11/03/2021 DATE</div>	<div>CITY OF LAKE ELSINORE</div> <div>PRECISE GRADING PLAN RILEY APARTMENTS 200 RILEY STREET LAKE ELSINORE, CA 92530</div>	SHEET 3		
							SCALE: AS NOTED	BENCH MARK: CITY OF LAKE ELSINORE BENCHMARK NUMBER: A-93-13 ELEV: 1384.19' DATUM: NGVD29	OF 7 SHEETS
							DATE: MARCH 11, 2021		FILE No.
	REVISIONS TO GRADING PER ARCHITECTURAL MODIFICATIONS			REMON HABIB, RCE No. 83156 CITY ENGINEER CITY OF LAKE ELSINORE	DATE				



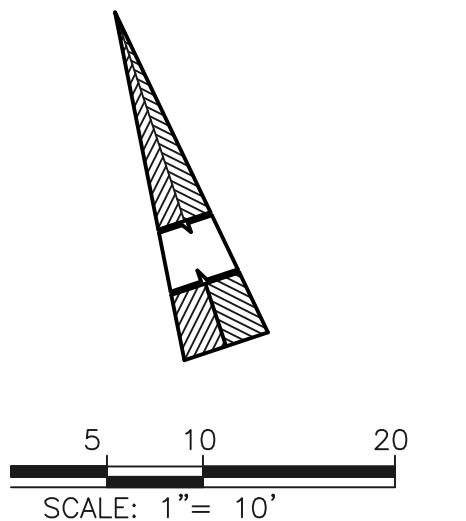
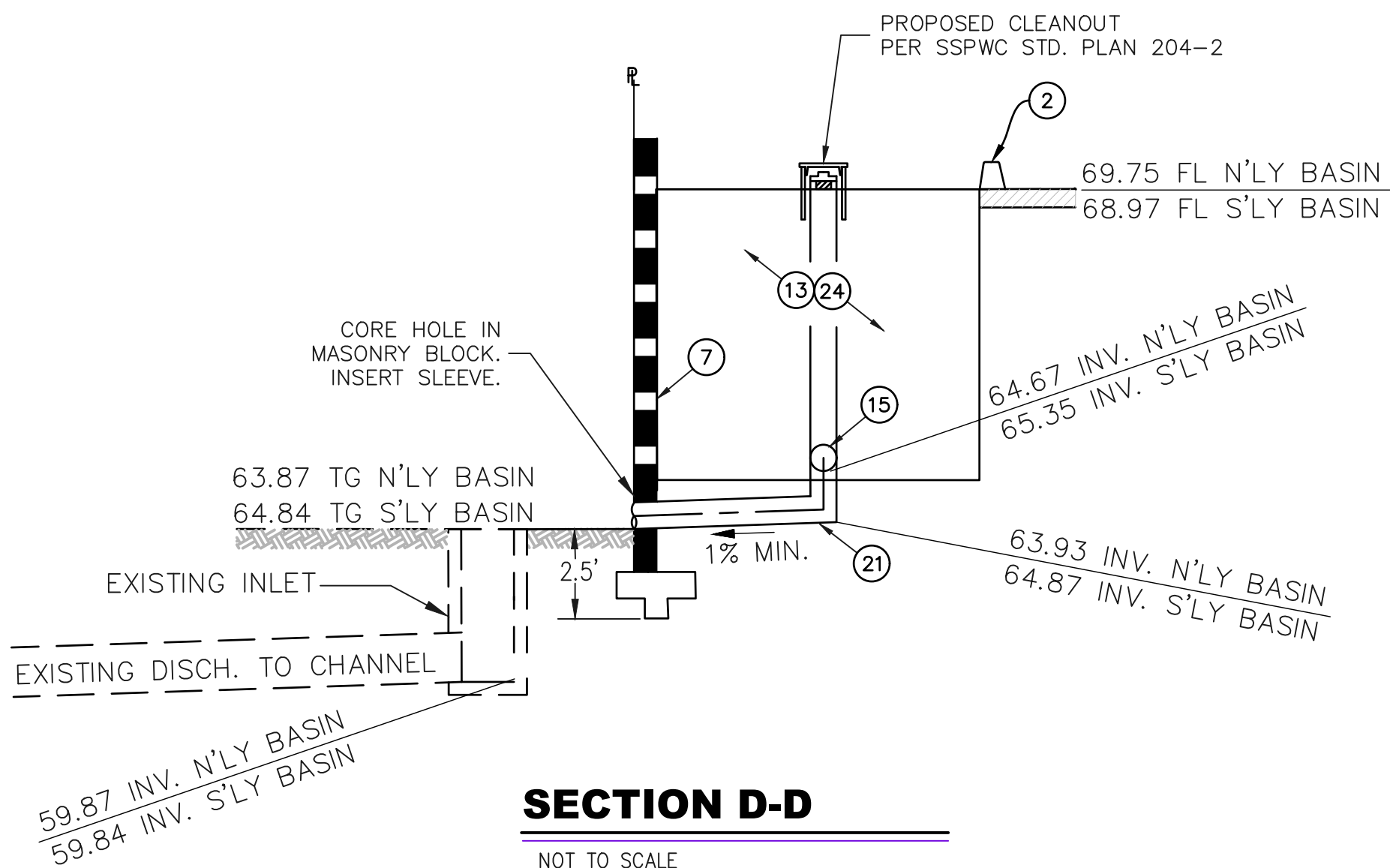
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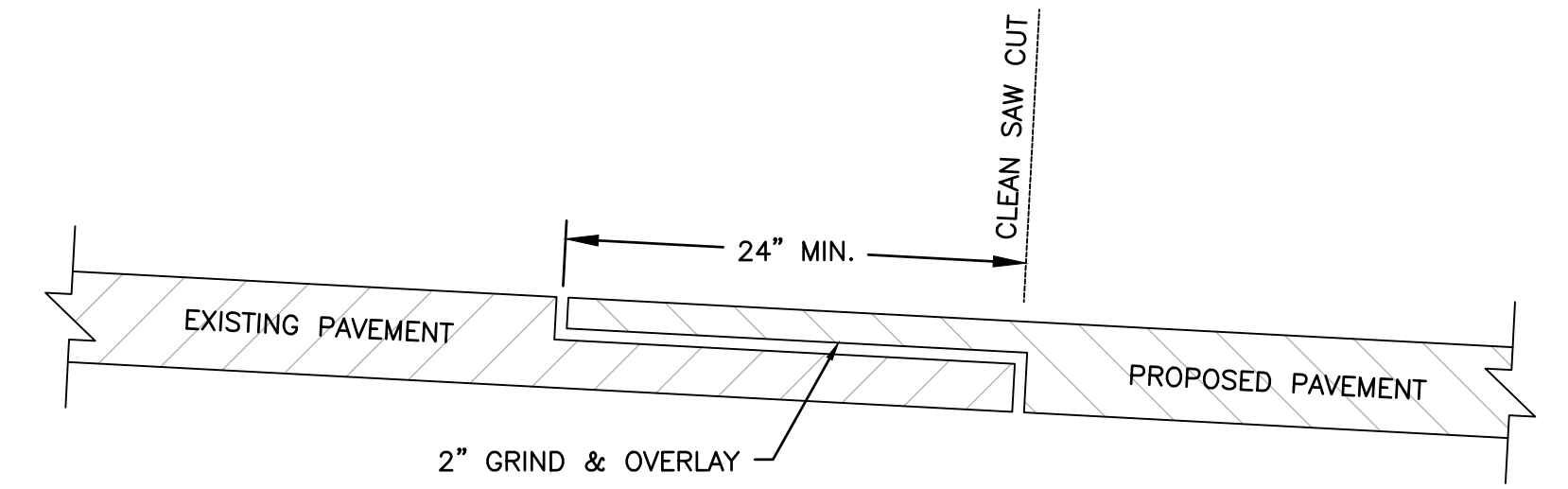
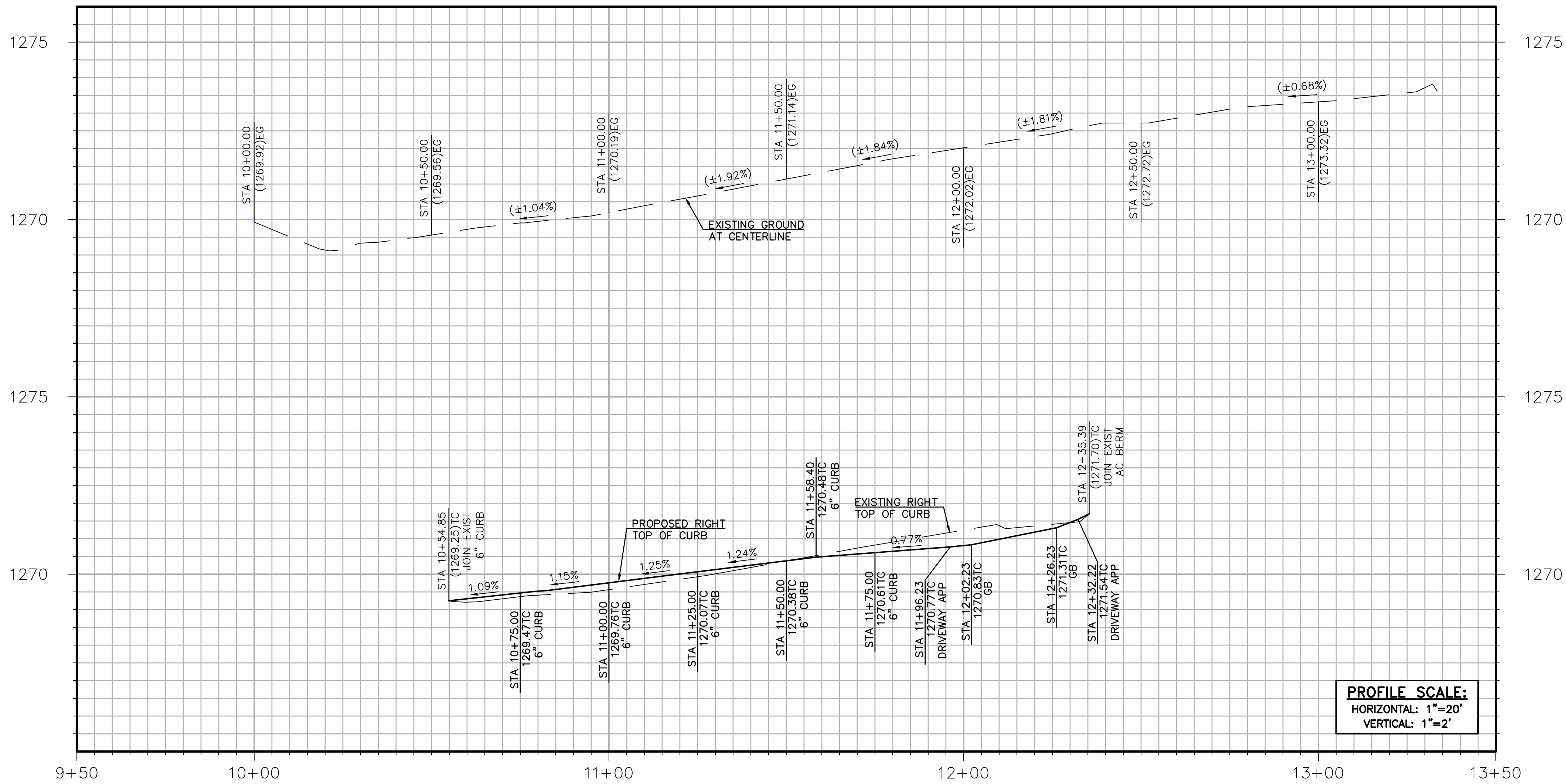
- (1) CONSTRUCT TYPE 6A CURB PER CITY STD. 202.
- (2) CONSTRUCT TYPE 6A CURB PER CITY STD. 202 WITH CURB CUTS PER DETAIL SHEET 2.
- (3) CONSTRUCT 3' WIDE CROSS GUTTER PER DETAIL SHEET 2.
- (4) CONSTRUCT 4" THK. MIN. AC OVER 12" AB PER SOILS REPORT.
- (5) CONSTRUCT 4" THK. CONC. PER SOILS REPORT.
- (6) ADA FACILITY AND STRIPING PER ARCHITECT'S PLAN.
- (7) INSTALL VARIABLE H. TYPE 6B RETAINING WALL PER CALTRANS STD.B3-7A.
- (8) EXISTING POWER POLE TO BE RELOCATED BY OTHERS.
- (9) TRASH ENCLOSURE PER ARCHITECTURAL PLANS.
- (10) EXISTING RADAR SPEED SIGN TO BE RELOCATED BY OTHERS.
- (11) INSTALL BOLLARD PER DETAIL SHEET 2.
- (12) REMOVE AND REPLACE WITH FULL DEPTH AC PAVEMENT, 2' WIDE.
- (13) CONSTRUCT BIO TREATMENT FACILITY PER DETAIL "B" SHEET 2.
- (14) CONCRETE WHEEL STOP - PER ARCHITECT'S PLAN.
- (15) 6" DIA. PVC PERFORATED SDR 35 PIPE.
- (16) CONSTRUCT BIO TREATMENT FACILITY PER DETAIL "C" SHEET 2.
- (17) CONSTRUCT ADA RAMP PER CITY STD. 214B.
- (18) CONSTRUCT COMMERCIAL DRIVEWAY PER CITY STD. 118B.
- (19) INSTALL REDWOOD HEADER PER CITY STD. 590.
- (20) CONSTRUCT DRIVEWAY APPROACH PER CITY STD. 117.
- (21) INSTALL 6" DIA PVC SCH 40 PIPE.
- (22) CONSTRUCT UNDERGROUND STORM WATER STORAGE W/ PUMP PER SEPARATE PLAN.
- (23) INSTALL DETECTABLE WARNING MAT 48"x72" PER DETAIL ON SHEET 2.
- (24) CONSTRUCT BIO TREATMENT FACILITY PER DETAIL "A" SHEET 2.

TWO WORKING DAYS BEFORE YOU DIG  
TWO WORKING DAYS BEFORE YOU DIG

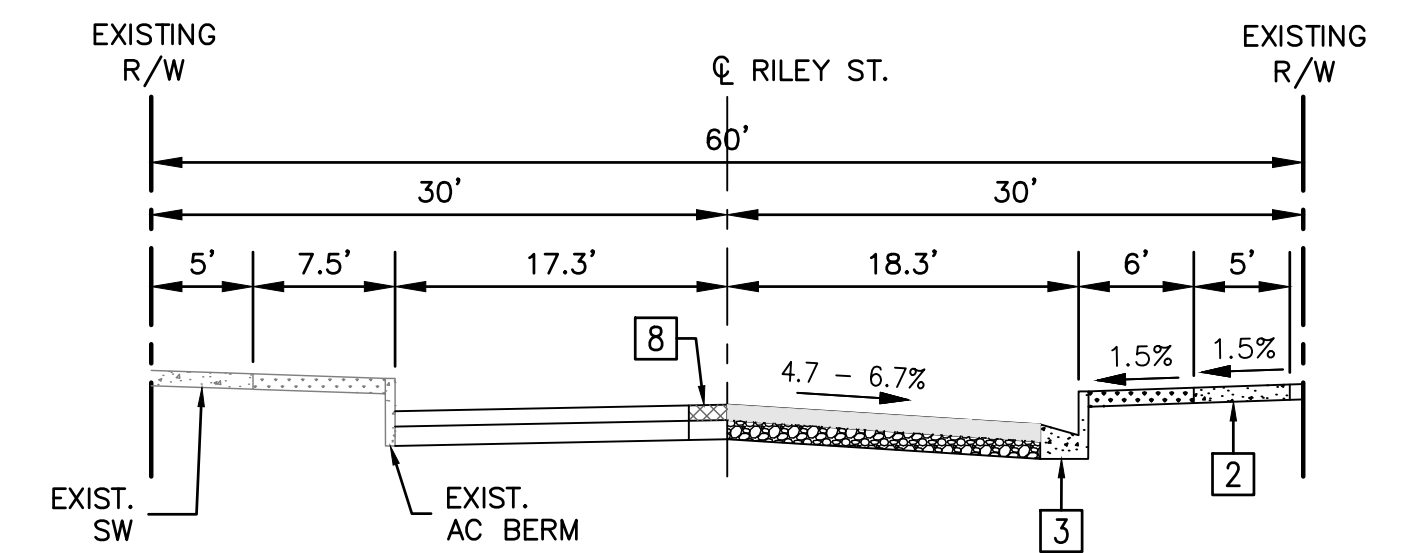


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									OF <b>7</b> SHEETS
									FILE No.
	REVISIONS TO GRADING PER ARCHITECTURAL MODIFICATIONS			REMON HABIB, RCE No. 83156 CITY ENGINEER CITY OF LAKE ELSINORE	 JOHN M. BRUDIN R.C.E. 41836 EXP. 3/31/22	11/03/2021 DATE	SCALE: AS NOTED BENCH MARK: CITY OF LAKE ELSINORE BENCHMARK NUMBER: A-93-13 ELEV: 1384.19' DATUM: NGVD29	PRECISE GRADING PLAN RILEY APARTMENTS 200 RILEY STREET LAKE ELSINORE, CA 92530	
							DATE: MARCH 11, 2021		

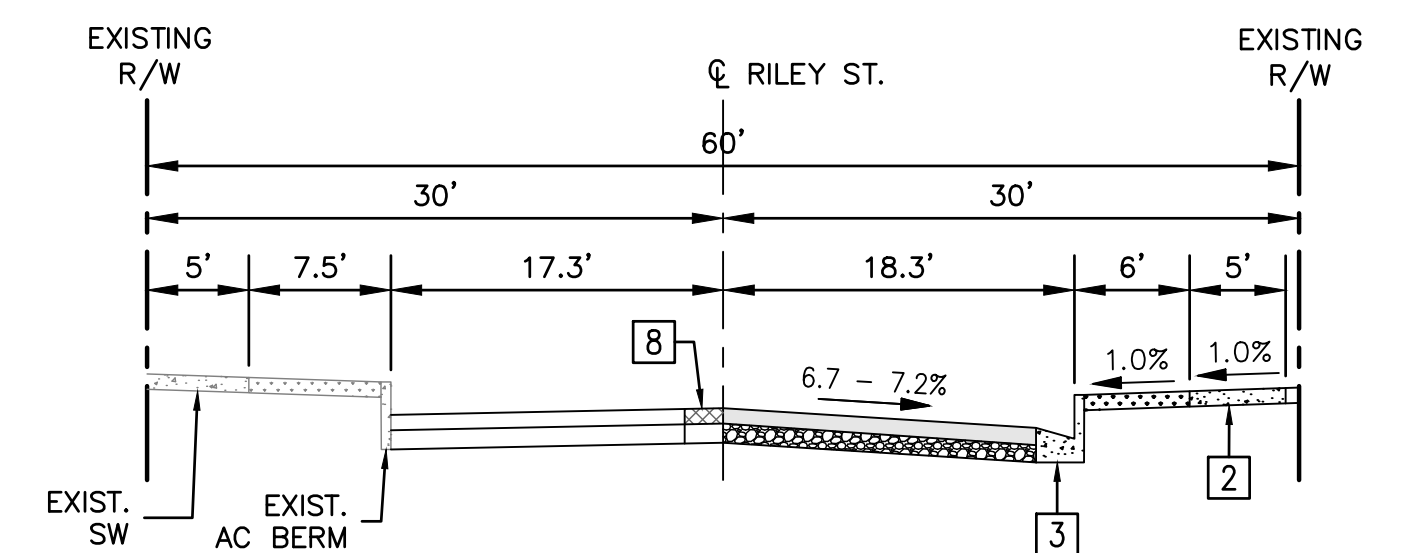




SAWCUT DETAIL  
NOT TO SCALE



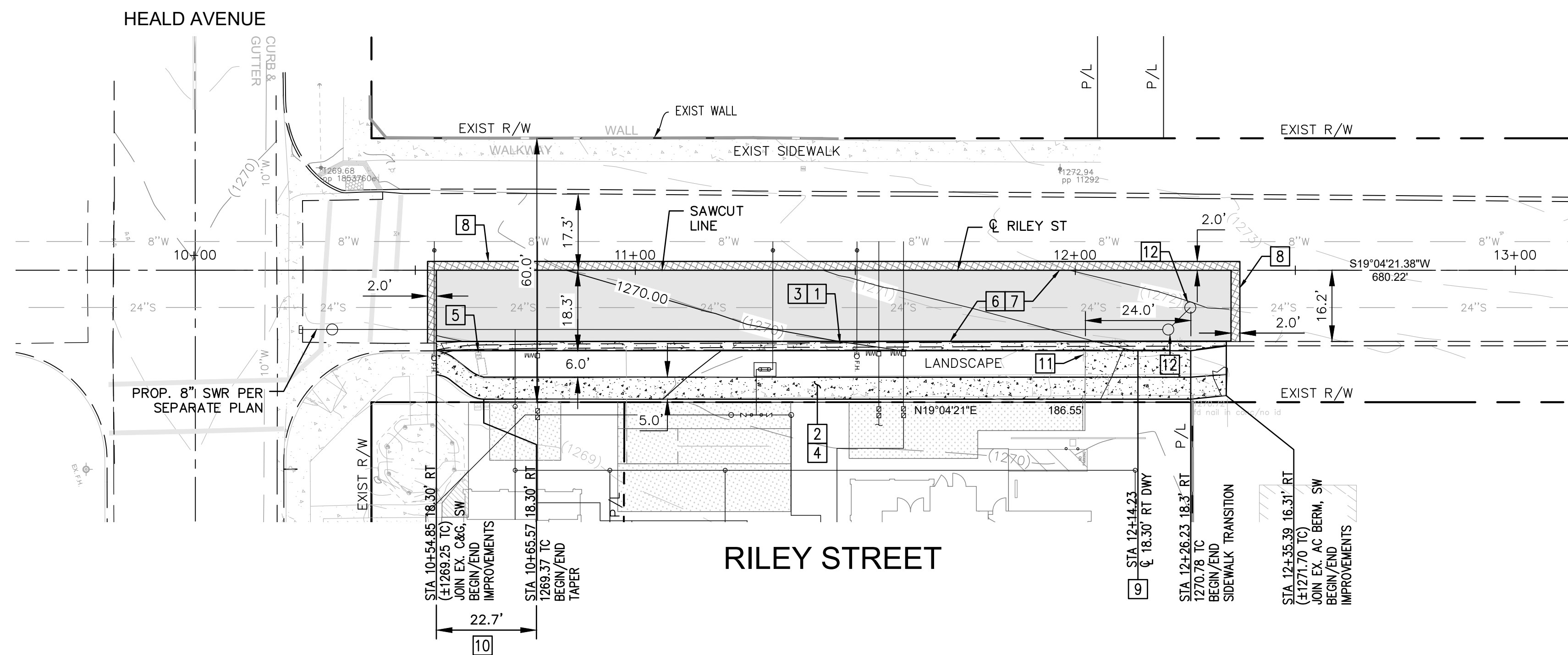
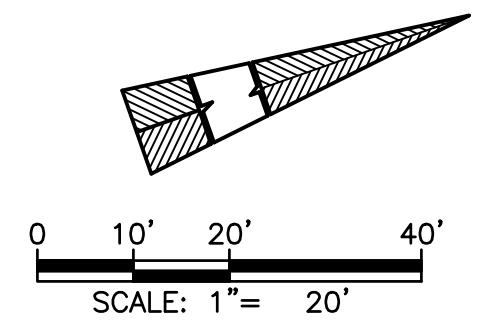
RILEY STREET  
TYPICAL STREET SECTION  
STA: 10+54.79 TO STA: 11+48.59  
NOT TO SCALE



RILEY STREET  
TYPICAL STREET SECTION  
STA: 11+48.59 TO STA: 12+26.23  
NOT TO SCALE

STREET IMPROVEMENT CONSTRUCTION NOTES

- 1 REMOVE EXISTING CURB.
- 2 REMOVE EXISTING SIDEWALK.
- 3 CONSTRUCT TYPE 6 CURB AND GUTTER PER CITY OF LAKE ELSINORE STD. 202.
- 4 CONSTRUCT 5' NON-CONTIGUOUS SIDEWALK PER CITY OF LAKE ELSINORE STD. 211.
- 5 ADJUST EXISTING WATER METER AND APPURTENANCES TO FINISH GRADE.
- 6 SAWCUT AND REMOVE EXISTING PAVEMENT PER DETAIL ON THIS SHEET.
- 7 CONSTRUCT 3 1/2" AC ON 4" CRUSHED AGGREGATE BASE.
- 8 2" GRIND AND OVERLAY PER DETAIL ON THIS SHEET.
- 9 CONSTRUCT DRIVEWAY APPROACH PER CITY OF LAKE ELSINORE STD. 117.
- 10 CONSTRUCT TAPER PER CITY OF LAKE ELSINORE STD. 127.
- 11 EXISTING SIGN TO BE RELOCATED BY OTHERS.
- 12 ADJUST TO GRADE SEWER MANHOLE.

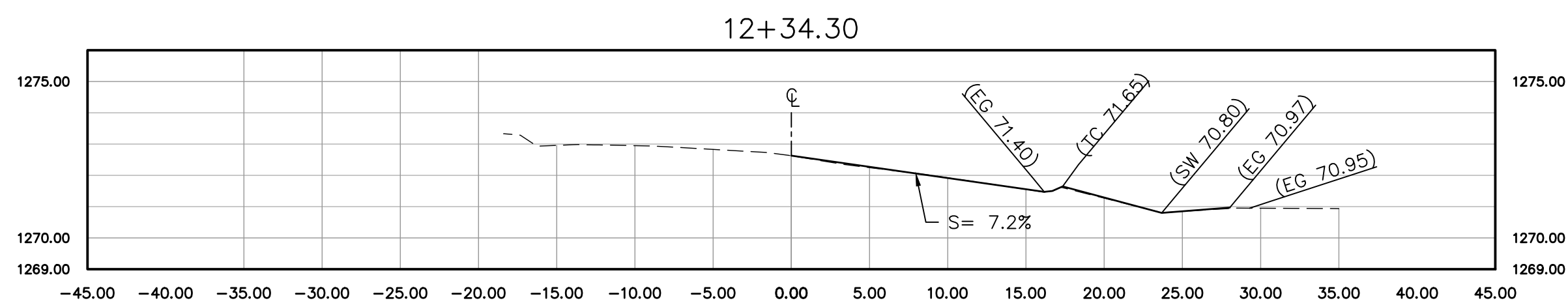
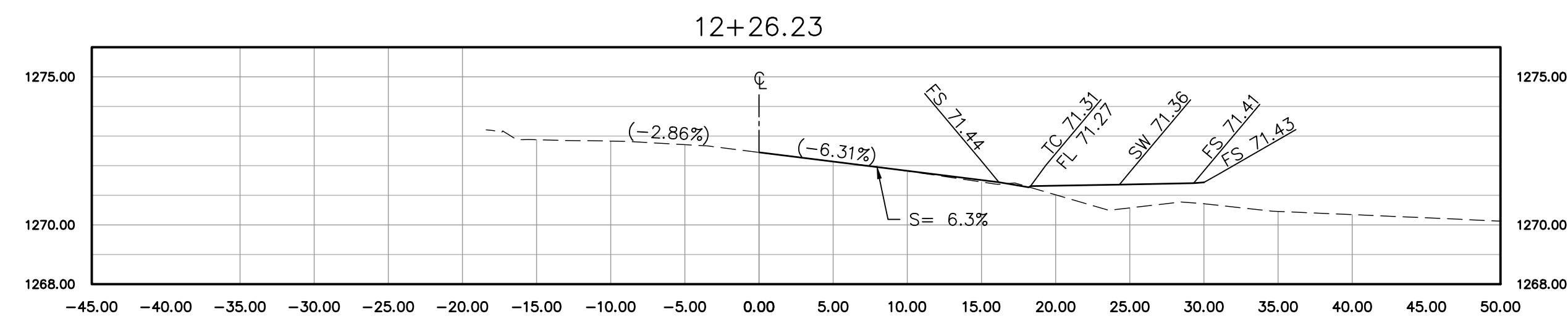
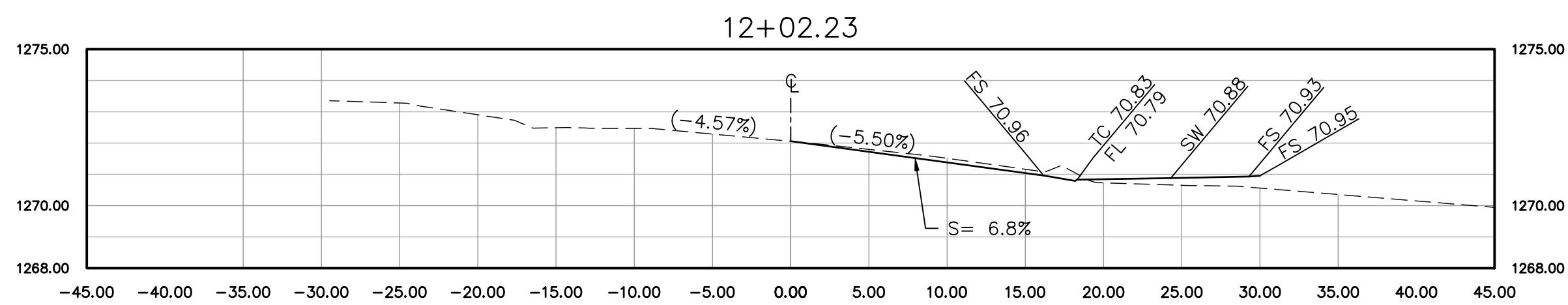
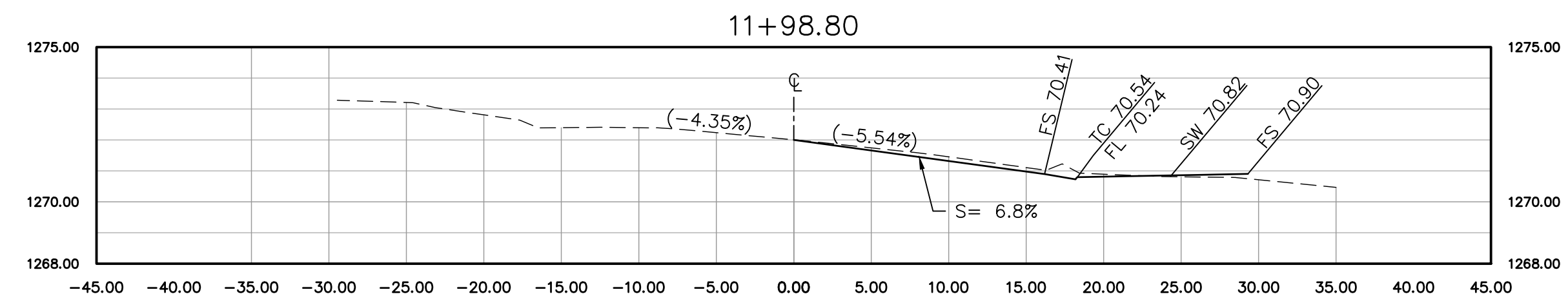
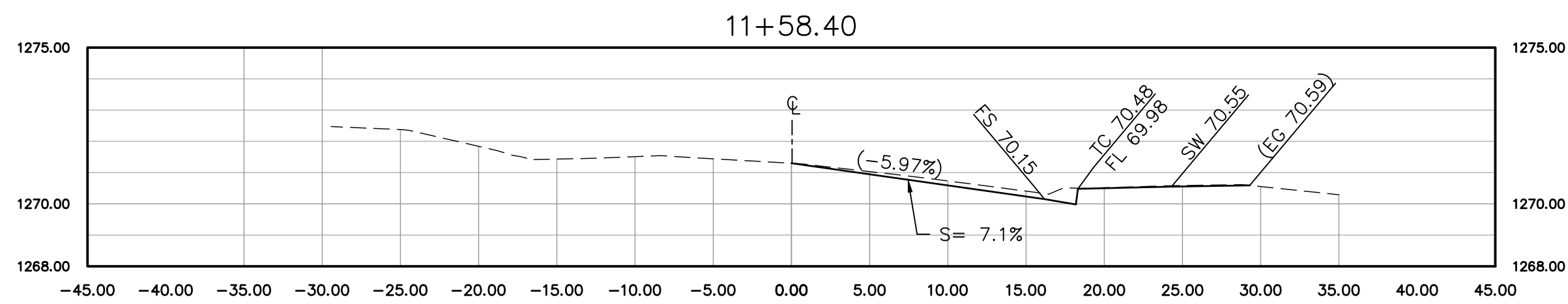
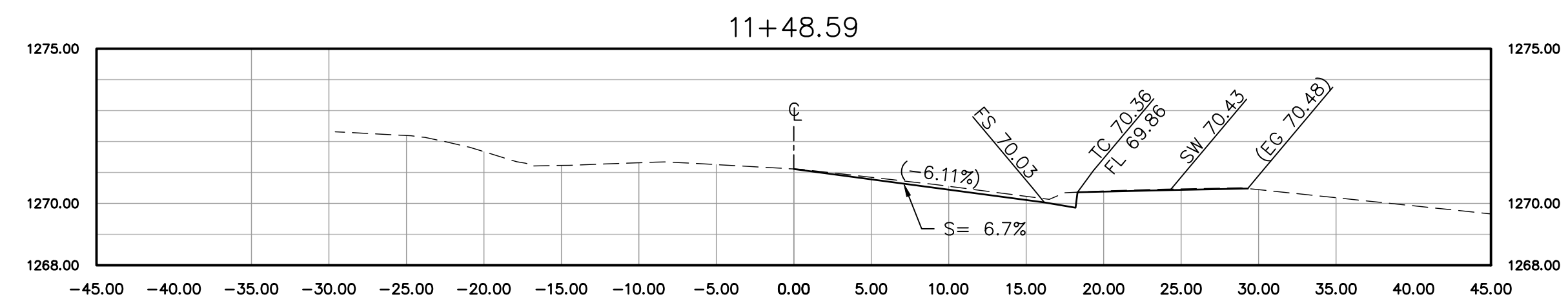
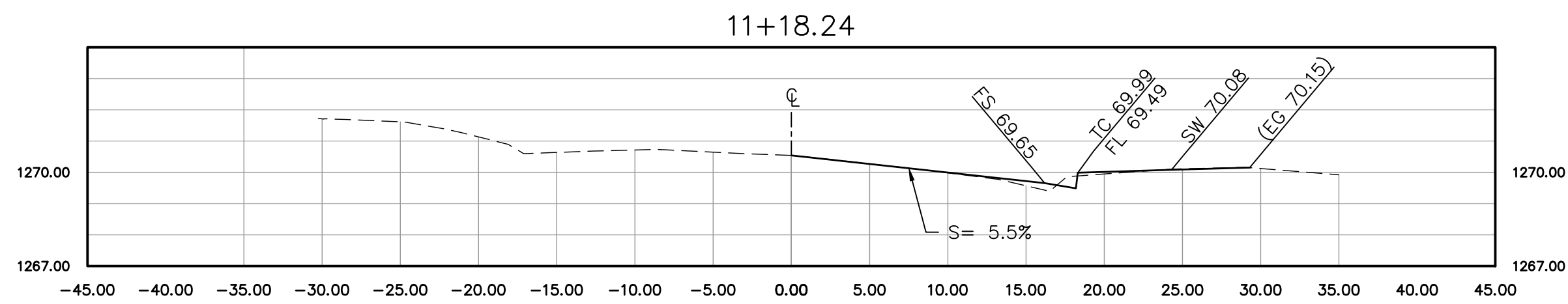
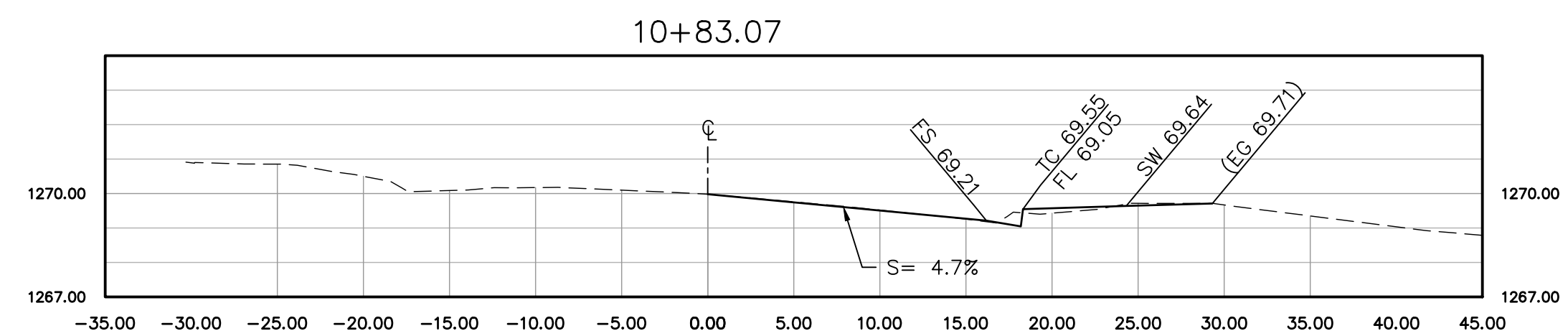
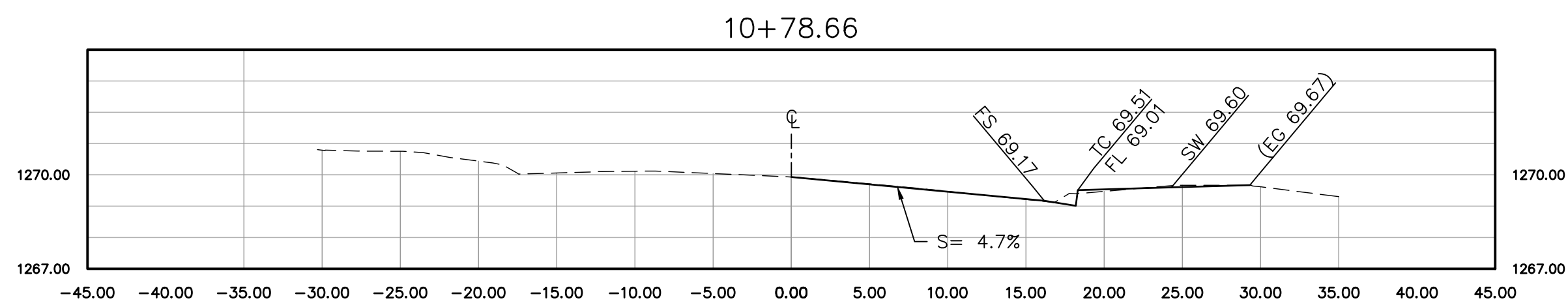


REVIEWED: C. NORVANI 12-23-21



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					ERSC INC.COM Engineering Resources of Southern California	John M. Brudin R.C.E. 41836 EXP. 3/31/22	NO. 41836 Exp. 3/31/22 CIVIL STATE OF CALIFORNIA	DATE: MARCH 11, 2021		STREET IMPROVEMENTS PLAN RILEY APARTMENTS 200 RILEY STREET LAKE ELSINORE, CA 92530	OF 7 SHEETS
					REMON HABIB, RCE No. 83156 CITY ENGINEER CITY OF LAKE ELSINORE	12-23-2021 DATE	11/03/2021 DATE				FILE No. 21-507





### LEGEND

- EXISTING IMPROVEMENTS
- PROPOSED IMPROVEMENTS

REVIEWED: C. NORVANI 12-23-21

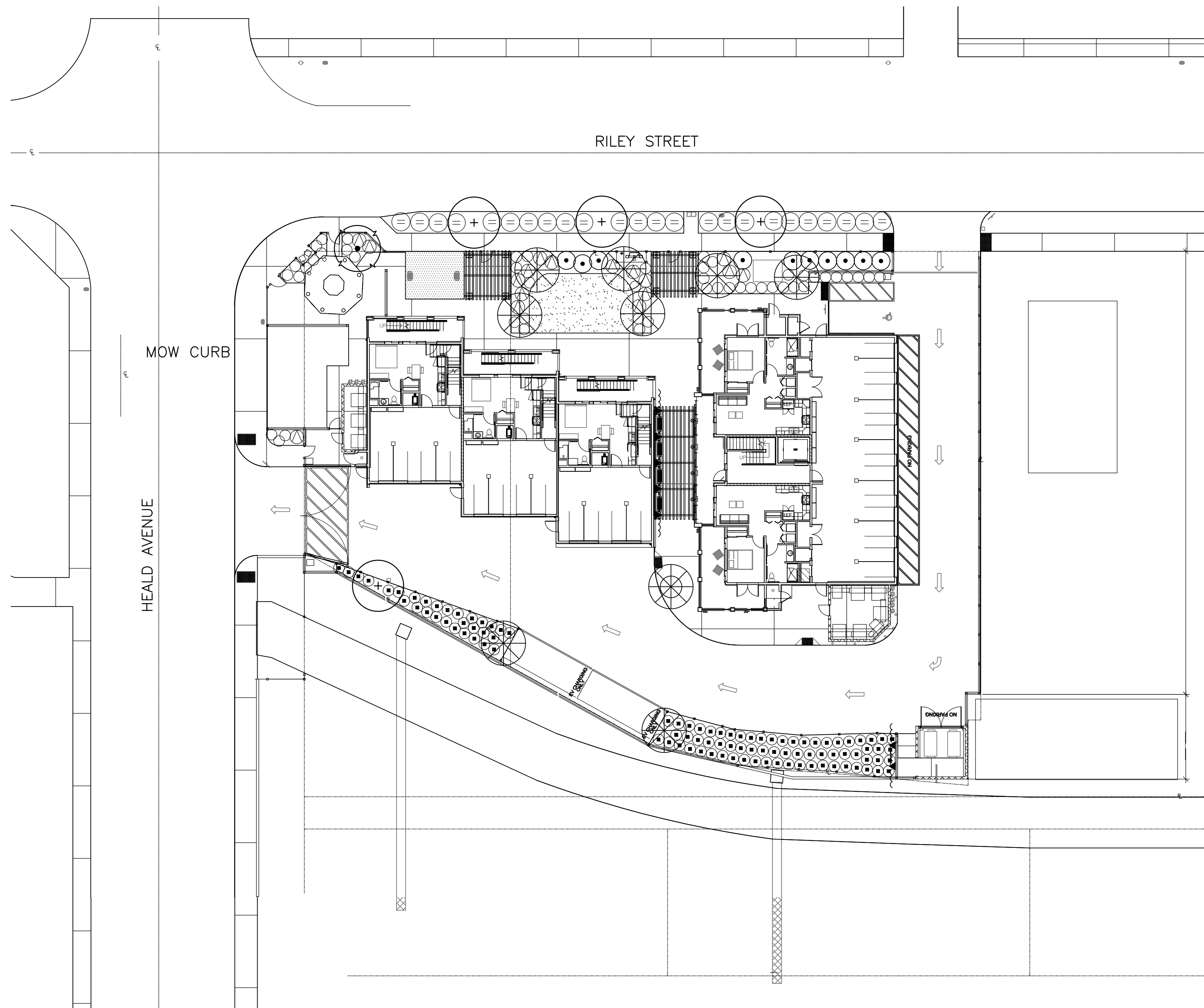
ENG-2021-00257

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					John M. Brudin	11/03/2021		DATE: MARCH 11, 2021		STREET SECTIONS RILEY APARTMENTS 200 RILEY STREET LAKE ELSINORE, CA 92530	OF 7 SHEETS
					REMON HABIB, RCE No. 83156 CITY ENGINEER CITY OF LAKE ELSINORE	12-23-2021 DATE					FILE No. 21-508







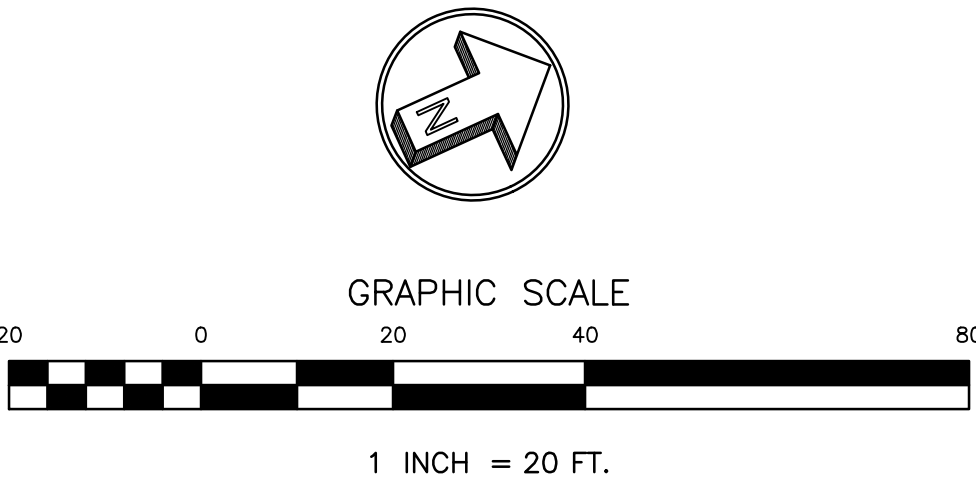


PLANTING NOTES

1. CONTRACTOR SHALL STRIP AND REMOVE ALL EXISTING LAWN AND WEEDS WITHIN THE PLANTING AREAS TYP.
2. ALL PLANTING SHALL CONFORM TO THE CITY OF LAKE ELSINORE'S STANDARDS AND SPECIFICATIONS.
3. SOIL TESTING:  
CONTRACTOR SHALL PROVIDE A HORTICULTURAL SOILS ANALYSIS PERFORMED BY A LABORATORY OF THE CALIFORNIA ASSOC. OF AGRICULTURAL LABORATORIES AT THE FIRST IRRIGATION INSPECTION.  
CONTRACTOR SHALL ADJUST SOIL AMENDMENT RECOMMENDATIONS TO CONFORM TO SOIL ANALYSIS RESULTS AS REQUIRED.
4. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE OF ALL PLANTING AREAS ON SITE AND SUBSURFACE DRAINAGE FOR ENCLOSED PLANTING AREAS.
5. THE CONTRACTOR SHALL CAREFULLY INSPECT THE SITE AND VERIFY ALL THE CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH ANY WORK. NOTIFY LANDSCAPE ARCHITECT AND OWNER IF ANY INCONSISTENCIES OCCUR.
6. THE CONTRACTOR SHALL REMOVE ALL WEEDS, ROCKS, DEBRIS AND OTHER EXTRANEIOUS MATERIALS FROM THE JOB SITE.
7. ALL PLANT MATERIALS SHALL BE HANDLED OR STORED SO THAT THEY ARE ADEQUATELY PROTECTED FROM DRYING OUT, FROM SUN OR WIND BURN, OR FROM ANY OTHER INJURY.
8. THE CONTRACTOR SHALL INSTALL TO ALL SHRUB PLANTING AREAS A 3" LAYER OF FOREST FLOOR MEDIUM GRIND WOOD MULCH OR EQUAL, CONTRACTOR SHALL PROVIDE THE OWNER WITH A SAMPLE FOR APPROVAL PRIOR TO INSTALLATION.
9. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES SHOWN ON PLANS.
10. SEE SHEET L-3 FOR DETAILS AND L-4 FOR SPECIFICATIONS.
11. THERE SHALL BE NO SHRUBS TALLER THAN 3' OR TREE LIMBS LOWER THAN 7' IN THE SIGHT DISTANCE AREA TYP.
12. CONTRACTOR SHALL TURN OVER SOIL AMENDMENT VERIFICATION TICKETS TO THE COUNTY INSPECTOR.

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	NUMBER	REMARKS	WUCOLS IV
TREES:						
	CERCIDIUM 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	24" BOX	1	DOUBLE STAKE / HEIGHT 8-10' , SPREAD 3'-4' MIN.	L
	CHITALPA TASHKENTENSIS 'PINK DAWN'	PINK FLOWERING CHITALPA	24" BOX	9	DOUBLE STAKE / HEIGHT 8-10' , SPREAD 3'-4' MIN.	L
	LAURUS NOBILIS 'SARATOGA'	BAY LAUREL	24" BOX	4	DOUBLE STAKE / HEIGHT 8-10' , SPREAD 3'-4' MIN.	L
SHRUBS:						
	ANAGOZANTHUS FLAVIDUS 'VELVET AMBER'	AMBER KANGAROO PAWS	1 GAL	49	FULL & BUSHY @ 3' O.C.	L
	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	17	FULL & BUSHY @ 3' O.C.	L
	JUNCUS PATENS	CALIFORNIA GREY RUSH	1 GAL.	97	FULL & BUSHY @ 3' O.C. IN BASINS	L
	LEUCOPHYLLUM FRUTESCENS 'GR. CLOUD'	GREEN TEXAS RANGER	5 GAL	10	FULL & BUSHY @ 5' O.C.	L
	WESTRINGIA FRUTICOSUM 'MUNDI'	PROSTRATE CAPE ROSEMARY	1 GAL.	24	FULL & SPREADING @ 5' O.C.	L
VINES :						
	MACFADYENA UNGUIS-CATI	CAT'S CLAW	5 GAL	7	ATTACH TO TRASH ENCLOSURE WALLS & FENCES	L
MULCH COVER:						
	MEDIUM GRIND WOOD MULCH	SHREDDED WOOD MULCH	3" MAX.	AS REQ'D.	3" DEEP - INSTALL TO ALL PLANTING AREAS	
	FESTUCA ARUNDIACEA 'TURF TALL FESCUE'	TURF TYPE TALL FESCUE	SOD	AS REQ'D.	PLANT PER SPECIFICATIONS	
	TAN DECOMPOSED GRANITE	SHREDDED WOOD MULCH	N.A.	AS REQ'D.	3" DEEP - INSTALL TO PICNIC AREA	

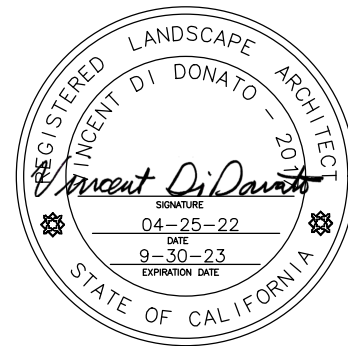


PLANTING PLAN



42095 Zero drive, Suite A15 Temecula, California 92590-3780  
Phone 951.296.9110 Email: stk@stkinc.com

CONSULTANTS:



ALHAMBRA GROUP  
LANDSCAPE ARCHITECTURE  
CALIFORNIA LICENSE #2017  
RECREATION FACILITIES PLANNING  
41635 ENTERPRISE CIRCLE NORTH, SUITE C  
TEMECULA, CA 92590 (951) 296-6802

PROJECT FOR:

CITY OF  
LAKE ELSINORE  
RILEY ST. & W HEALD AVE.  
LAKE ELSIONRE, CA 92530

PROJECT NAME:

RILEY  
APARTMENTS

ISSUE INFORMATION:

DATE:	INFORMATION:

SEAL:

SHEET INFORMATION:

PROJECT NO.:  
SCALE: AS NOTED  
DATE: APRIL 2022

SHEET TITLE:

Planting  
Plan

SHEET NO.:

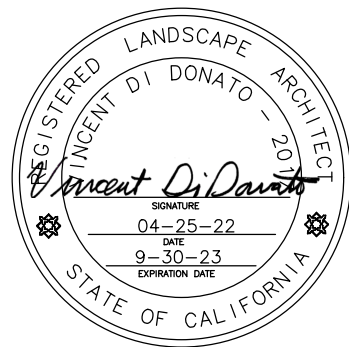
L-1





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CONSULTANTS:



ALHAMBRA GROUP  
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TEMECULA, CA 92590 (951) 296-6802

PROJECT FOR:  
**CITY OF  
LAKE ELSINORE**  
RILEY ST. & W HEALD AVE.  
LAKE ELSINORE, CA 92530

PROJECT NAME:

**RILEY  
APARTMENTS**

ISSUE INFORMATION:

DATE: INFORMATION:

SHEET INFORMATION:

PROJECT NO.:

SCALE:

DATE:

SEAL:

SHEET INFORMATION:

PROJECT NO.:

SCALE: AS NOTED

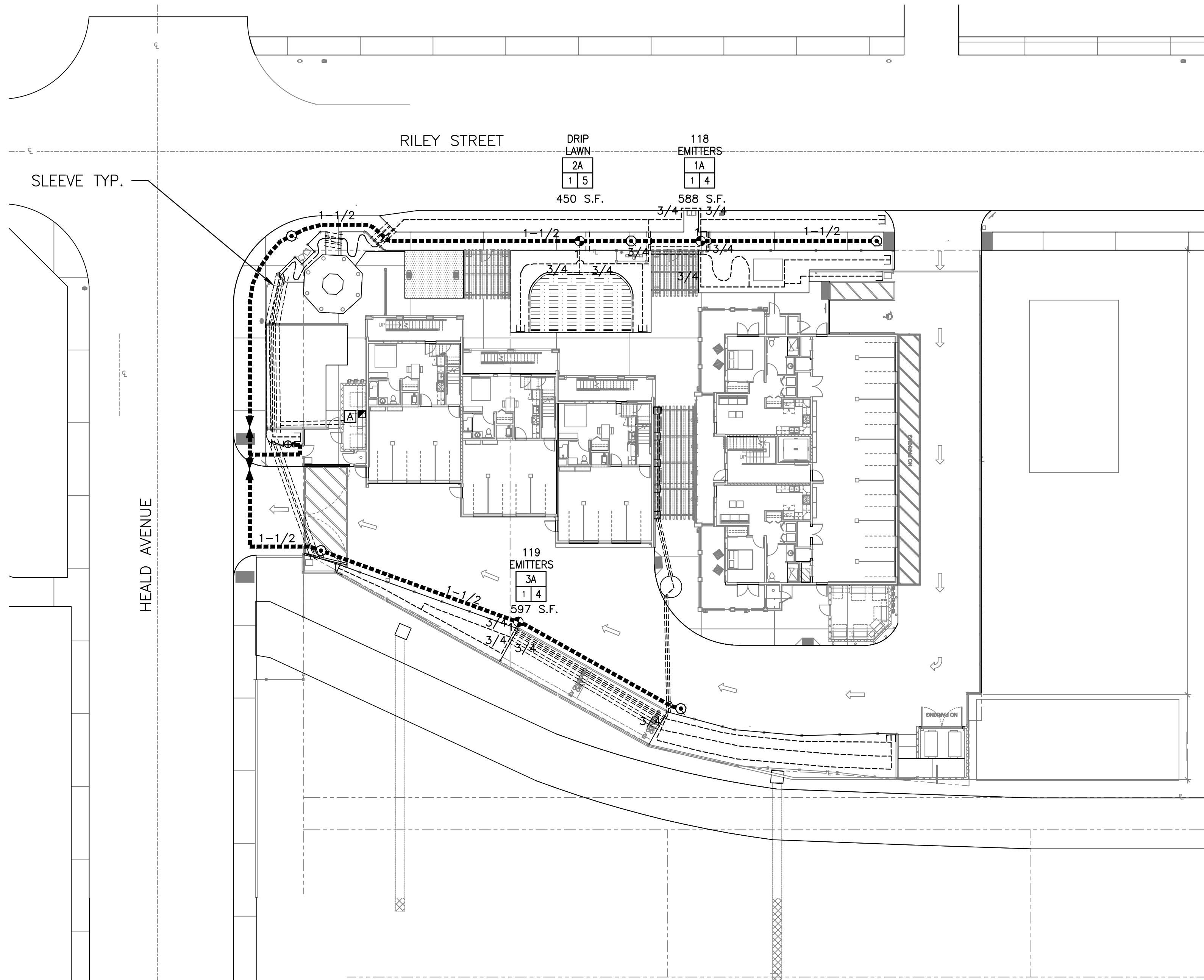
DATE: APRIL 2022

SHEET TITLE:

**Irrigation  
Plan**

SHEET NO.:

**L-2**



IRRIGATION NOTES

- IRRIGATION SYSTEM IS SHOWN DIAGRAMMATICALLY. LOCATE ALL PIPE AND EQUIPMENT WITHIN PLANTING AREAS WHEREVER POSSIBLE.
- LOCATE PRESSURE LINES WITHIN 18" OF EDGE OF HARDSCAPE IN PLANTING AREAS.
- TREE LOCATIONS TAKE PRECEDENCE OVER IRRIGATION PIPING & DRIP LINE. STAKE TREE LOCATIONS PRIOR TO TRENCHING PIPE.
- CONTRACTOR SHALL INSTALL THE SOLAR CONTROLLER IN A SECURE LOCATION NEAR THE MASTER VALVE AS SHOWN ON THE PLANS.
- CONTRACTOR SHALL INSPECT THE SITE AND VERIFY ALL CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK. TO ALLOW FOR ADEQUATE IRRIGATION COVERAGE AS SHOWN ON PLAN, ADJUST DRIP LINE & TO COMPENSATE FOR ANY CHANGES IN AREA.
- TO ENSURE PROPER LOCATION OF IRRIGATION SLEEVE INSTALLATION COORDINATE LOCATION OF MAINLINE, DRIP LINES AND CONTROL WIRES WITH ALL OTHER RELATED TRADES AS REQ.
- ALL BRASS FITTINGS TO BE RED BRASS TYPICAL.
- USE 3/4" TEFLON TAPE ON ALL THREADED CONNECTIONS.
- IRRIGATION SYSTEMS DESIGNED FROM A STATIC WATER PRESSURE OF 80.0 P.S.I., CONTRACTOR SHALL VERIFY WATER PRESSURE AT WORST CONDITION AND CONTACT LANDSCAPE ARCHITECT IF ANY INCONSISTENCIES OCCUR.
- CONTROL WIRE SCHEDULE: (MAX. LENGTH OF RUNS)

CONTROL/COMMON NO.	14	12	10	8
NO. 14	1700'	2000'	2400'	2700'
NO. 12		2700'	3300'	3800'
NO. 10			4300'	5200'
NO. 8				6700'
- ABOVE WIRING SCHEDULE IS BASED ON THE USE OF A 24 VOLT AUTOMATIC IRRIGATION CONTROLLER & WIRE SIZE IS BASED ON OPERATING ONE VALVE AT A TIME.
- ALL IRRIGATION SHALL CONFORM TO THE CITY OF LAKE ELSINORE STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE A CONTROLLER CHART THAT DEPICTS THE VALVE LOCATIONS, NUMBERS & THE AREA THE VALVE CONTROLS.

BLU-LOCK SPECIFICATIONS

HIGH DENSITY POLYETHYLENE PIPE AND FITTINGS:

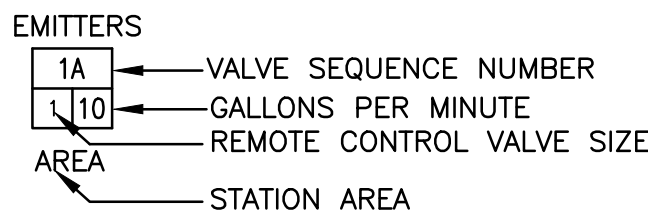
A. ALL PIPE SHALL BE CONSTRUCTED OF VIRGIN HIGH DENSITY POLYETHYLENE (HDPE) RESIN WITH THE CELL CLASSIFICATION OF 345464C PER ASTM D 2239 OR ASTM D 2737. THE MATERIAL SHALL CONTAIN 2% CARBON BLACK AS A UV INHIBITOR TO ACCOMMODATE OUTSIDE STORAGE.

B. ALL PIPE FITTINGS SHALL BE CONSTRUCTED FOR QUICK COUPLE PUSH-ON INSTALLATION WITHOUT THE USE OF GLUE OR CLAMPS ONTO 1/2" SWING, OR 3/4", OR 1", HDPE 3408 SDR 15 LATERAL PIPE.

C. FITTINGS SHALL BE BUILT OF ABS MATERIAL WITH A STAINLESS STEEL RETAINING RING AND EPDM SEAL MATERIAL.

D. FITTINGS SHALL BE FOR OUTDOOR USE ONLY ON COLD WATER.

TYPE: HYDRO-RAIN BLU LOCK OR APPROVED EQUAL



IRRIGATION LEGEND

SYMBOL	MANUFACTURER	MODEL NO.	REMARKS - SEE SHEET L-3 FOR DETAILS AND L-4 FOR SPECIFICATIONS
[A]	HUNTER	1C-600	6 STATION CONTROLLER- INSTALL ON THE INSIDE OF AIR CONDITIONER SCREEN WALL W/ 120V AC CONNECTION
[S]	HUNTER	SOLAR SYNC	INSTALL NEAR CONTROLLER ON INSIDE OF WALL
[Z]	FEBCO	825-YA-3/4"	REDUCED PRESSURE B.P.U., INSTALL IN PLANTING AREA
[G]	HUNTER	FLOW-CLK-100	1" FLOW SENSOR
[R]	RAINBIRD	XCZ-100-PRB-COM	1" REMOTE CONTROL VALVE KIT WITH 40 PSI PRESSURE REGULATOR
[M]	HUNTER	ICV-101G	1" MASTER CONTROL VALVE
[Q]	RAINBIRD	44DLRC	1" QUICK COUPLING VALVE
[B]	BOWSMITH	SB-20	2 GPH DRIP EMITTER (1 EMITTER FOR EACH SHRUB).
[N]	NIBCO	T-580	BRASS BALL VALVE LINE SIZE - TYPICAL
[PAC]	PAC. PLASTICS	SCH 40	PRESSURE TYPE MAINLINE - INSTALL WITH 24" MINIMUM COVER
[FLO]	FLO-CONTROL	1520-10/1012-10	LINE SIZE SWING/SPRING CHECK VALVE. SWING TYPE FOR UPHILL & SPRING TYPE FOR DOWNHILL.
[PAC]	PAC. PLASTICS	SCH 40	NON-PRESSURE TYPE SLEEVE 2 TIMES THE DIAMETER OF THE MAIN, LATERAL AND WIRE BUNDLE TYP.
[HYD]	HYDRO-RAIN	BLU-LOCK	NON-PRESSURE LATERAL LINE-INSTALL 2" BELOW GRADE EXCEPT UNDER PAVEMENT INSTALL 12" BELOW GRADE-SEE DETAILS.
[H/O]	HYDRORAIN/ORBIT	MODEL 5024	AUTOMATIC DRAW FLUSH VALVE
[PAC]	PAC. PLASTICS	SCHEDULE 40	NON-PRESSURE TYPE LATERAL - INSTALL WITH 12" MINIMUM COVER
[XFS]	RAINBIRD	XFS-09-18	NON-PRESSURE LATERAL LINE-INSTALL ALL COMPONENTS PER DETAILS - INCLUDING FLUSH VALVE AND AIR RELIEF VALVE.

DRIP SYSTEM PRESSURE LOSS CALCS.

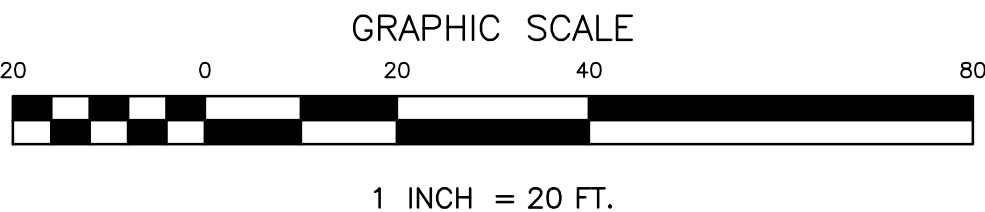
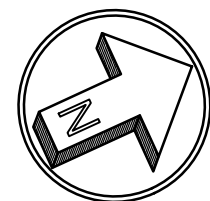
VALVE 1A @ 4 G.P.M.  
PRESSURE AVAILABLE AT METER : 60.0 P.S.I.

EQUIPMENT	SIZE	P.S.I. LOSS
METER	1"	(0.7)
B.P.U.	1"	(11.0)
MASTER VALVE	1"	(1.5)
BALL VALVE	1"	(1)
R.C.V.	1"	(1.5)
MAIN LINE	1"	(0.9)
ELEVATION CHANGE	0'	(0.00)

P.S.I. LOSS BEFORE REMOTE CONTROL VALVE: (15.7 P.S.I.)  
PRESSURE AVAILABLE AT VALVE: 44.3 P.S.I.  
VALVE REDUCES PRESSURE TO: 40.0 P.S.I.

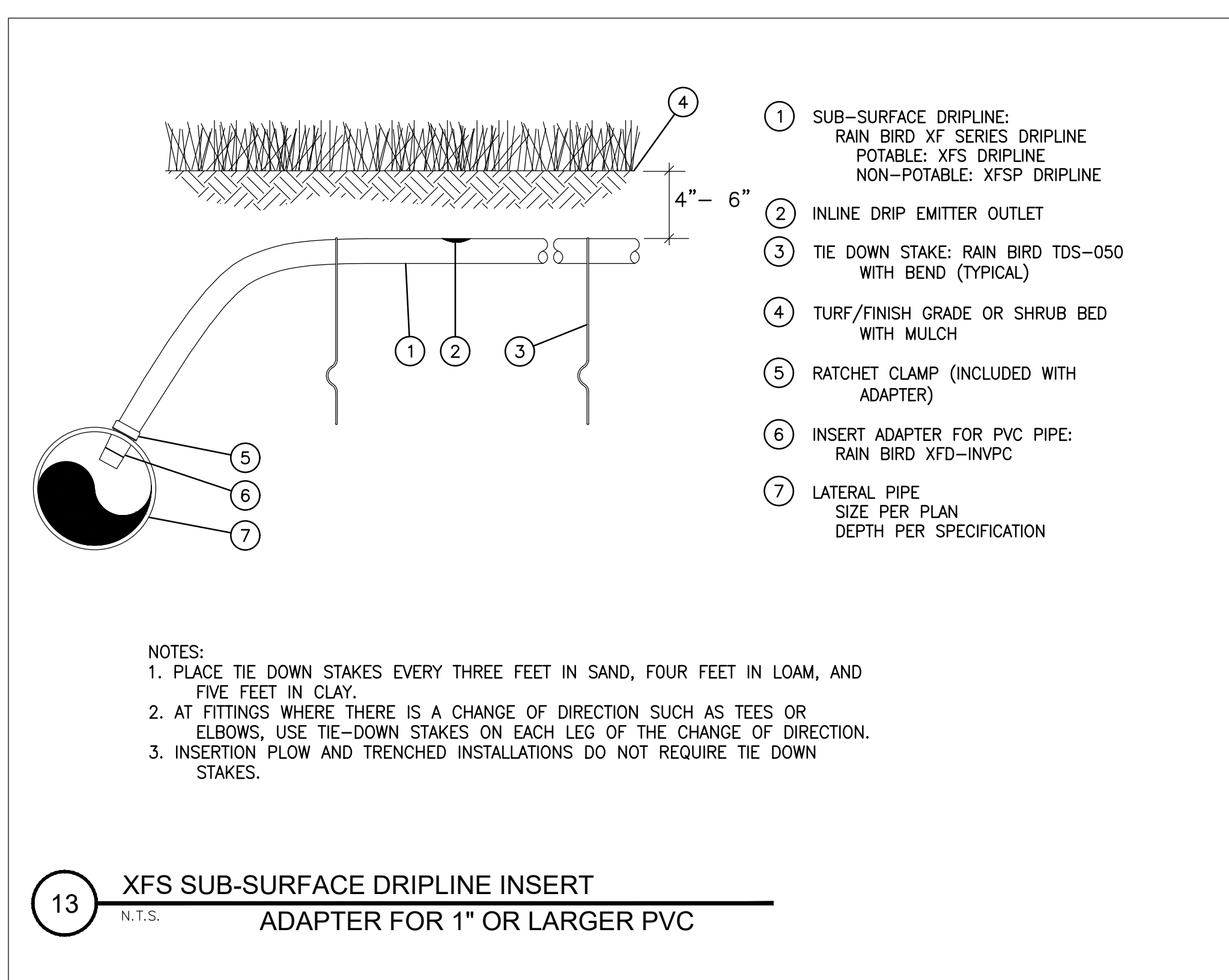
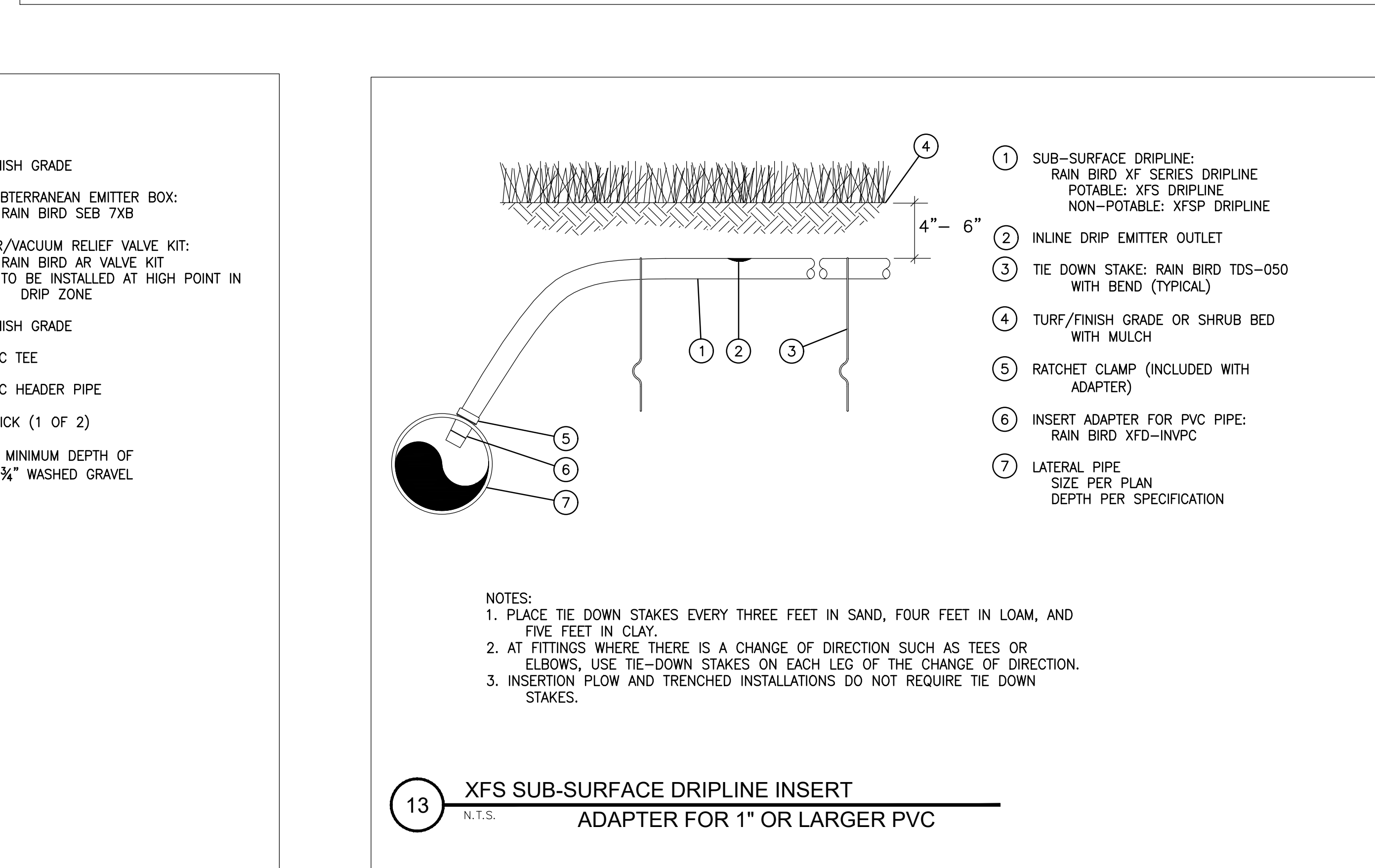
EQUIPMENT	SIZE	P.S.I. LOSS
LATERAL LINES	VARIES	(5.0)
EMITTERS	N/A	(20.0)
ELEVATION CHANGE	0'	(0)

P.S.I. LOSS AFTER PRESSURE REGULATOR: (25.0 P.S.I.)  
TOTAL RESIDUAL PRESSURE: 15.0 P.S.I.

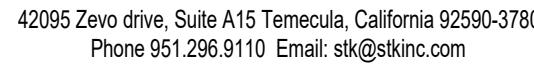


IRRIGATION PLAN









LANDSCAPE ARCHITECTURE  
CALIFORNIA LICENSE #2017  
RECREATION FACILITIES PLANNING  
41635 ENTERPRISE CIRCLE NORTH, SUITE C  
TEMECULA, CA 92590 (951) 296-6802

[illegible]

## SEAL

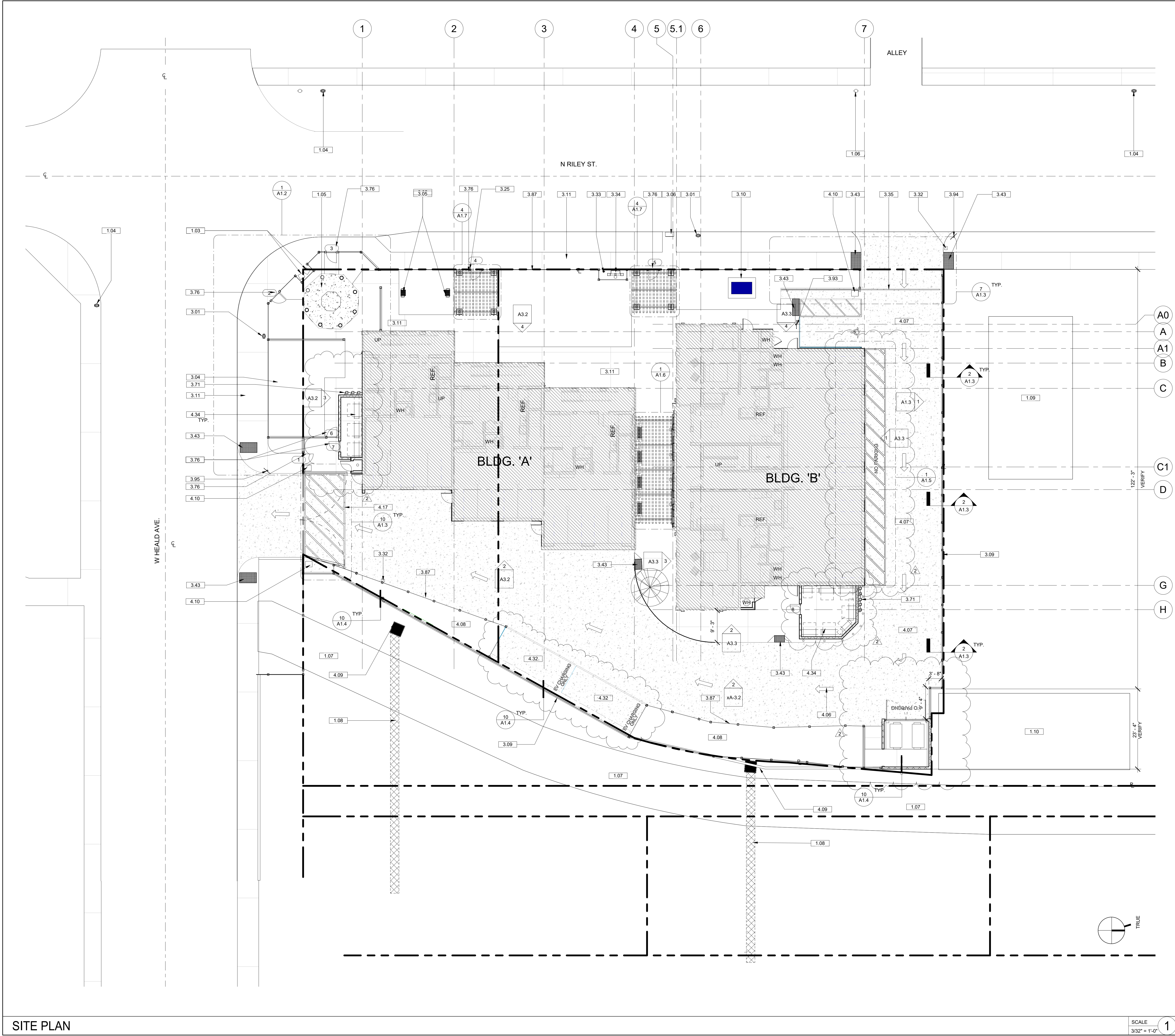
## SHEET TITLE

SHEET NO.:

- THE CONTRACTOR MAY BE RELIEVED FROM MAINTENANCE WORK WHEN THE FINAL (60) CALENDAR DAY MAINTENANCE WORK HAS BEEN SATISFACTORILY COMPLETED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.

12. CONTRACTOR SHALL USE ANY MEANS NECESSARY TO PROTECT ALL PLANTED AREAS FROM FOOT TRAFFIC INCLUDING BUT NOT LIMITED TO STAKES & WARNING TAPE.





SITE PLAN

SCALE  
3/32" = 1'-0"

- KEY NOTE**
- 1.03 (E) MONUMENT BLOCKS TO REMAIN, PROTECT. TYPICAL.
  - 1.04 (E) FIRE HYDRANT TO REMAIN, PROTECT.
  - 1.05 (E) HISTORICAL GAZEBO TO REMAIN, PROTECT.
  - 1.06 (E) UTILITY POLE TO REMAIN, PROTECT.
  - 1.07 (E) HISOTRIC RIVERWALK, PROTECT.
  - 1.08 (E) CONCRETE DRAINS TO TEMESCAL WASH. VERIFY SEE CIVIL.
  - 1.09 (E) HOUSE N.I.C.
  - 1.10 (E) GARAGE N.I.C.
  - 3.01 (N) FIRE HYDRANT. RELOCATE PER CIVIL.
  - 3.04 PLAYGROUND RUBBER SOLID SURFCAE, (NIC).
  - 3.05 BARBECUE GRILLS (NIC).
  - 3.06 MAILBOX.
  - 3.09 CMU WALL WITH FENCE. ELEVATE ALL CMU WALL WITH CIVIL DRWGS SEE DETAIL 2/A1.3.
  - 3.10 SCE PAD MOUNTED TRANSFORMER.
  - 3.11 4" CONCRETE SIDEWALK W/ EXPANSION JOINTS AT 30' O.C. AND SAWCUT CONTROL JOINTS AT 5' O.C.
  - 3.25 ALUMAWOOD WALKWAY TRELLIS, SPANISH BROWN.
  - 3.32 GATE ACCESS CONTROL, WITH KNOX BOX.
  - 3.33 POST INDICATOR VALVE. SEE CIVIL.
  - 3.34 DETECTOR CHECK SEE CIVIL.
  - 3.35 ROLLING GATE SEE DETAIL 7/A1.3.
  - 3.43 DETECTABLE WARNING-3' WIDE TRUNCATED DOMES PROVIDED PER C.B.C. FIGURE 11B-705.1, YELLOW COLOR.
  - 3.71 GAS METER. SEE PLUMBING DWGS.
  - 3.76 METAL PERSONAL GATE & FENCE.
  - 3.87 6' HIGH ORNAMENTAL METAL FENCE. SEE DETAIL 1/A1.4.
  - 3.93 ADA PARKING SIGN SEE DETAIL 2/A1.2.
  - 3.94 PRIVATE PARKING ONLY SIGN.
  - 3.95 NOT AN ENTRANCE EXIT ONLY SIGN. SEE DETAIL 4/A1.4.
  - 4.06 OSHA YELLOW DIRECTIONAL ARROWS, 12" WIDE X 36" LONG (TYP.).
  - 4.07 AC PAVING OVER CLASS 2 BASE, SEE CIVIL & GEOTECHNICAL REPORT.
  - 4.08 DETENTION BASIN. SEE CIVIL (TYP.).
  - 4.09 CONNECT DRAIN TO (E) 1.08. SEE CIVIL DWGS.
  - 4.10 SWINGING GATE MOTOR.
  - 4.17 OSHA YELLOW 4" STRIPES.
  - 4.32 EV (ELECTRIC VEHICLE) CHARGING STATION WITH EV PARKING SIGN. SEE ELECTL DWGS.
  - 4.34 CONDENSING UNITS.

A0  
A  
A1  
B  
C  
C1  
D  
G  
H

**TAG LEGEND**

- XX DOOR TAG
- XX WINDOW TAG

NOTE: REFER TO SHEET A2.12 & A2.13 FOR DETAILS.



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**CONSULTANTS:**

**PROJECT FOR:**

**CITY OF  
LAKE ELSINORE**  
130 SOUTH MAIN ST.  
LAKE ELSINORE, CA 92530

**PROJECT NAME:**

**RILEY  
APARTMENTS**

200 N. RILEY ST.  
UNITS 1-9  
LAKE ELSINORE, CA 92530

**ISSUE INFORMATION:**

DATE:	INFORMATION:
09/01/2020	SCHEMATIC DESIGN
12/09/2020	CUP SET
05/2021	PLAN CHECK SET
08/03/2021	PLAN REVISION 1
04/22/2022	PLAN REVISION 2

**REVISIONS**

No	Date	Description
2	04/25/2022	Revision 2

**SEAL:**



**SHEET INFORMATION:**

PROJECT NO.: 316-18-20  
SCALE: As indicated  
DATE: August 03, 2021

**SHEET TITLE:**

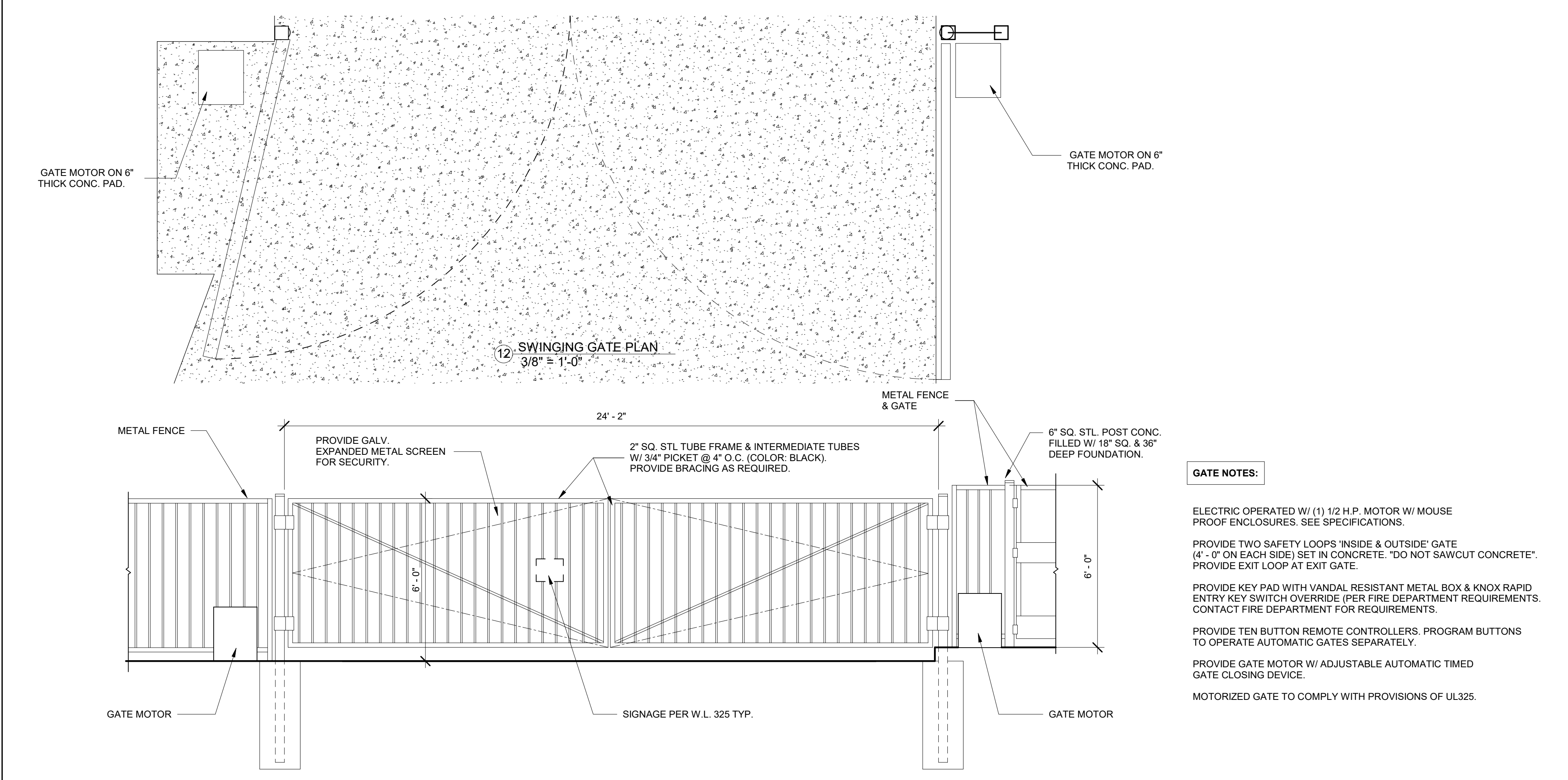
**SITE PLAN**

**SHEET NO.:**

**A1.1**

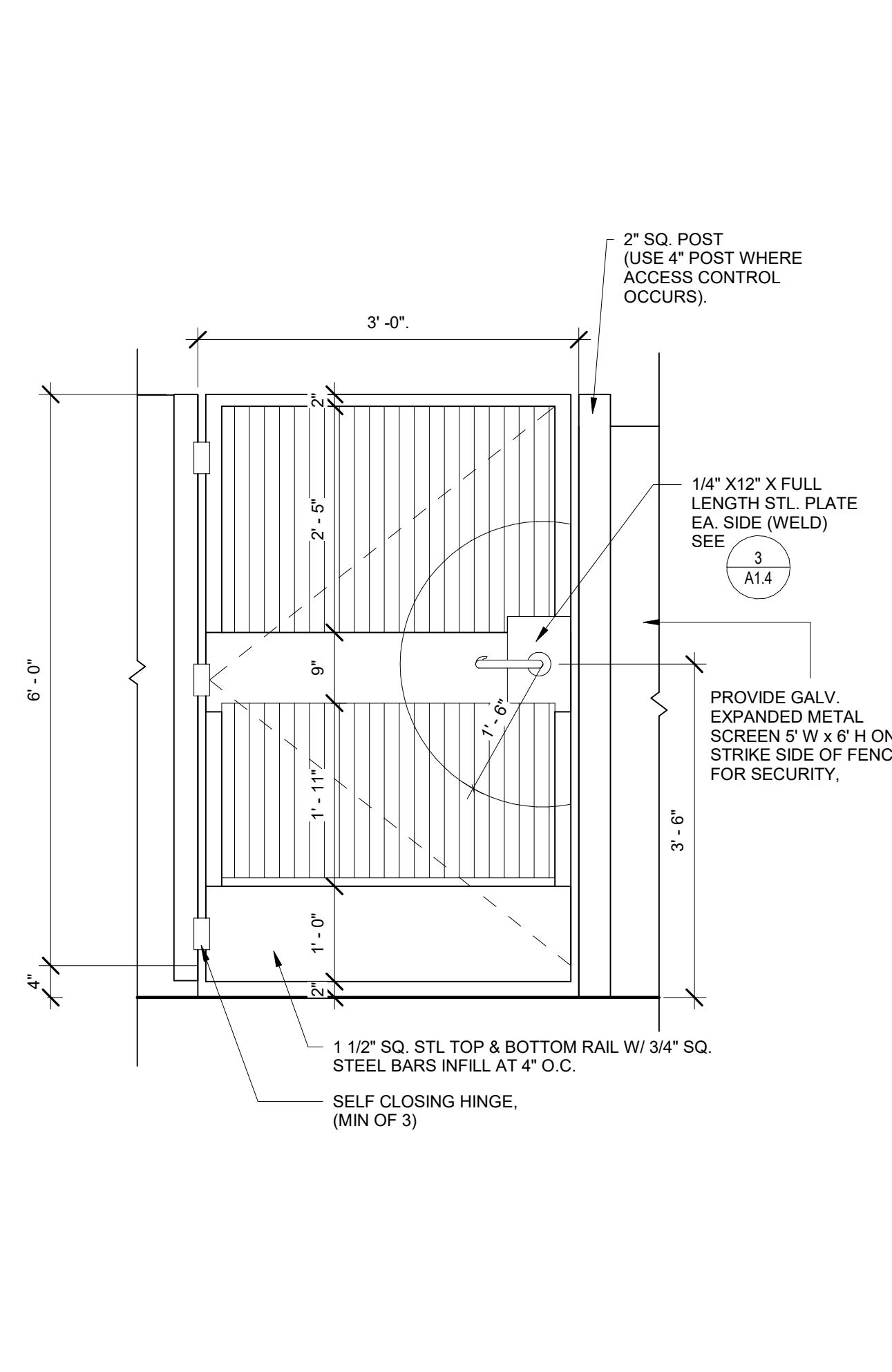
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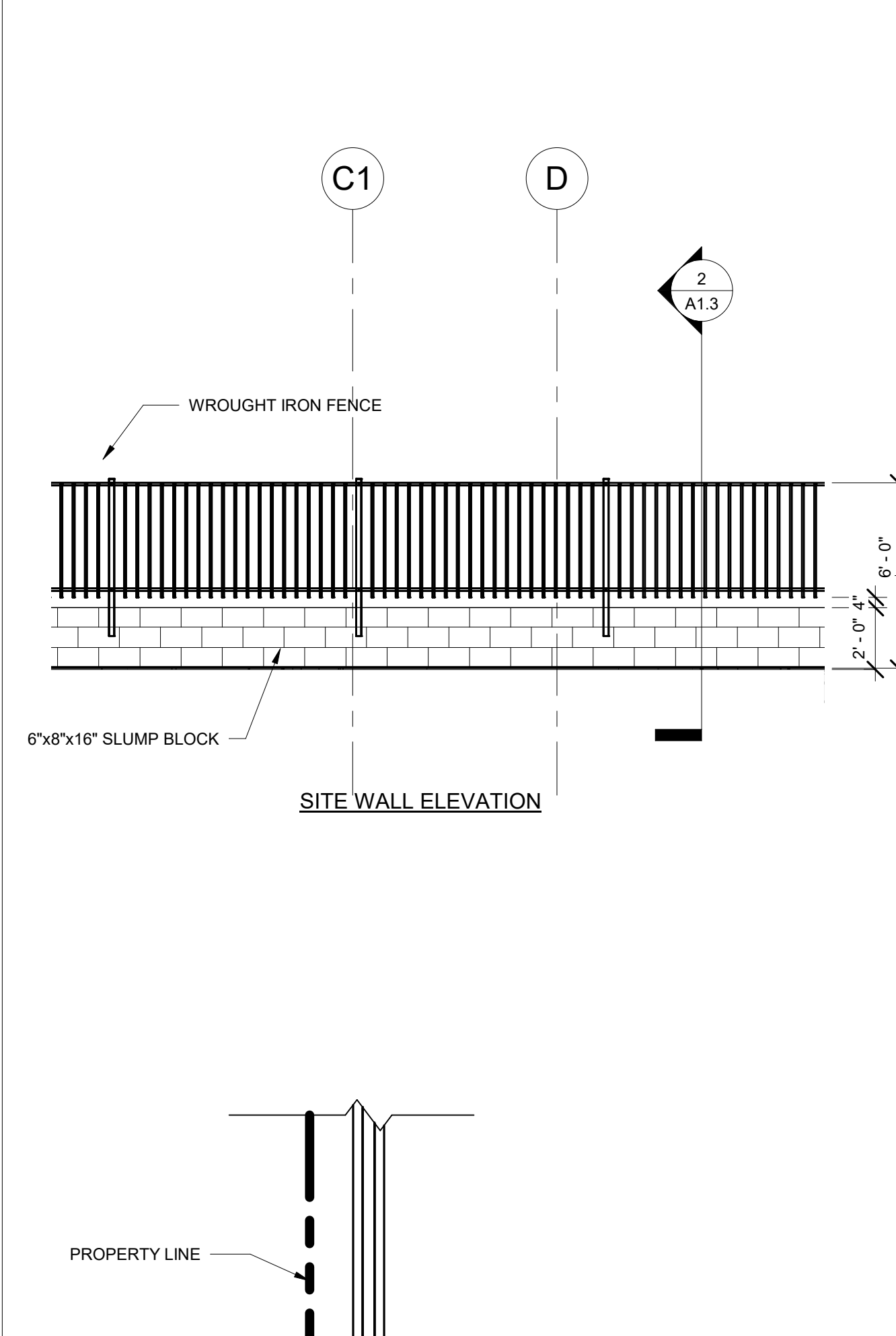
MOTORIZED SWINGING GATE

SCALE 3/8" = 1'-0" 10



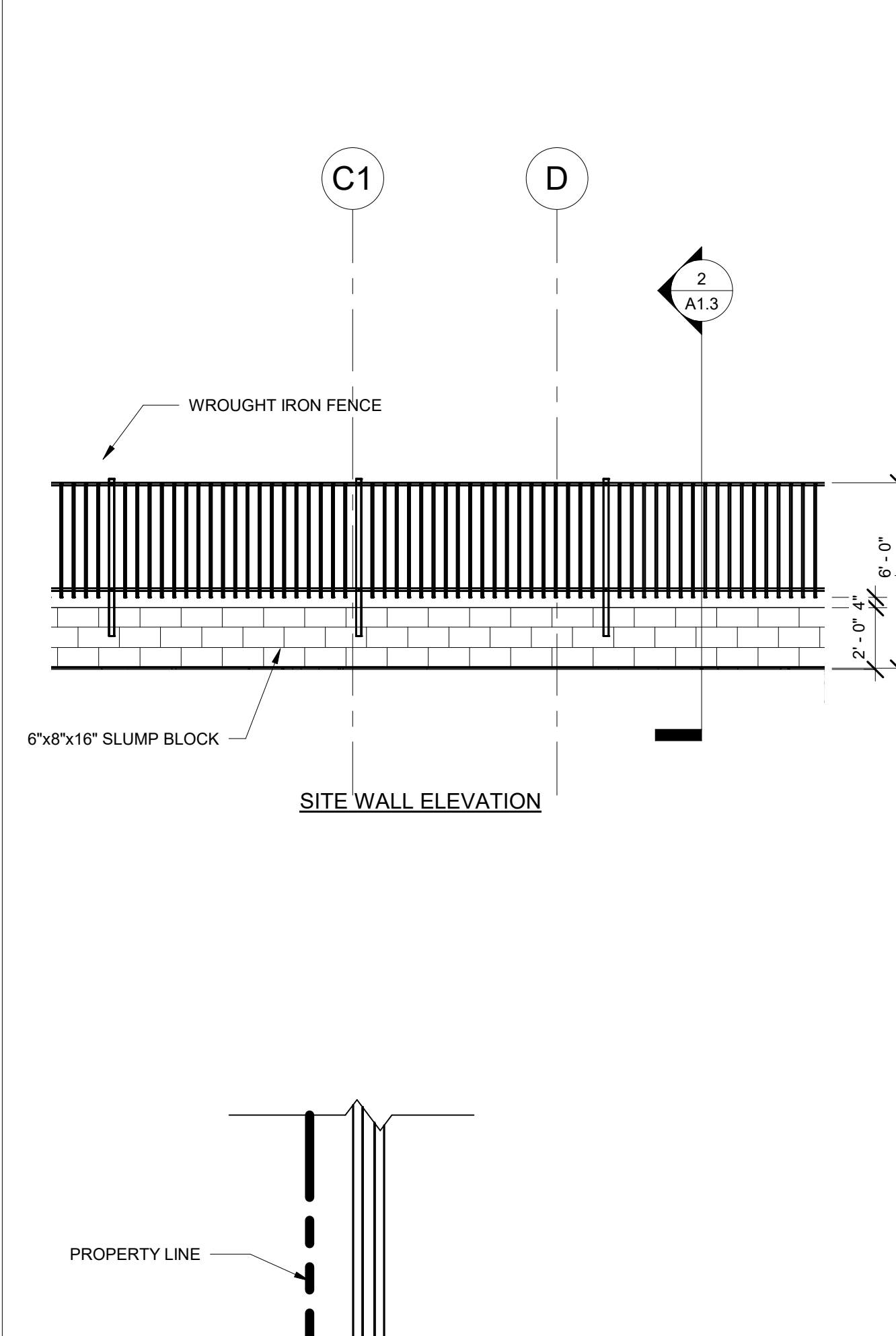
PERSONNEL GATE

SCALE 3/4" = 1'-0" 6



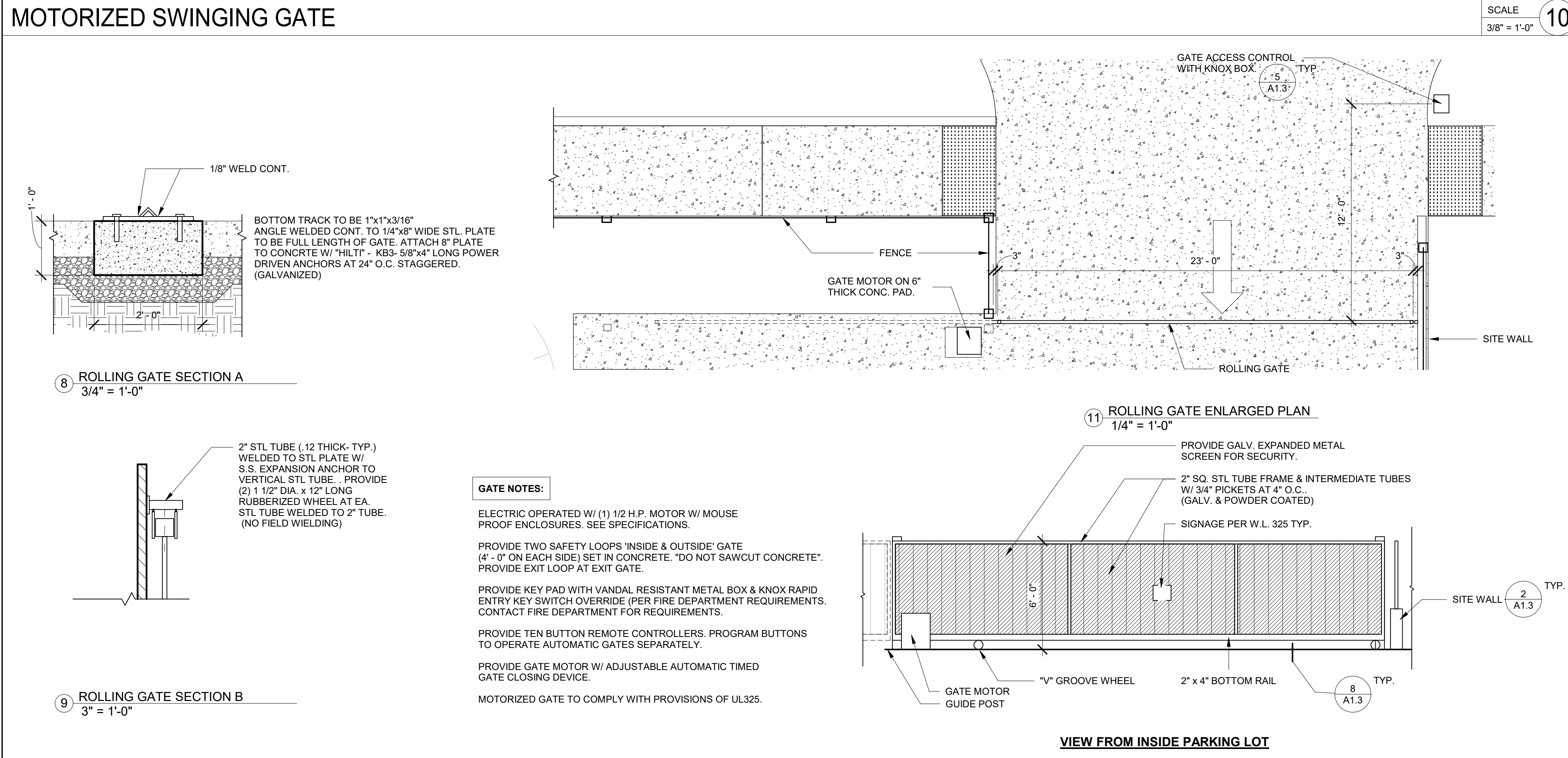
PERSONNEL GATE

SCALE 3/4" = 1'-0" 6



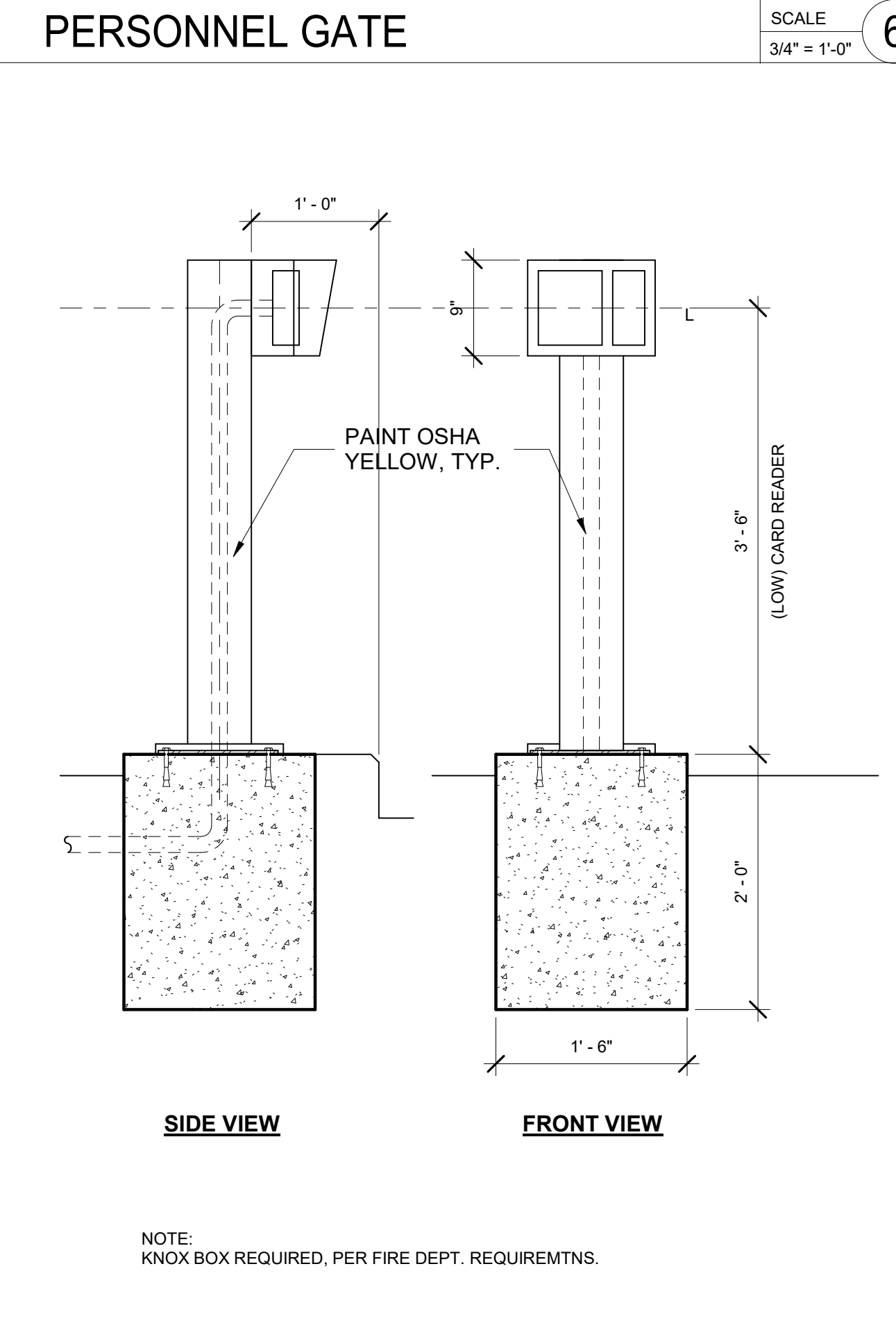
PERSONNEL GATE

SCALE 3/4" = 1'-0" 6



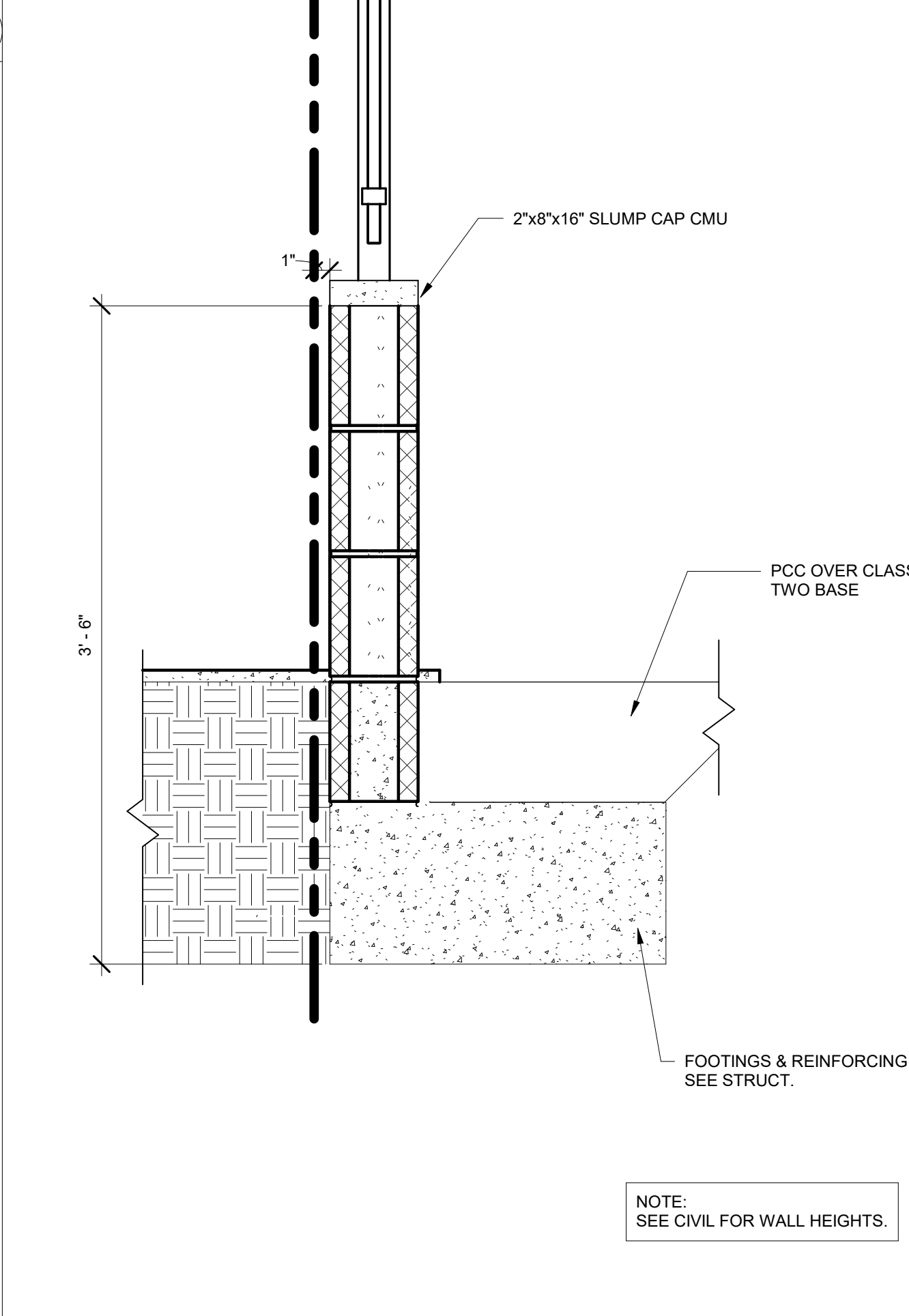
MOTORIZED ROLLING GATE

SCALE 1/4" = 1'-0" 7



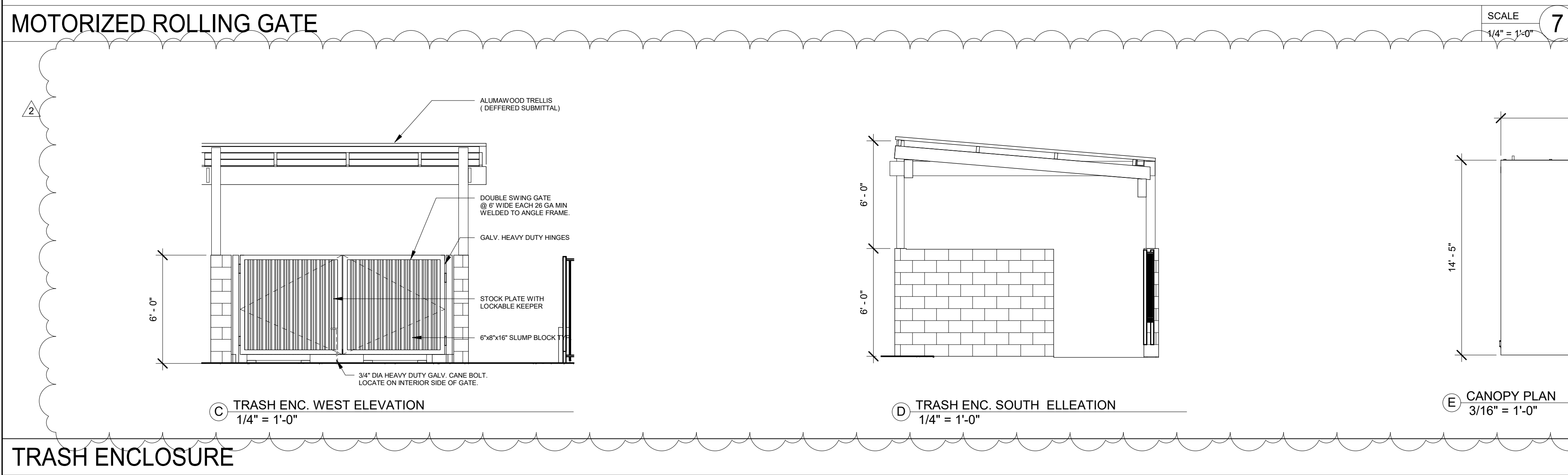
GATE CONTROL PEDESTAL

SCALE 1" = 1'-0" 5



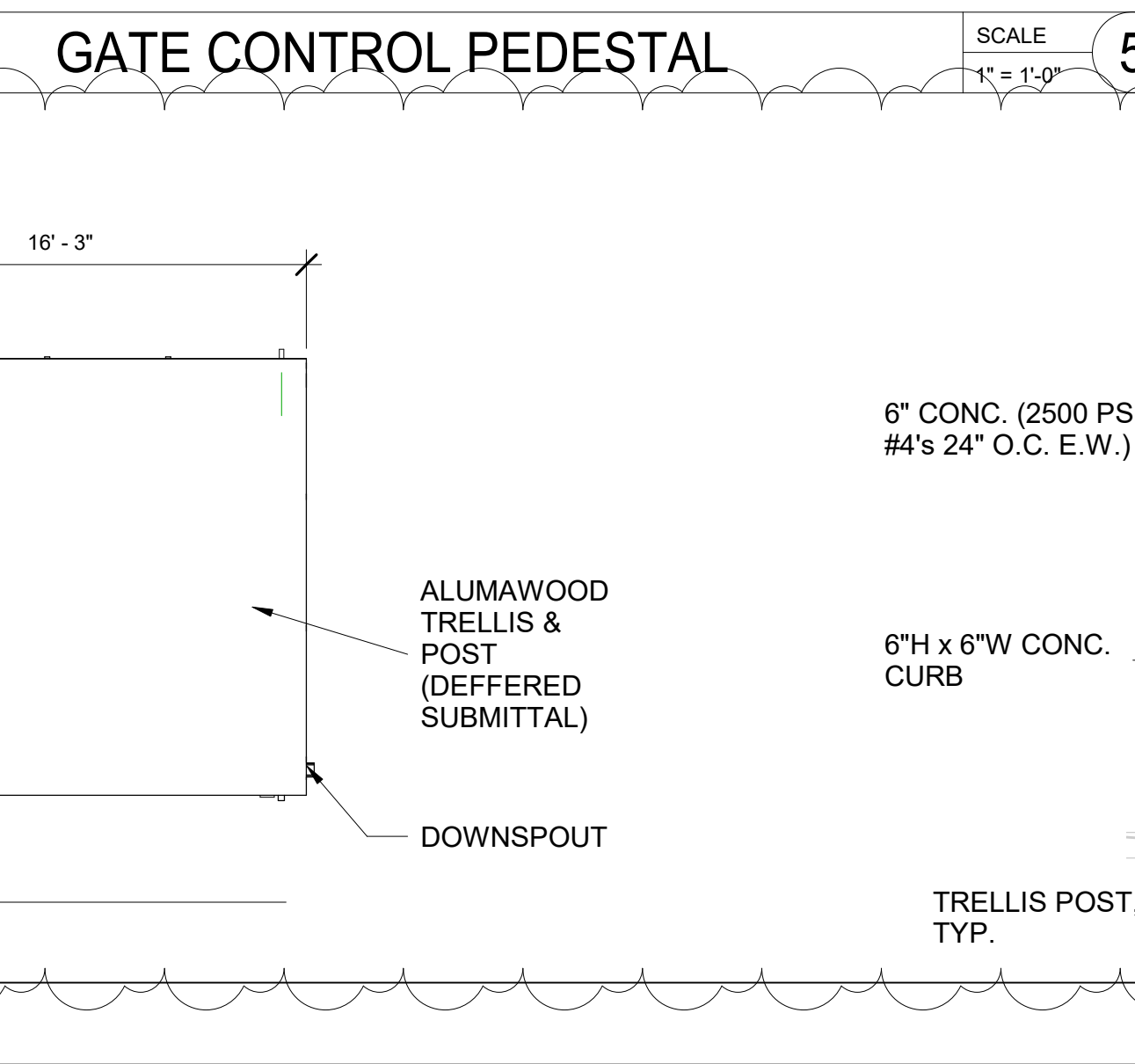
CMU WALL DETAIL

SCALE 1" = 1'-0" 5



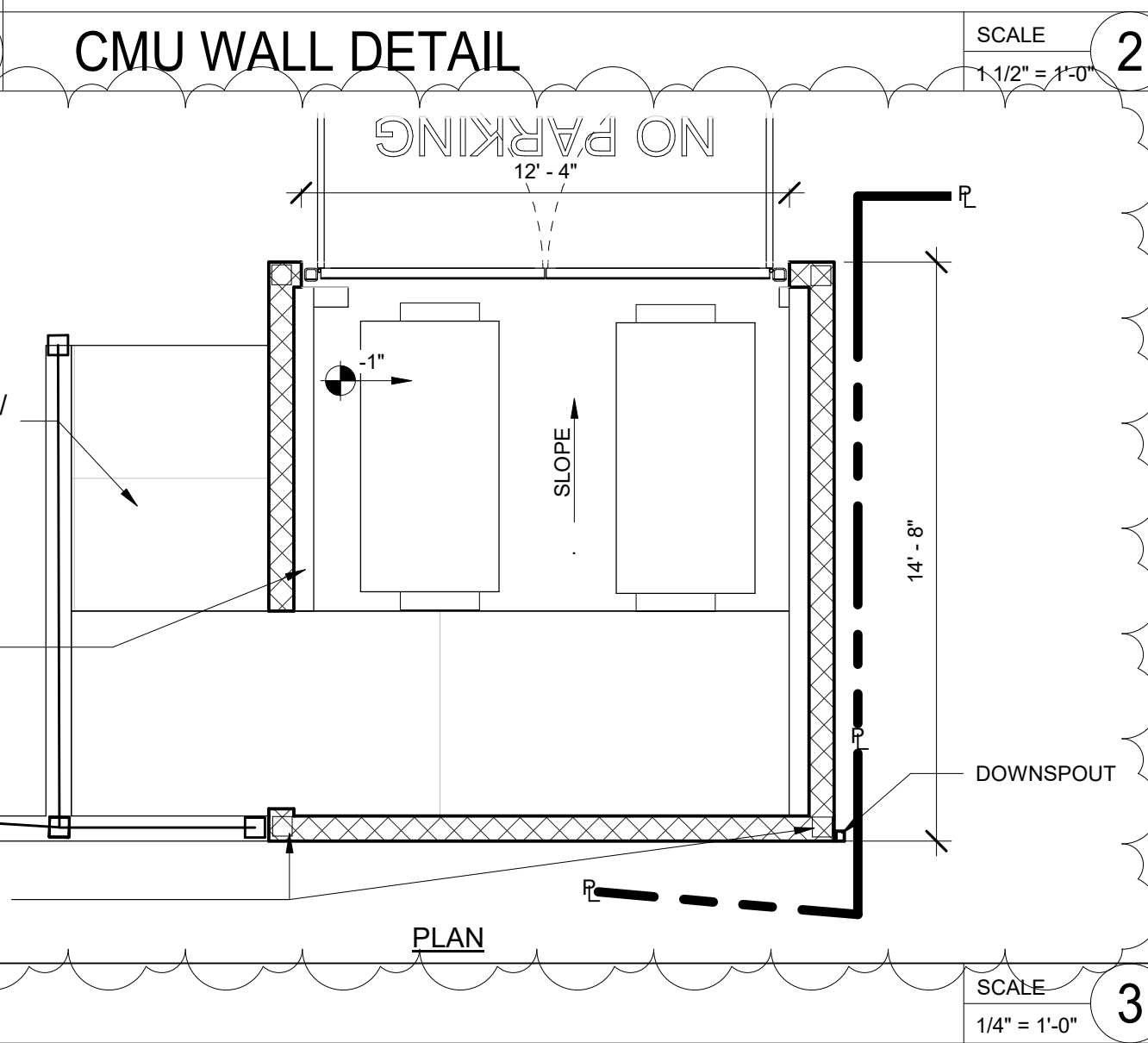
TRASH ENCLOSURE

SCALE 1/4" = 1'-0" 3



CANOPY PLAN

SCALE 3/16" = 1'-0" 3



TRASH ENCLOSURE

SCALE 1/4" = 1'-0" 3

CONSULTANTS:

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**CITY OF LAKE ELSNORE**  
130 SOUTH MAIN ST.  
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PROJECT NAME:

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04/22/2022	PLAN REVISION 2

REVISIONS

No.	Date	Description
2	04/25/2022	Revision 2

SEAL:



SHEET INFORMATION:

PROJECT NO.: 316-18-20  
SCALE: As indicated  
DATE: August 03, 2021

SHEET TITLE:

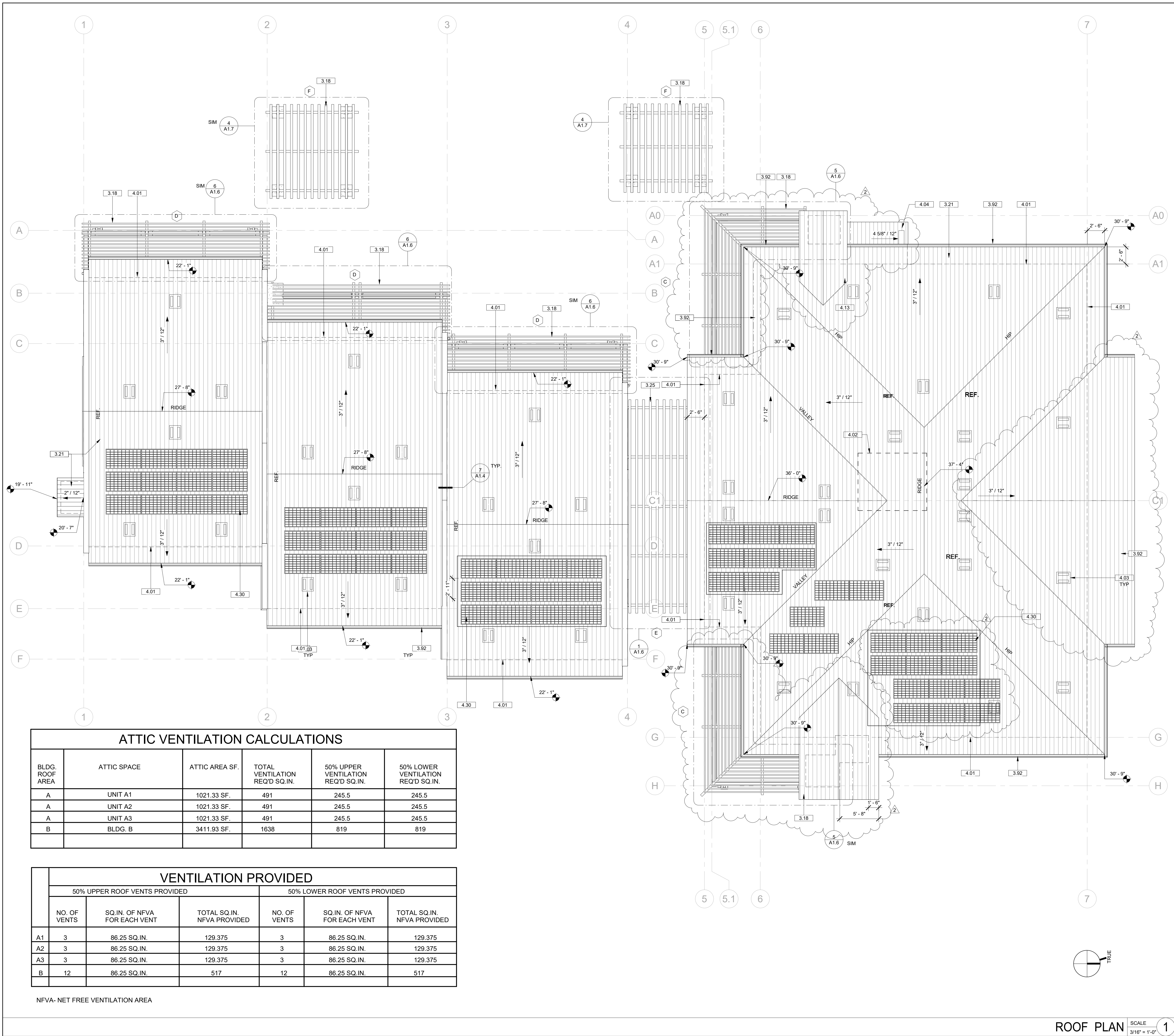
**SITE DETAILS**

SHEET NO.:

**A1.3**

PLAN CHECK SET RESUBMITTAL





ATTIC VENTILATION CALCULATIONS					
BLDG. ROOF AREA	ATTIC SPACE	ATTIC AREA SF.	TOTAL VENTILATION REQ'D SQ.IN.	50% UPPER VENTILATION REQ'D SQ.IN.	50% LOWER VENTILATION REQ'D SQ.IN.
A	UNIT A1	1021.33 SF.	491	245.5	245.5
A	UNIT A2	1021.33 SF.	491	245.5	245.5
A	UNIT A3	1021.33 SF.	491	245.5	245.5
B	BLDG. B	3411.93 SF.	1638	819	819

	VENTILATION PROVIDED					
	50% UPPER ROOF VENTS PROVIDED			50% LOWER ROOF VENTS PROVIDED		
	NO. OF VENTS	SQ.IN. OF NFVA FOR EACH VENT	TOTAL SQ.IN. NFVA PROVIDED	NO. OF VENTS	SQ.IN. OF NFVA FOR EACH VENT	TOTAL SQ.IN. NFVA PROVIDED
A1	3	86.25 SQ.IN.	129.375	3	86.25 SQ.IN.	129.375
A2	3	86.25 SQ.IN.	129.375	3	86.25 SQ.IN.	129.375
A3	3	86.25 SQ.IN.	129.375	3	86.25 SQ.IN.	129.375
B	12	86.25 SQ.IN.	517	12	86.25 SQ.IN.	517

NFVA- NET FREE VENTILATION AREA

KEY NOTE

- 3.18 ALUMAWOOD TRELLIS SPANISH BROWN (DEFERRED SUBMITTAL).
- 3.21 EAGLE ROOFING TILE MALIBU COLLECTION, ALBAQUERQUE BLEND MANUFACTURER NO. SCM 8830.
- 3.92 RAIN GUTTER
- 4.01 DASHED LINE INDICATES EXTERIOR WALL LINE BELOW.
- 4.02 DASHED LINE INDICATES ELEVATOR BELOW.
- 4.03 ATTIC VENT. PAINT: SEE ATTIC VENTILATION CALCULATION
- 4.04 CEMENT PLASTER SLOPED WALL. FIELD PAINT LA HABRA X-81 OATMEAL.
- 4.13 ROOF CRICKET (2X FRAMING AND PLYWOOD).
- 4.30 PHOTOVOLTAIC SYSTEM. DEFERRED SUBMITTAL.



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130 SOUTH MAIN ST.  
LAKE ELSINORE, CA 92530

PROJECT NAME:

RILEY  
APARTMENTS

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UNITS 1-9  
LAKE ELSINORE, CA 92530

ISSUE INFORMATION:

DATE:	INFORMATION:
09/01/2020	SCHEMATIC DESIGN
12/09/2020	CUP SET
05/2021	PLAN CHECK SET
08/03/2021	PLAN REVISION 1
04/22/2022	PLAN REVISION 2

REVISIONS

No	Date	Description
1	7/12/2021	Revision 1
2	04/25/2022	Revision 2

SEAL:



SHEET INFORMATION:

PROJECT NO.: 316-18-20  
SCALE: As indicated  
DATE: August 03, 2021

SHEET TITLE:

ROOF PLAN

SHEET NO.:

A2.10

ROOF PLAN

SCALE  
3/16" = 1'-0"

1

PLAN CHECK SET RESUBMITTAL



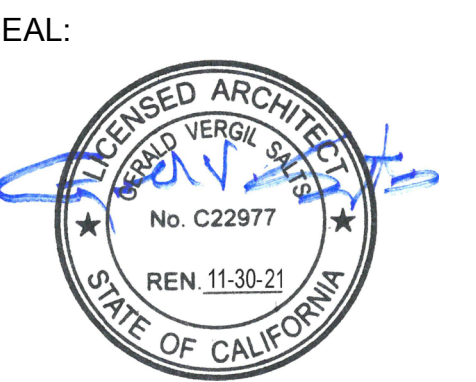
CONSULTANTS:

PROJECT FOR:  
**CITY OF LAKE ELSINORE**  
130 SOUTH MAIN ST.  
LAKE ELSINORE, CA 92530

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REVISIONS		
No.	Date	Description

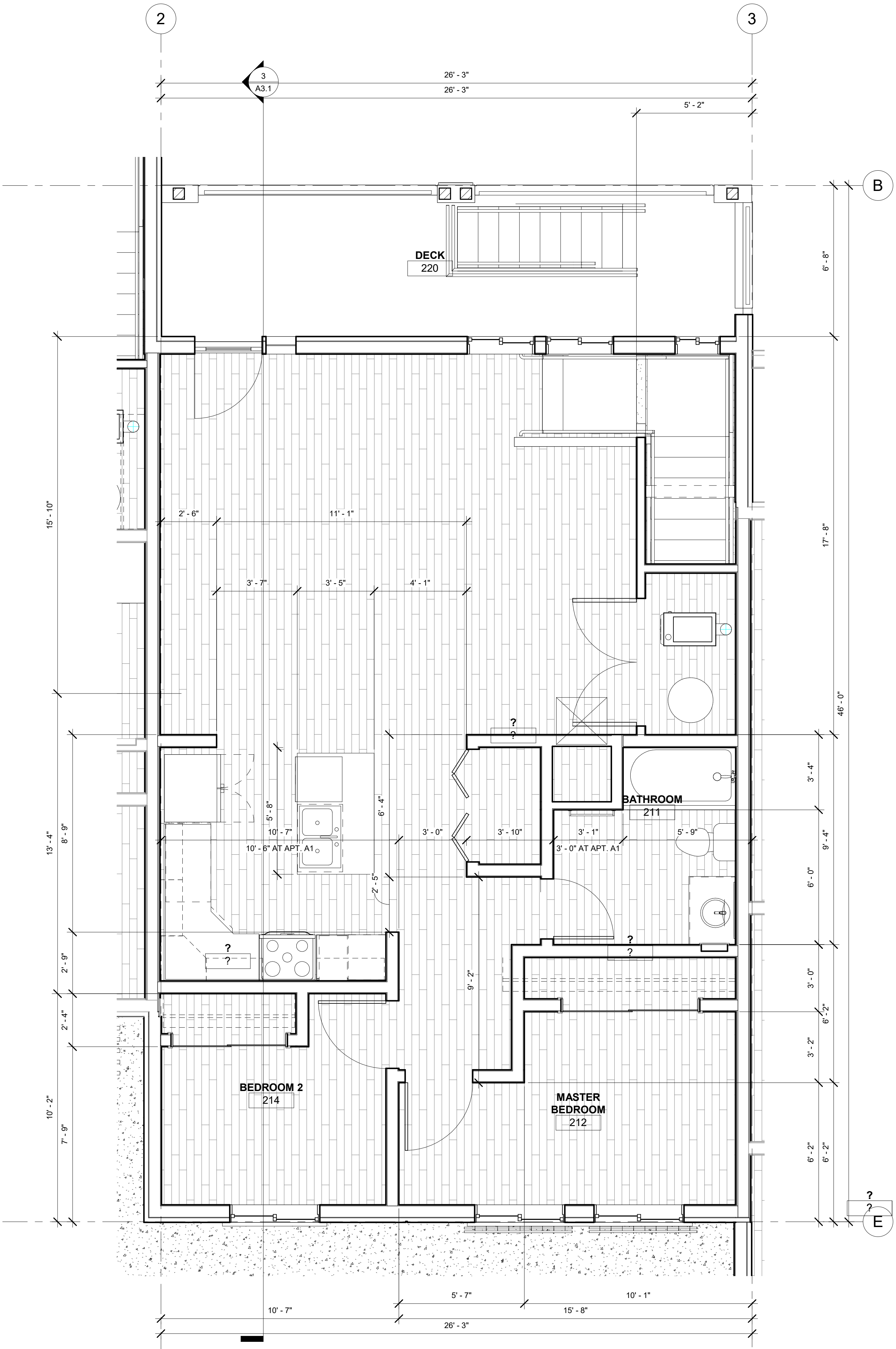


SHEET INFORMATION:  
PROJECT NO.: 316-18-20  
SCALE: 3/8" = 1'-0"  
DATE: August 03, 2021

SHEET TITLE:  
**ENLARGED PLANS -APARTMENT A1 (A2& A3 SIM.)**

SHEET NO.:  
**A2.15**

PLAN CHECK SET RESUBMITTAL



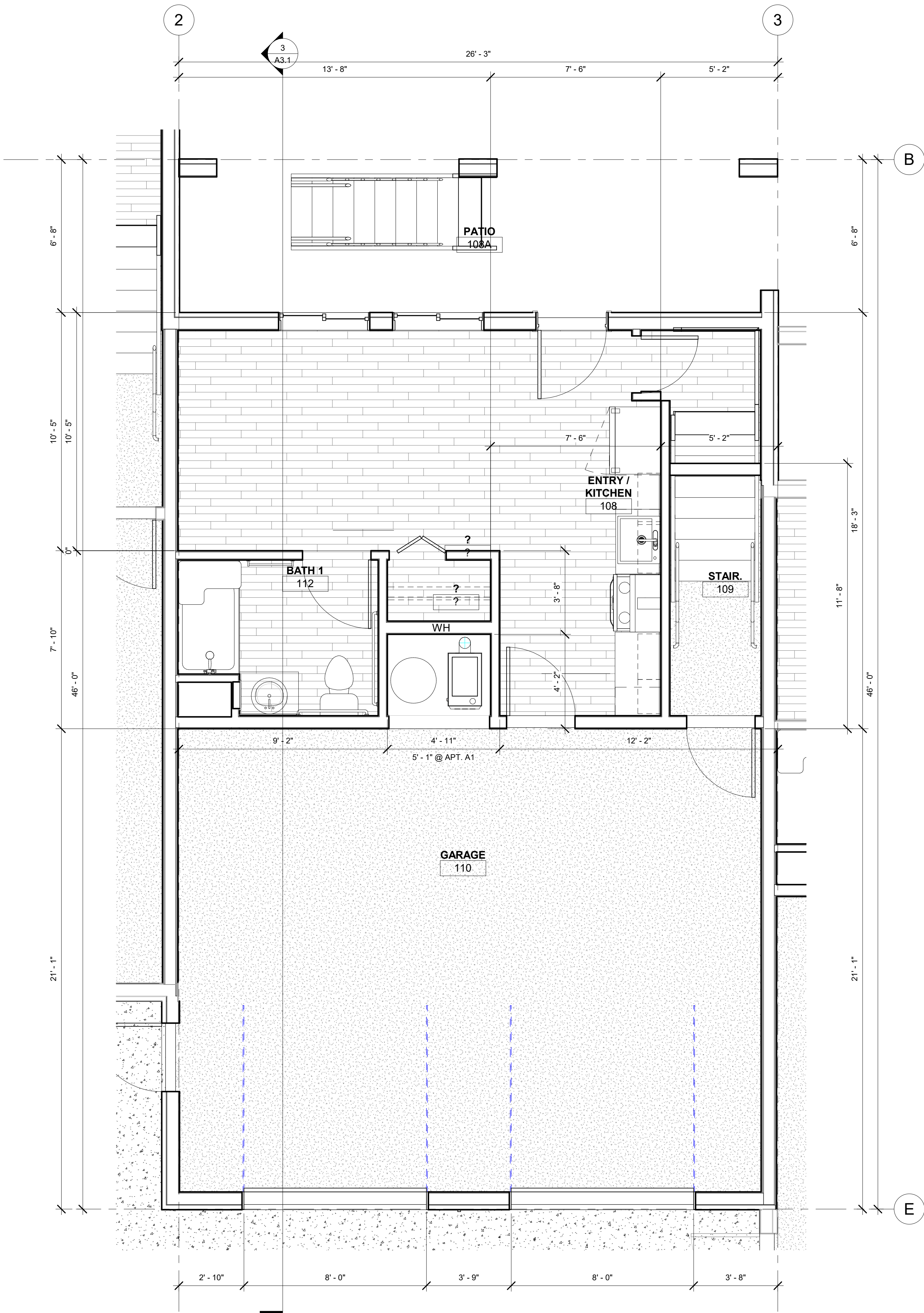
LEVEL 2- APARTMENT 201A (202A &203A SIM.)

SCALE  
3/8" = 1'-0"

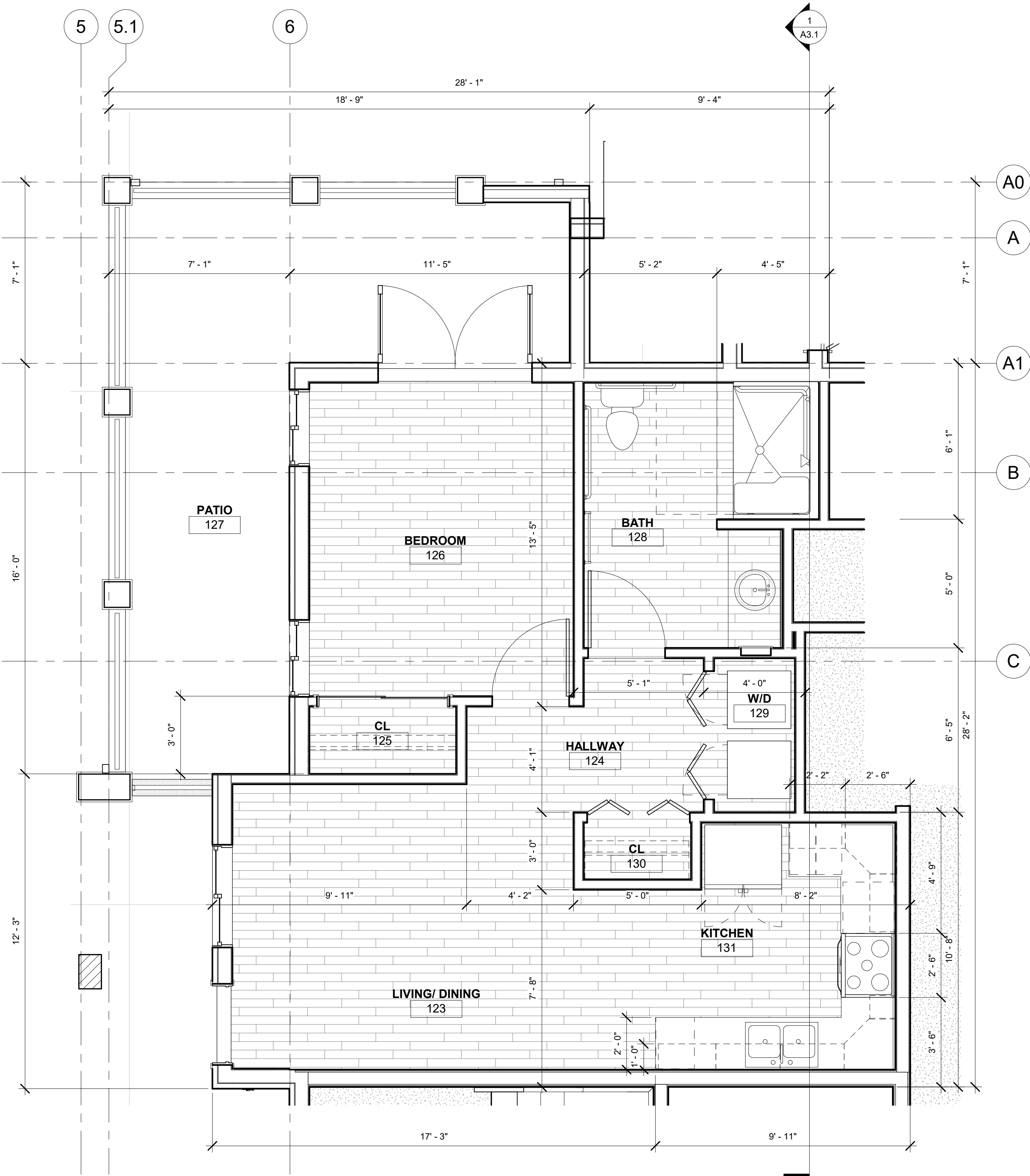
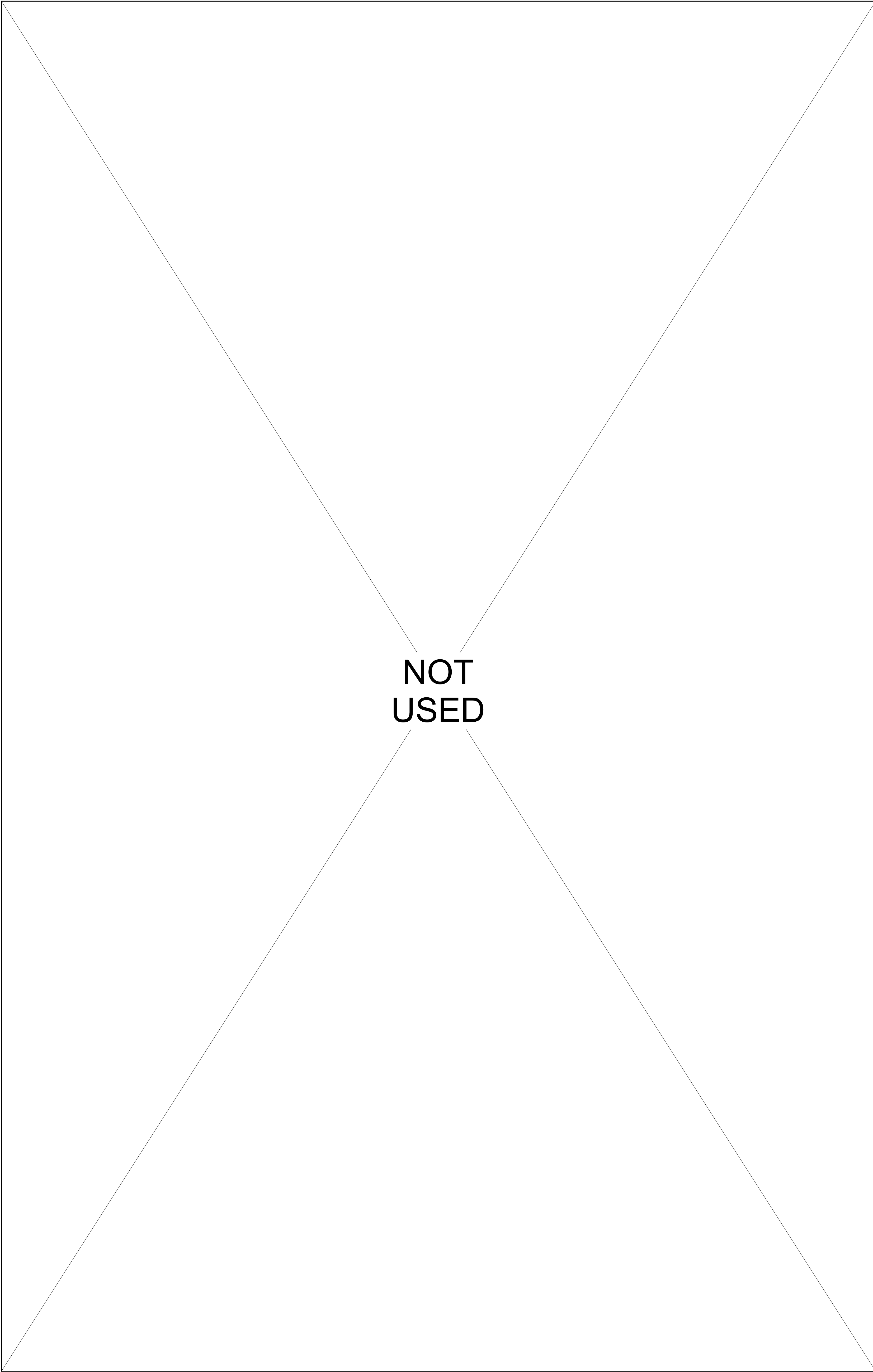
LEVEL 1- APARTMENT 101A (102A & 103A SIM.)

SCALE  
3/8" = 1'-0"

1







LEVEL 1- BLDG.B ADA APARTMENT 101B (102B SIM.)

ADA UNIT 1



42065 Zero drive, Suite A15 Temecula, California 92593-3780  
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CONSULTANTS:

PROJECT FOR:  
**CITY OF LAKE ELSINORE**  
130 SOUTH MAIN ST.  
LAKE ELSIONRE, CA 92530

PROJECT NAME:  
**RILEY APARTMENTS**  
  
200 N. RILEY ST.  
UNITS 1-9  
LAKE ELSINORE, CA 92530

ISSUE INFORMATION:	
DATE:	INFORMATION:
09/01/2020	SCHEMATIC DESIGN
12/09/2020	CUP SET
05/2021	PLAN CHECK SET
08/03/2021	PLAN REVISION 1
04/22/2022	PLAN REVISION 2

REVISIONS		
No	Date	Description
1	7/12/2021	Revision 1



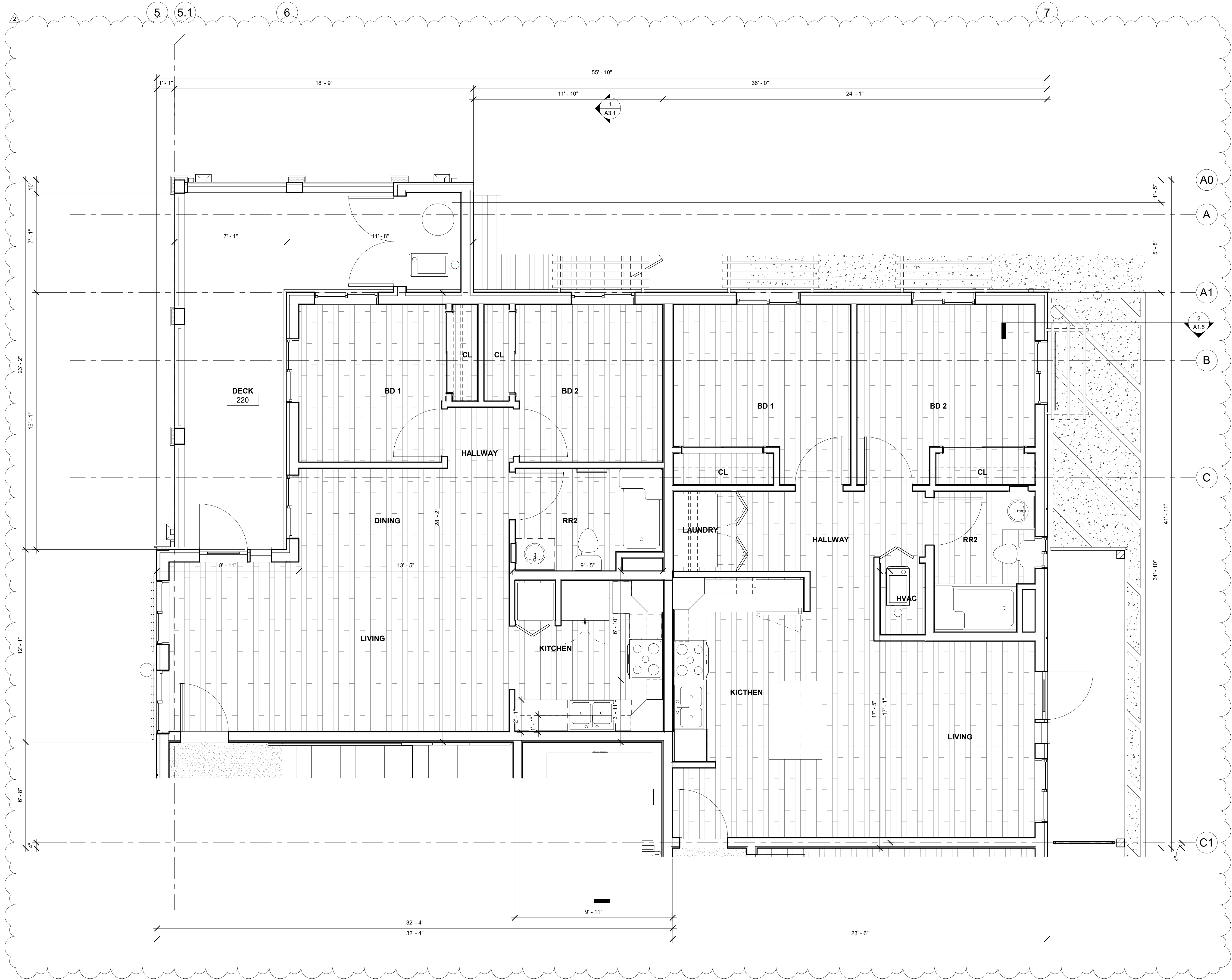
SHEET INFORMATION:  
PROJECT NO.: 316-18-20  
SCALE: 3/8" = 1'-0"  
DATE: August 03, 2021

SHEET TITLE:  
**ENLARGED PLANS - APARTMENT 101B (102B SIM.)**

SHEET NO.:  
**A2.16**

PLAN CHECK SET RESUBMITTAL





KEY NOTE



CONSULTANTS:

PROJECT FOR:  
CITY OF  
LAKE ELSINORE  
130 SOUTH MAIN ST.  
LAKE ELSINORE, CA 92530

PROJECT NAME:

RILEY  
APARTMENTS

200 N. RILEY ST.  
UNITS 1-9  
LAKE ELSINORE, CA 92530

ISSUE INFORMATION:

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04/22/2022	PLAN REVISION 2

REVISIONS

No	Date	Description
1	7/12/2021	Revision 1
2	04/25/2022	Revision 2



SHEET INFORMATION:

PROJECT NO.: 316-18-20  
SCALE: 3/8" = 1'-0"  
DATE: August 03, 2021

SHEET TITLE:

ENL. PLANS -  
APARTMENT  
201B (301B-302B  
SIM.)

SHEET NO.:

A2.17

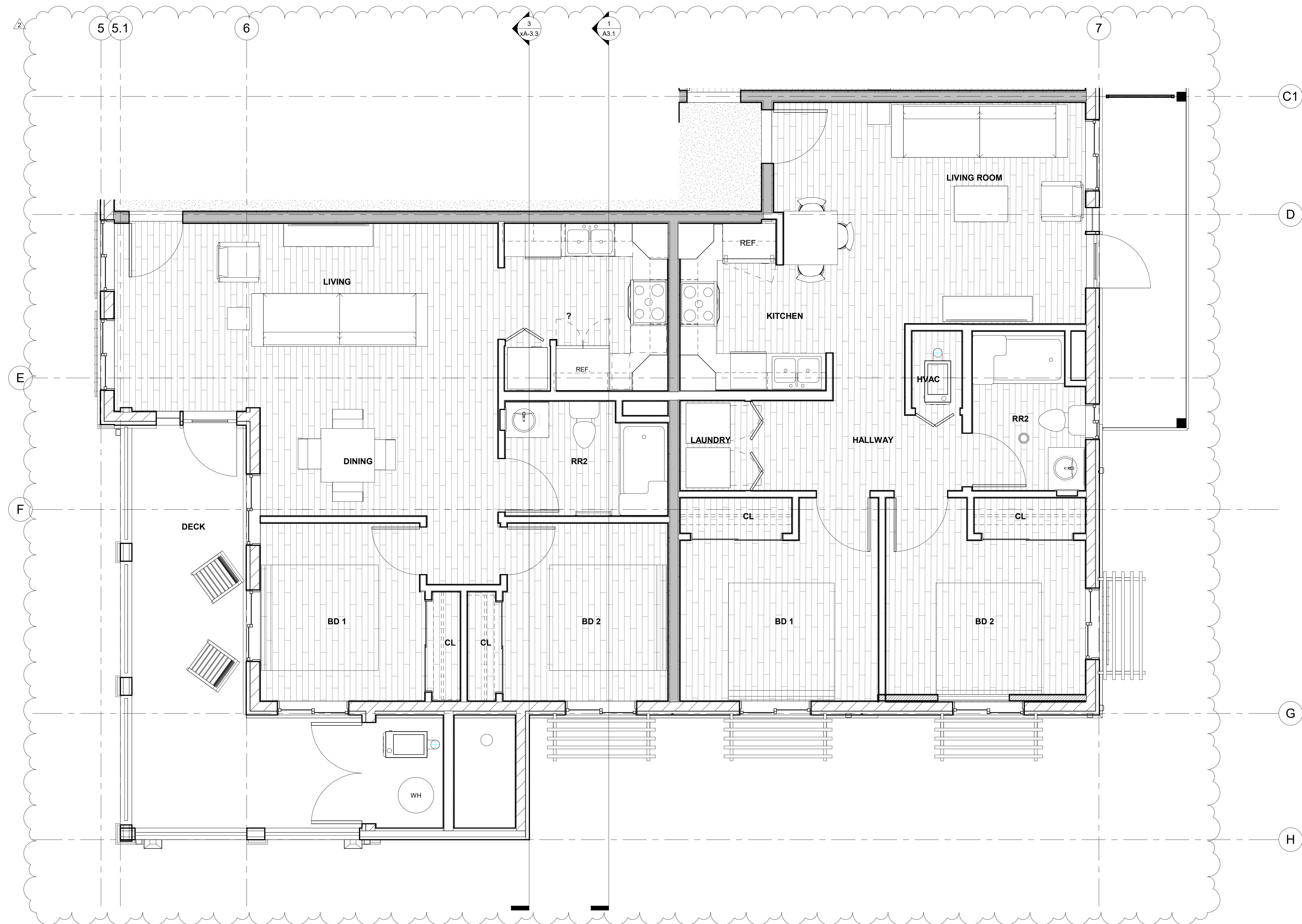
LEVEL 2 & 3- APARTMENT 201B & 202B ADA ADAPTABLE (301B-302B SIM.)

SCALE  
3/8" = 1'-0"

1

PLAN CHECK SET RESUBMITTAL





KEY NOTE



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CONSULTANTS:

PROJECT FOR:  
**CITY OF LAKE ELSINORE**  
130 SOUTH MAIN ST.  
LAKE ELSINORE, CA 92530

PROJECT NAME:

**RILEY APARTMENTS**

200 N. RILEY ST.  
UNITS 1-9  
LAKE ELSINORE, CA 92530

ISSUE INFORMATION:

DATE:	INFORMATION:
09/01/2020	SCHEMATIC DESIGN
12/09/2020	CUP SET
05/2021	PLAN CHECK SET
08/03/2021	PLAN REVISION 1
04/22/2022	PLAN REVISION 2

REVISIONS

No.	Date	Description
2	04/25/2022	Revision 2

SEAL:



SHEET INFORMATION:

PROJECT NO.: 316-18-20  
SCALE: 3/8" = 1'-0"  
DATE: August 03, 2021

ENL. PLANS  
-APARTMENT  
203B & 204B  
(303B & 304B  
SIM.)

SHEET NO.:

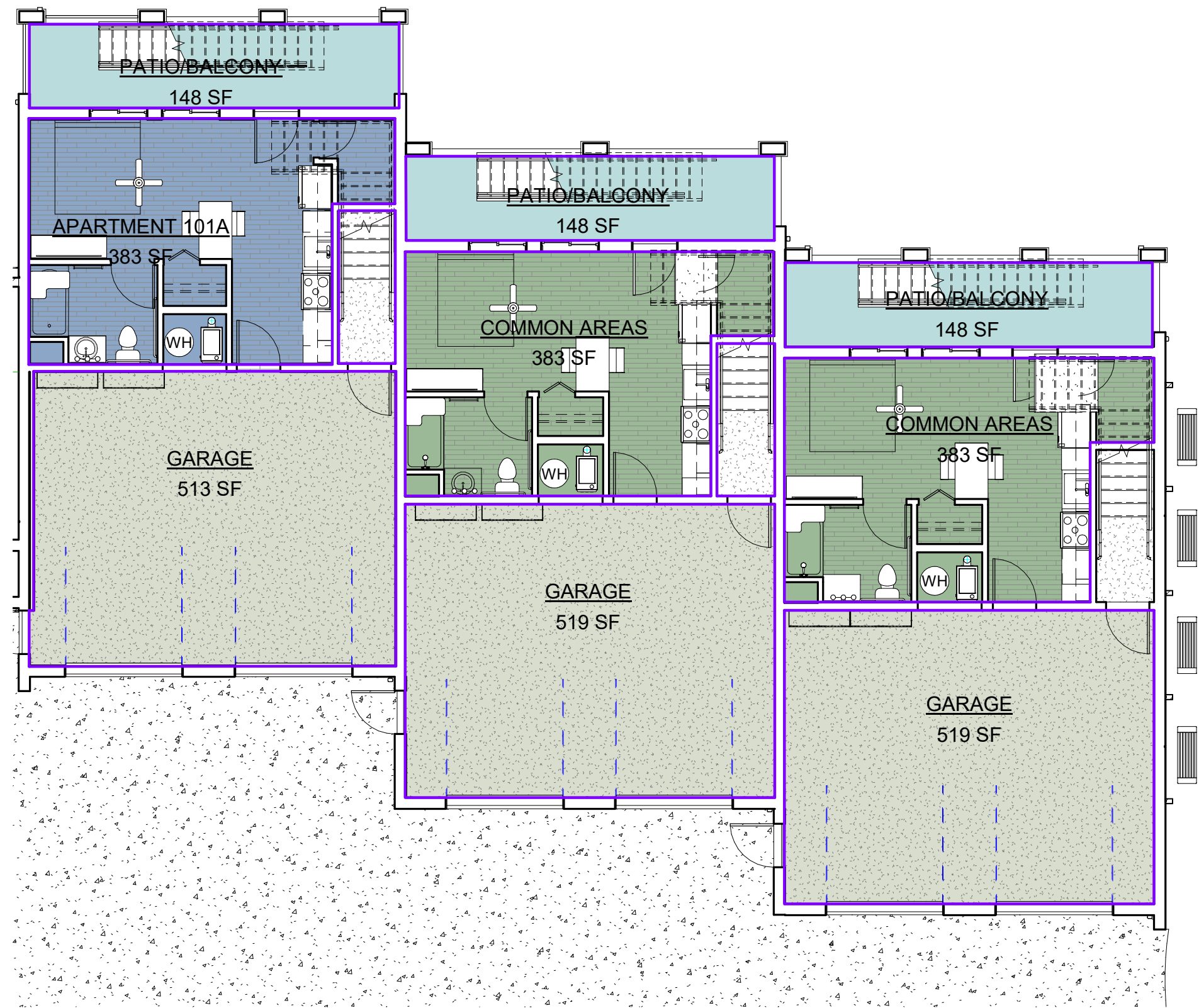
**A2.18**



BUILDING A	
Name	Area
LEVEL 1	
PATIO/BALCONY	148 SF
APARTMENT 101A	383 SF
GARAGE	513 SF
LEVEL 2	
PATIO/BALCONY	150 SF
APARTMENT 201A	964 SF

#### Rentable Area Legend

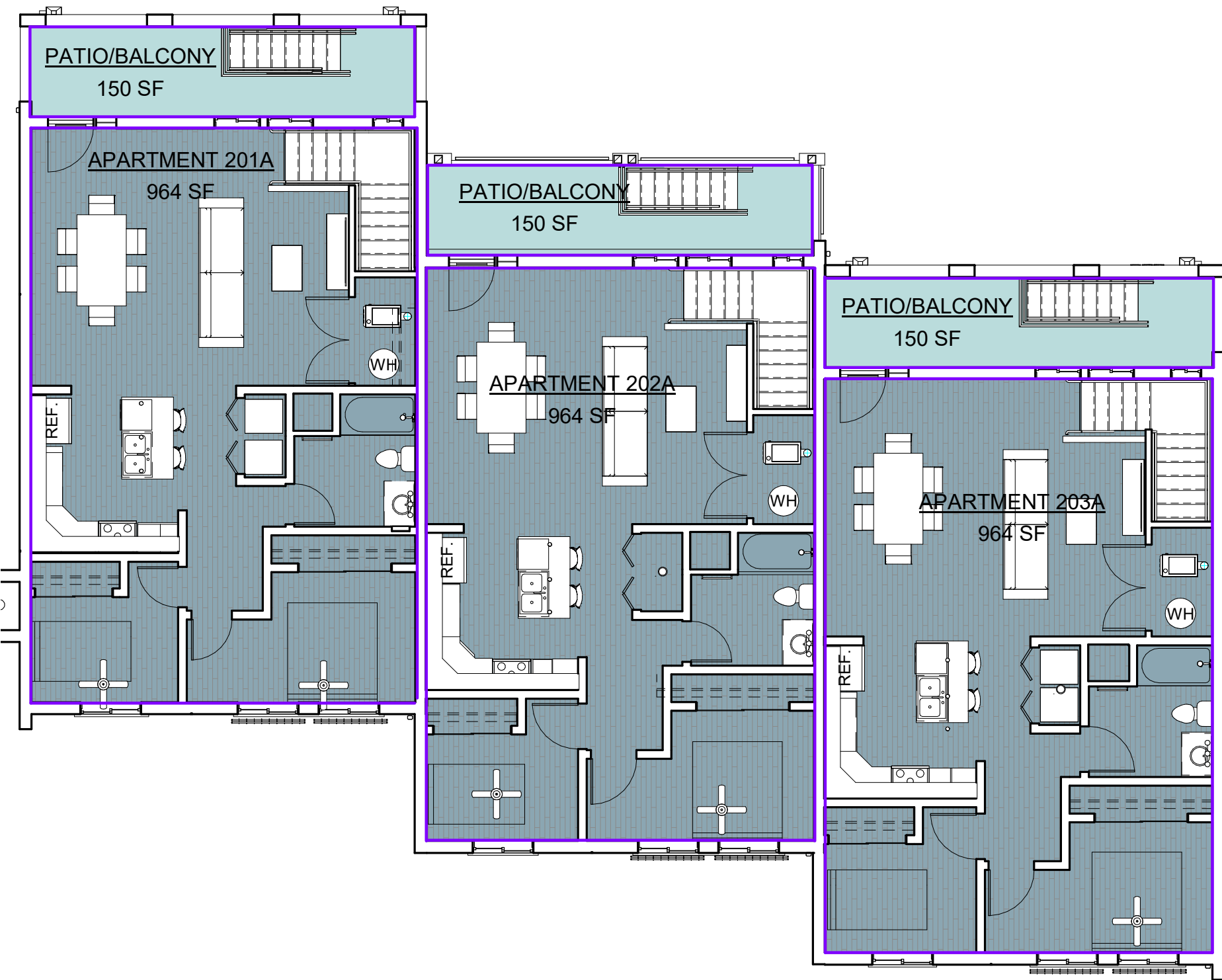
- APARTMENT 101A
- COMMON AREAS
- GARAGE
- PATIO/BALCONY



BLDG A- LEVEL 1 SCALE 1/8" = 1'-0" 1

#### Rentable Area Legend

- APARTMENT 201A
- APARTMENT 202A
- APARTMENT 203A
- PATIO/BALCONY

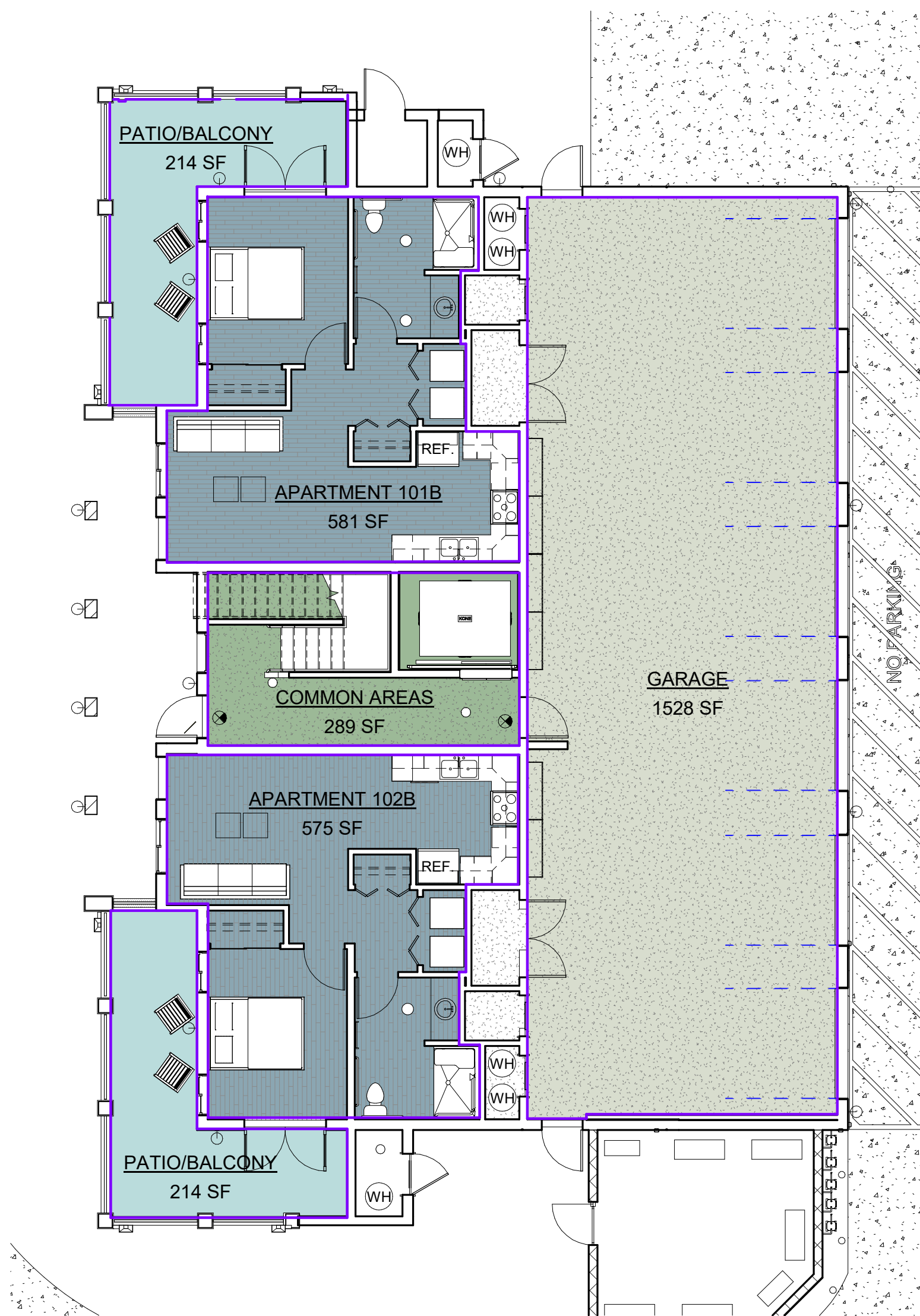


BLDG A- LEVEL 2 SCALE 1/8" = 1'-0" 2

BUILDING B	
Name	Area
LEVEL 1	
PATIO/BALCONY	214 SF
COMMON AREAS	289 SF
APARTMENT 101B	581 SF
GARAGE	1528 SF
LEVEL 2 (LEVEL 3 SIMILAR)	
COMMON AREAS	427 SF
PATIO/BALCONY	214 SF
APARTMENT 201B	697 SF
APARTMENT 202B	763 SF
APARTMENT 203B	719 SF
PATIO/BALCONY	105 SF
PATIO/BALCONY	105 SF

#### Rentable Area Legend

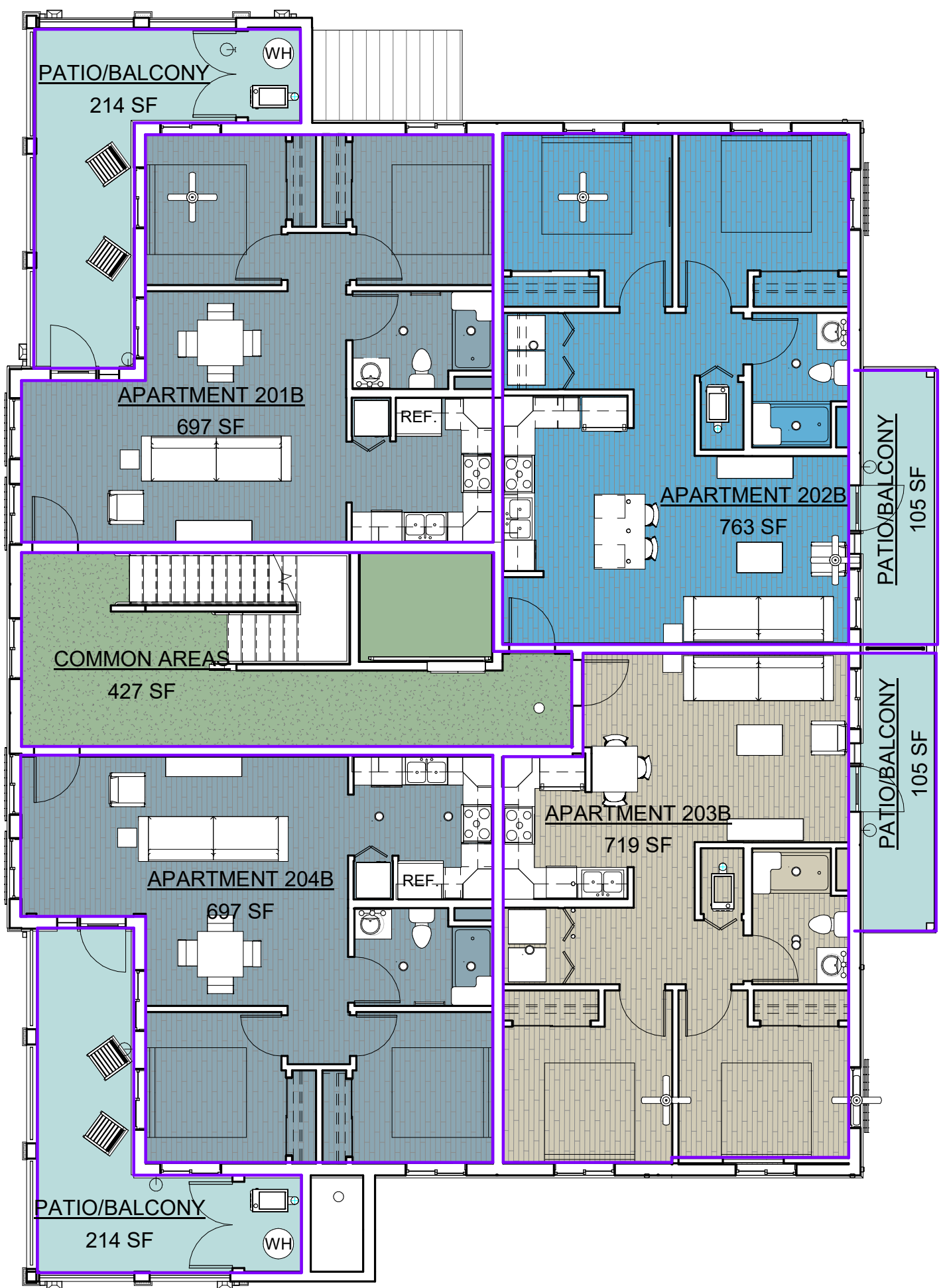
- APARTMENT 101B
- APARTMENT 102B
- COMMON AREAS
- GARAGE
- PATIO/BALCONY



BLDG B - LEVEL 1 SCALE 1/8" = 1'-0" 3

#### Rentable Area Legend

- APARTMENT 201B
- APARTMENT 202B
- APARTMENT 203B
- APARTMENT 204B
- COMMON AREAS
- PATIO/BALCONY



BLDG B - LEVEL 2 & 3 (LEVEL 3 - SIMILAR T LEVEL 2) SCALE 1/8" = 1'-0" 4

#### BUILDING A

LEVEL 1 (3) APARTMENTS - 101A, 102A, 103A (1 BD, 1 BA EA)

APARTMENT- ADA ADAPTABLE PATIO	384 SF
	148 SF

LEVEL 2 (3) APARTMENTS 201A, 202A, 203 A (2BD, 1BA EA)

APARTMENT PATIO / BALCONY	953 SF
(2) GARAGE PARKING SPACES 1EA	150 SF
	507 SF

**BUILDING A OVERALL TOTAL: 6,198 SF**

#### BUILDING B (LEVEL 1)

(2) APARTMENTS 101B & 102B (1 BD, 1 BA EA) (1) EXT. PARKING SPACE EA)

APARTMENT - ADA UNITS PATIO	581 SF
	214 SF
COMMON/ SERVICE AREAS BUILDING B GARAGE	289 SF
	1,528 SF

**BUILDING B LEVEL 1 TOTAL: 3,602 SF**

#### BUILDING B (LEVEL 2)

(2) APARTMENTS 201B, 202B, & 203B (2 BD, 1 BA EA) (1) GARAGE PARKING SPACE EA)

APARTMENT: 201B PATIO	697 SF
	214 SF
202B PATIO	763 SF
	105 SF
203B PATIO	719 SF
	105 SF

204B PATIO	697 SF
	214 SF

COMMON/ SERVICE AREAS 427 SF

**BUILDING B LEVEL 2 TOTAL: 3,786 SF**

#### BUILDING B (LEVEL 3)

(2) APARTMENTS 201B, 202B, & 203B (2 BD, 1 BA EA) (1) GARAGE PARKING SPACE EA)

APARTMENT: 201B PATIO	697 SF
	227 SF
202B PATIO	763 SF
	105 SF
203B PATIO	719 SF
	105 SF
204B PATIO	697 SF
	227 SF

COMMON/ SERVICE AREAS 427 SF

**BUILDING B LEVEL 3 TOTAL: 3,786 SF**

**BUILDING B OVERALL TOTAL: 11,174 SF**

**BUILDING A & B OVERALL TOTAL: 17,372 SF**



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#### CONSULTANTS:

#### PROJECT FOR:

CITY OF LAKE ELSINORE  
130 SOUTH MAIN ST.  
LAKE ELSINORE, CA 92530

#### PROJECT NAME:

#### RILEY APARTMENTS

200 N. RILEY ST.  
UNITS 1-9  
LAKE ELSINORE, CA 92530

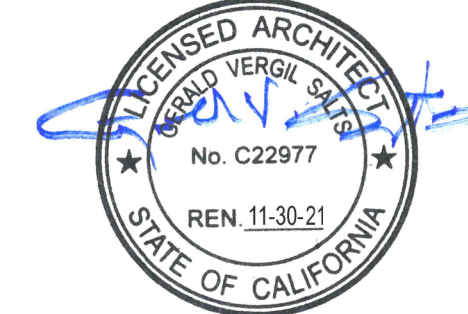
#### ISSUE INFORMATION:

DATE:	INFORMATION:
09/01/2020	SCHEMATIC DESIGN
12/09/2020	CUP SET
05/2021	PLAN CHECK SET
08/03/2021	PLAN REVISION 1
04/22/2022	PLAN REVISION 2

#### REVISIONS

No.	Date	Description

#### SEAL:



#### SHEET INFORMATION:

PROJECT NO.: 316-18-20  
SCALE: 1/8" = 1'-0"  
DATE: August 03, 2021

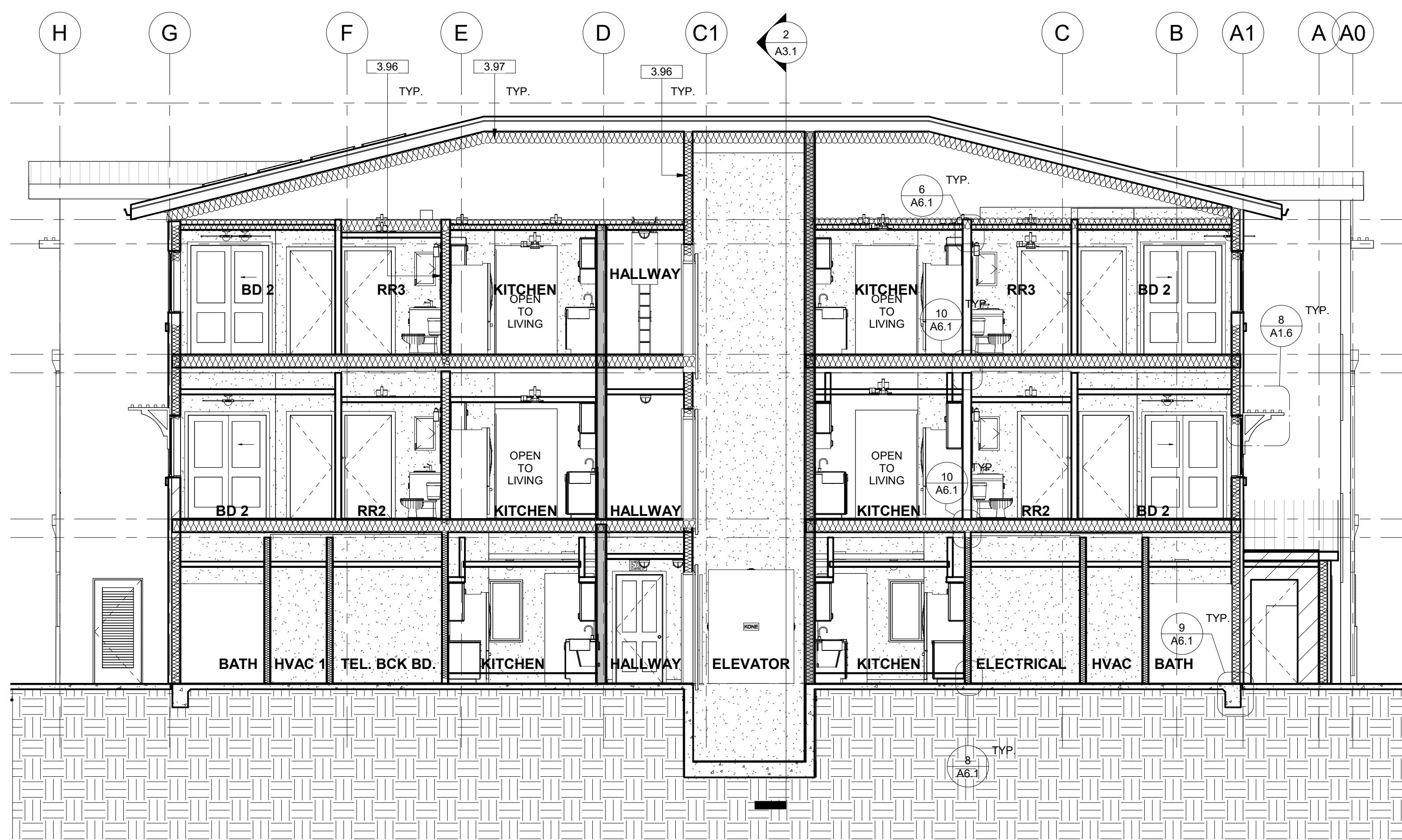
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#### APARTMENT TYPES

#### SHEET NO.:

A2.19

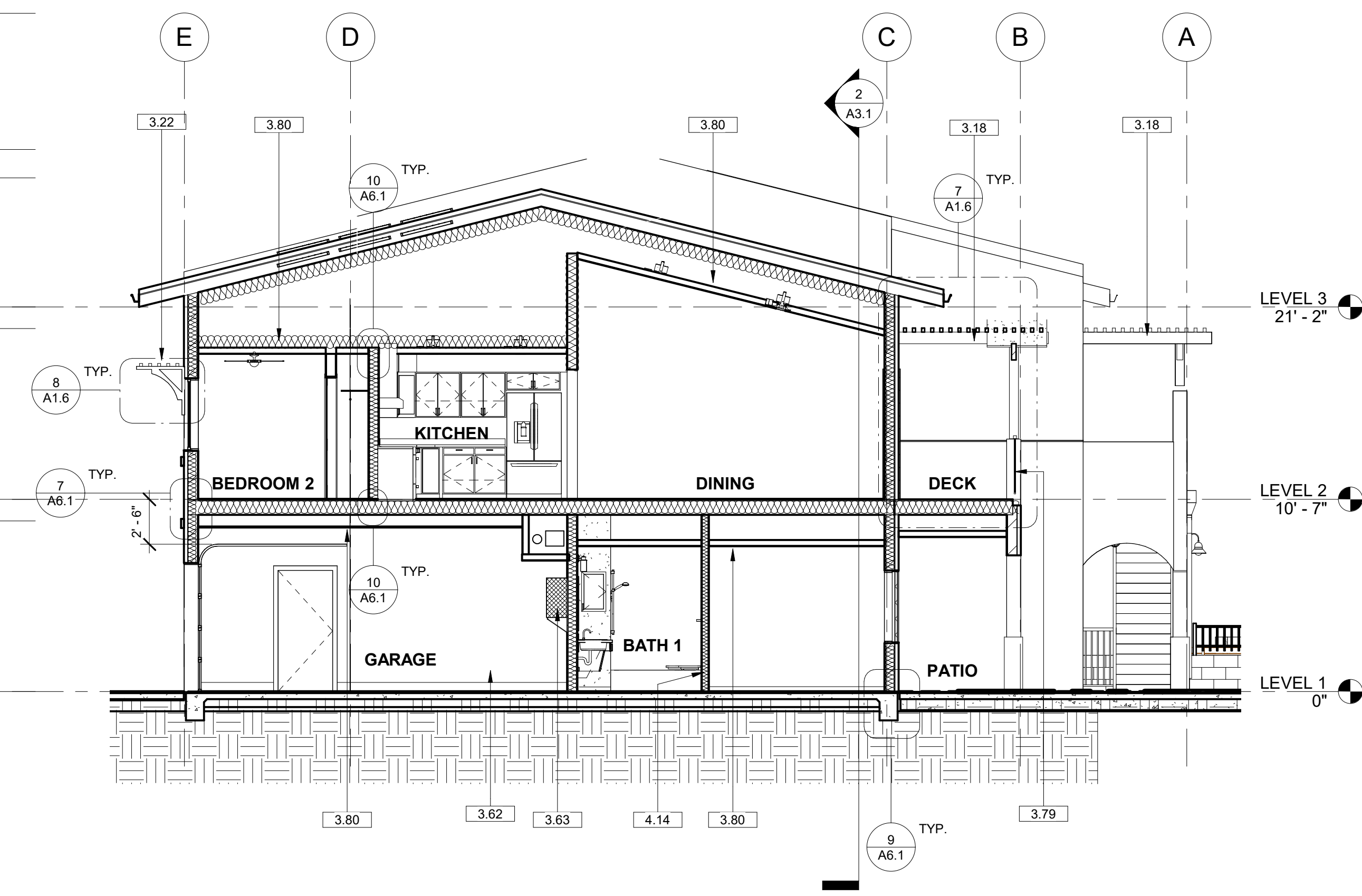




BLDG. B NORTH / SOUTH SECTION

SCALE  
3/16" = 1'-0"

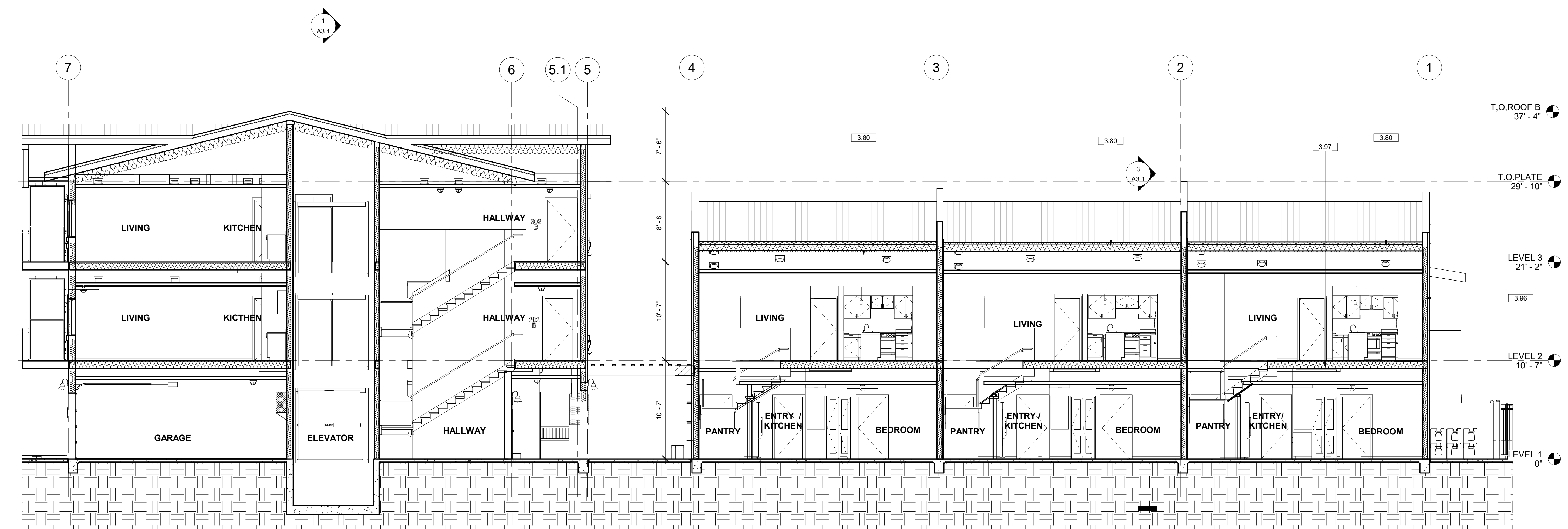
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BLDG. A NORTH / SOUTH SECTION

SCALE  
3/16" = 1'-0"

3



BLDG. A & B WEST / EAST SECTION

SCALE  
3/16" = 1'-0"

2

KEY NOTE

- 3.18 ALUMAWOOD TRELLIS SPANISH BROWN (DEFERRED SUBMITTAL).
- 3.22 ALUMAWOOD TRELLIS WINDOW VISOR.
- 3.62 6" CONCRETE CURB.
- 3.63 GARAGE WIRE MESH WALL MOUNTED STORAGE LOCKERS.
- 3.79 METAL GUARDRAIL.
- 3.80 2x WOOD STUD FRAMING CEILING WITH GYP. BD.
- 3.96 R21 BATT INSULATION.
- 3.97 R38 BATT INSULATION.
- 4.14 BATT SOUND INSULATION, ALL INTERIOR WALLS (TYP).



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CONSULTANTS:

PROJECT FOR:  
CITY OF  
LAKE ELSINORE  
130 SOUTH MAIN ST.  
LAKE ELSINORE, CA 92530

PROJECT NAME:

RILEY  
APARTMENTS

200 N. RILEY ST.  
UNITS 1-9  
LAKE ELSINORE, CA 92530

ISSUE INFORMATION:

DATE:	INFORMATION:
09/01/2020	SCHEMATIC DESIGN
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04/22/2022	PLAN REVISION 2

REVISIONS

No.	Date	Description



SHEET INFORMATION:

PROJECT NO.: 316-18-20  
SCALE: 3/16" = 1'-0"  
DATE: August 03, 2021

SHEET TITLE:

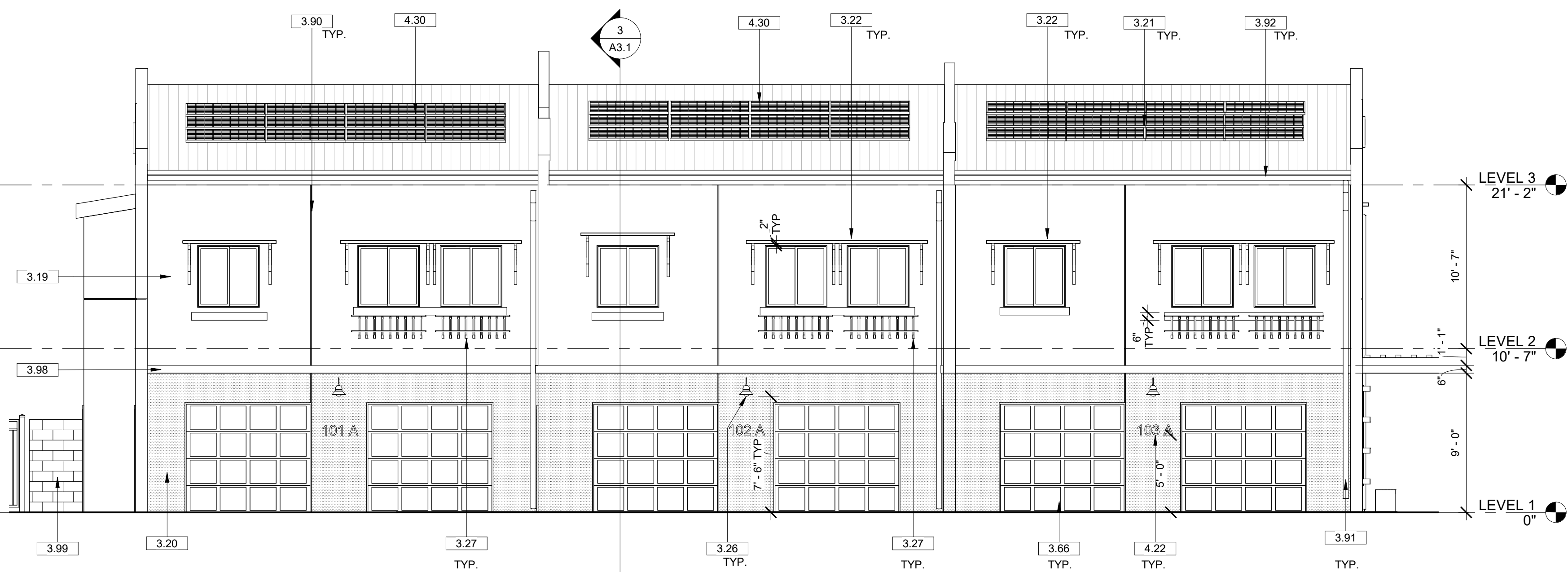
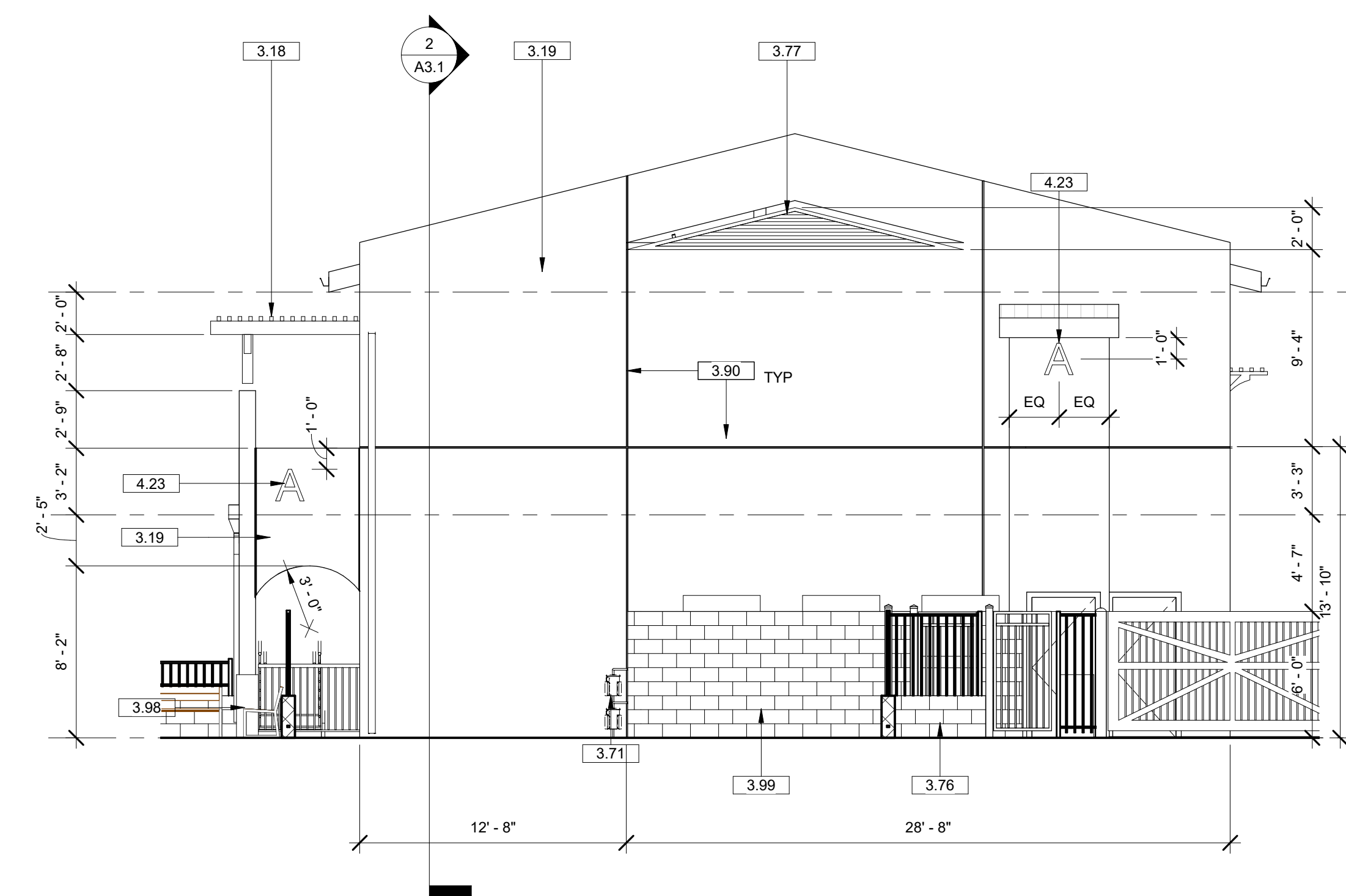
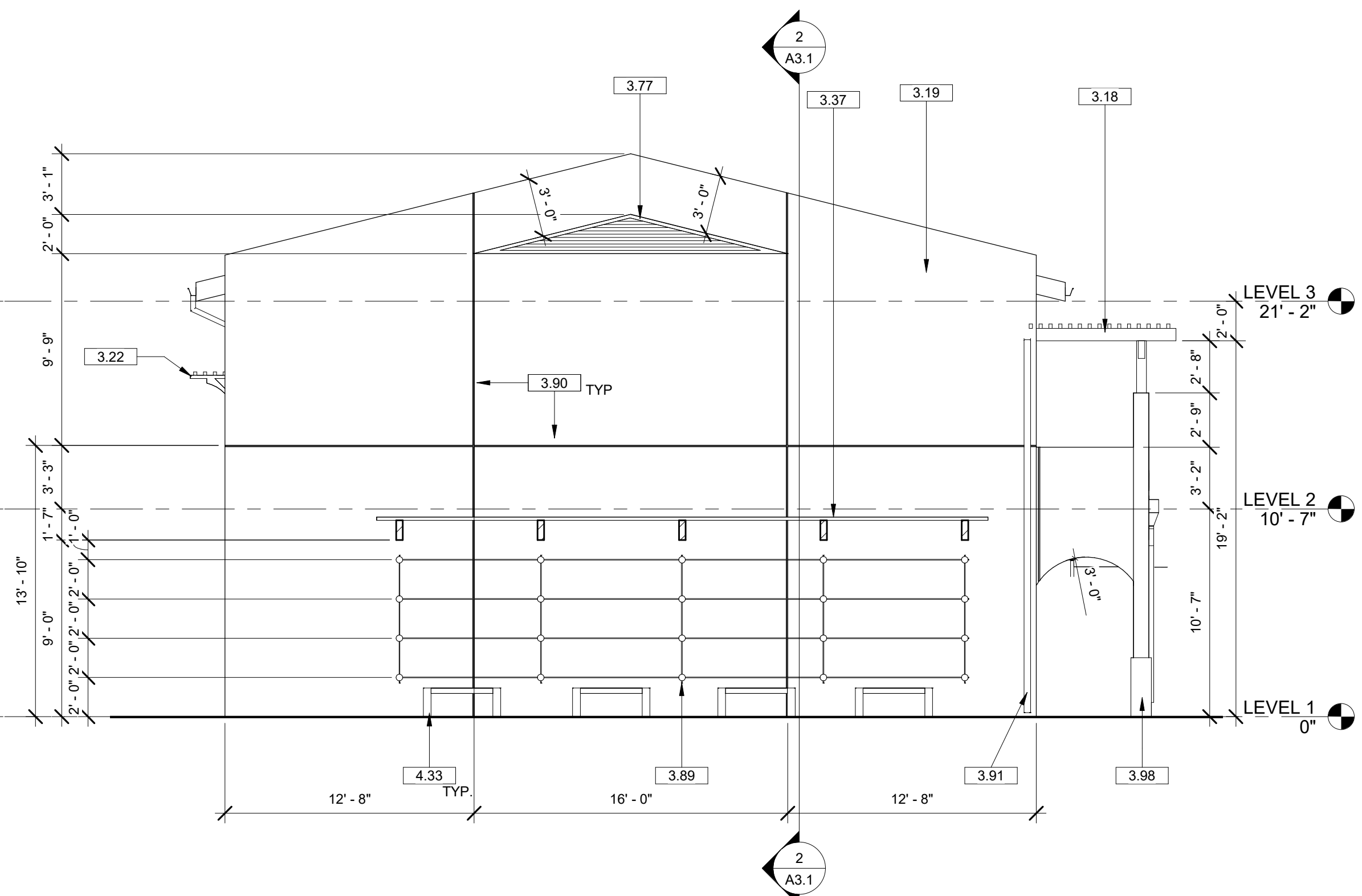
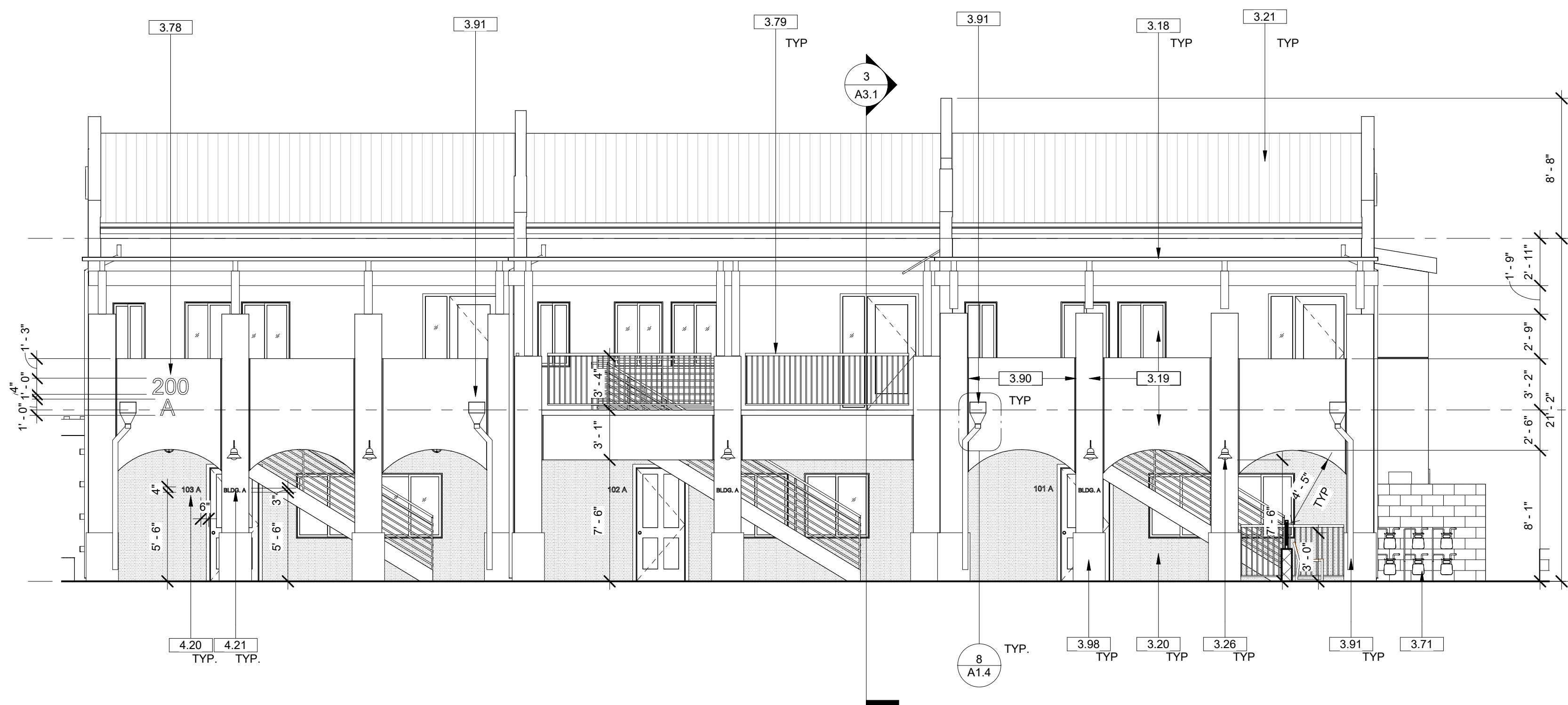
OVERALL  
BUILDING  
SECTIONS

SHEET NO.:

A3.1

PLAN CHECK SET RESUBMITTAL





- | KEY NOTE |  |
|----------|--|
| 3.18     | ALUMAWOOD TRELLIS SPANISH BROWN (DEFERRED SUBMITTAL).                              |
| 3.19     | CEMENT PLASTER WALL, FIELD PAINT HABRA X-81 OATMEAL.                               |
| 3.20     | CEMENT PLASTER WALL, BASE ACCENT PAINT LA HABRA X-820 SILVERADO.                   |
| 3.21     | EAGLE ROOFING TILE MALIBU COLLECTION, ALBAQUERQUE BLEND MANUFACTURER NO. SCM 8830. |
| 3.22     | ALUMAWOOD TRELLIS WINDOW VISOR.  |
| 3.26     | GOOSENECK WALL LIGHTS, SEE ELECTRICAL.   |
| 3.27     | EURO CLASSIC HAYRACK PLANTER & NATURAL CUP WINNER.                                 |
| 3.37     | ALUMINUM PLANT TRELLIS.  |
| 3.66     | GARAGE DOOR.   |
| 3.71     | GAS METER, SEE PLUMBING DWGS.  |
| 3.76     | METAL PERSONAL GATE & FENCE.   |
| 3.77     | METAL GABLE LOUVER VENT, PAINT.  |
| 3.78     | ADDRESS CAST METAL LETTER SIGN 12"HIGH WITH BRAILLE.                               |
| 3.79     | METAL GUARDRAIL.   |
| 3.89     | CANLE TRELLIS SYSTEM FOR CLIMBING PLANTS.  |
| 3.90     | EXPANSION JOINT  |
| 3.91     | DOWNSPOUT & SCUPPER  |
| 3.92     | RAIN GUTTER  |
| 3.98     | CEMENT PLASTER TRIM AND COLUMN BASE ACCENT PAINT LA HABRA X-434 FALLBROOK.         |
| 3.99     | 6"x8"x16" SLUMP BLOCK MECHANICAL YARD WALL.  |
| 4.20     | CAST METAL LETTERS APARTMENT UNIT SIGN 4"HIGH WITH TACTILE SIGNAGE BELOW.          |
| 4.21     | BUILDING DESIGNATION ON COLUMN, CAST METAL LETTER SIGN 3"HIGH.                     |
| 4.22     | CAST METAL LETTER SIGN 6"HIGH.   |
| 4.23     | CAST METAL LETTER SIGN 18"HIGH.  |
| 4.30     | PHOTOVOLTAIC SYSTEM, DEFERRED SUBMITTAL.   |
| 4.33     | (N) PARK BENCH (NIC).  |



CONSULTANTS:

PROJECT FOR:  
CITY OF  
LAKE ELSINORE  
130 SOUTH MAIN ST.  
LAKE ELSINORE, CA 92530

PROJECT NAME:

RILEY  
APARTMENTS

200 N. RILEY ST.  
UNITS 1-9  
LAKE ELSINORE, CA 92530

ISSUE INFORMATION:

DATE:	INFORMATION:
01/01/2020	SCHEMATIC DESIGN
09/09/2020	CUP SET
01/02/2021	PLAN CHECK SET
03/03/2021	PLAN REVISION 1
12/22/2022	PLAN REVISION 2

## REVISIONS

[illegible]

SEAL:



SHEET INFORMATION:

PROJECT NO.: 316-18-20  
SCALE: 3/16" = 1'-0"  
DATE: August 03, 2021

SHEET TITLE:

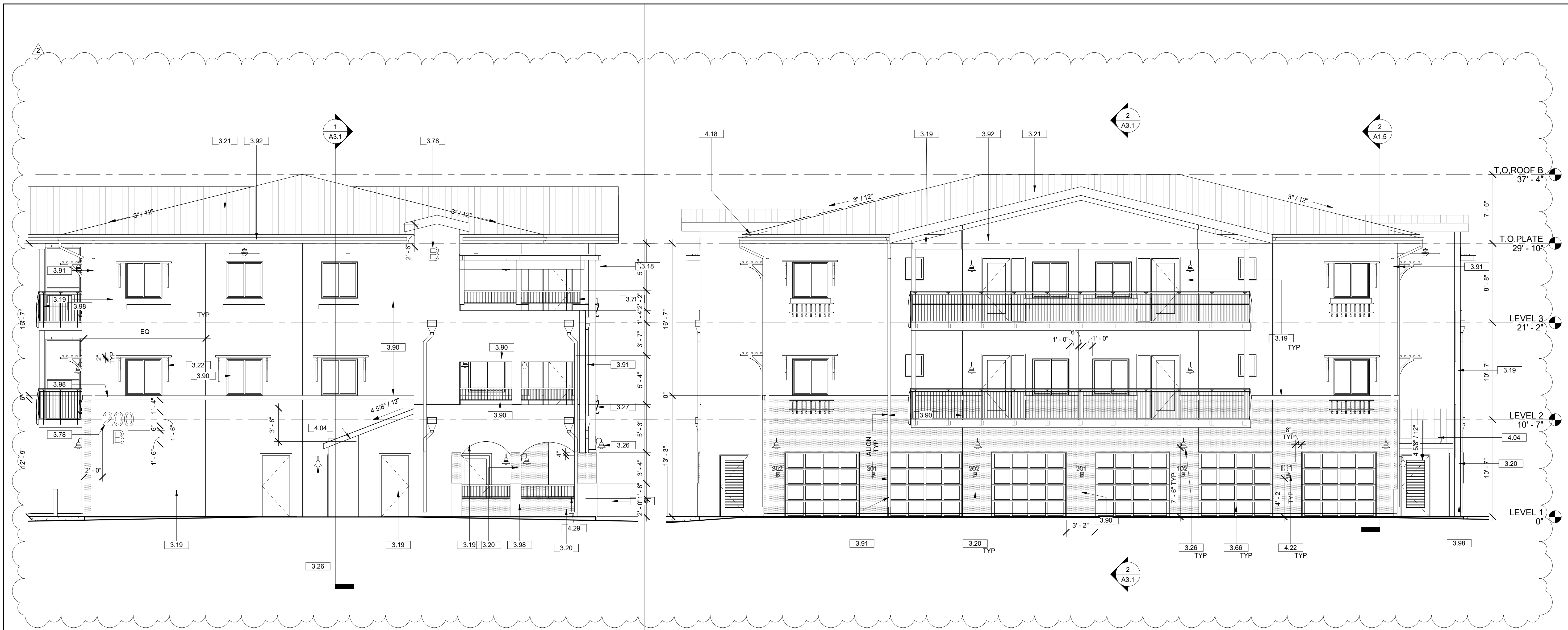
EXTERIOR  
ELEVATIONS  
BLDG A

SHEET NO.:

### A3.2

PLAN CHECK SET RESUBMITTAL





BLDG. B WEST ELEVATION

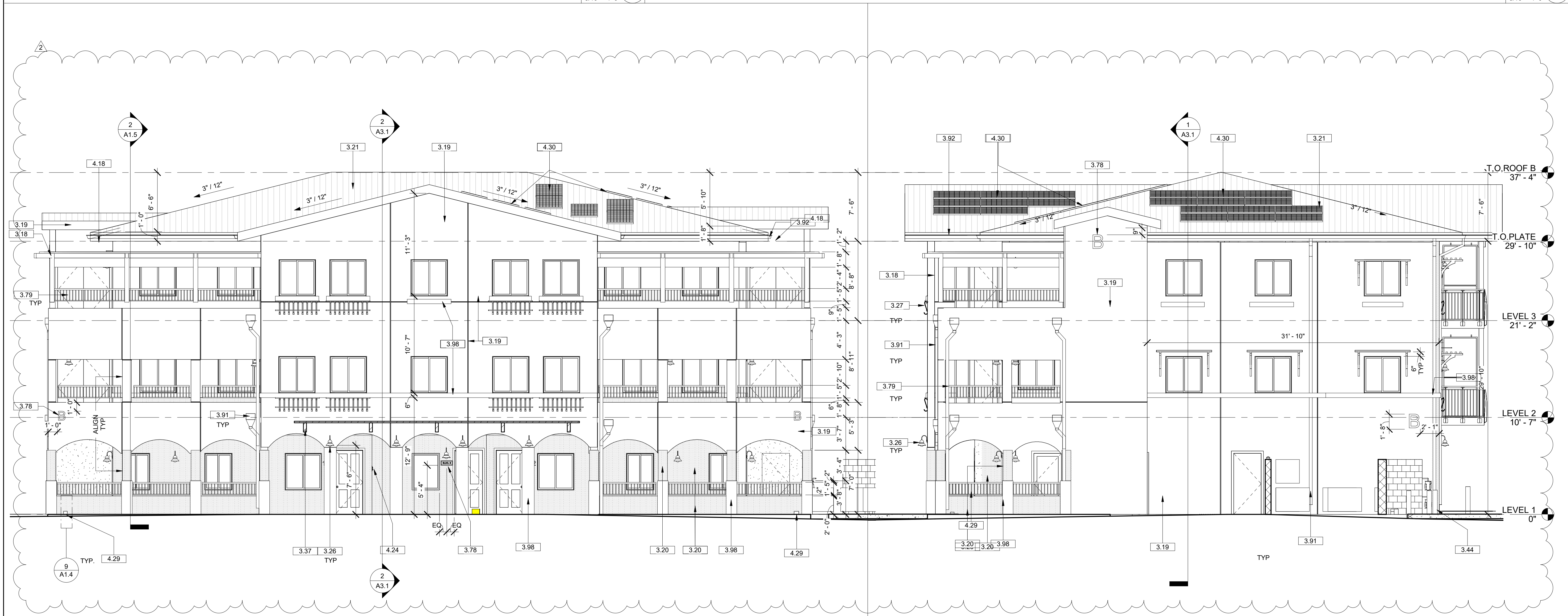
SCALE  
3/16" = 1'-0"

4

BLDG. B NORTH ELEVATION

SCALE  
3/16" = 1'-0"

1



BLDG. B SOUTH ELEVATION

SCALE  
3/16" = 1'-0"

3

BLDG. B EAST ELEVATION

SCALE  
3/16" = 1'-0"

2

KEY NOTE

- 3.18 ALUMAWOOD TRELLIS SPANISH BROWN (DEFERRED SUBMITTAL).
- 3.19 CEMENT PLASTER WALL, FIELD PAINT LA HABRA X-81 OATMEAL.
- 3.20 CEMENT PLASTER WALL, BASE ACCENT PAINT LA HABRA X-820 SILVERADO.
- 3.21 EAGLE ROOFING TILE MALIBU COLLECTION, ALBAQUERQUE BLEND MANUFACTURER NO. SCM 8830.
- 3.22 ALUMAWOOD TRELLIS WINDOW VISOR.
- 3.26 GOOSENECK WALL LIGHTS, SEE ELECTRICAL.
- 3.27 EURO CLASSIC HAYRACK PLANTER & NATURAL COCO LINER.
- 3.37 ALUMINUM PLANT TRELLIS.
- 3.44 BOLLARD PAINTED OSHA YELLOW WITH REFLECTIVE TAPE. SEE DETAIL 5/A1.4.
- 3.66 GARAGE DOOR.
- 3.78 ADDRESS CAST METAL LETTER SIGN 12"HIGH WITH BRAILE.
- 3.79 METAL GUARDRAIL.
- 3.90 EXPANSION JOINT.
- 3.91 DOWNSPOUT & SCUPPER.
- 3.92 RAIN GUTTER.
- 3.98 CEMENT PLASTER TRIM AND COLUMN BASE ACCENT PAINT LA HABRA X-434 FALLBROOK.
- 4.04 CEMENT PLASTER SLOPED WALL, FIELD PAINT LA HABRA X-81 OATMEAL.
- 4.18 4" HIGH FLASHING.
- 4.22 CAST METAL LETTER SIGN 6"HIGH.
- 4.24 KNOX BOX.
- 4.29 CURB OPENING FOR DRAINAGE 4"H X 6"W.
- 4.30 PHOTOVOLTAIC SYSTEM. DEFERRED SUBMITTAL.



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CONSULTANTS:

PROJECT FOR:

CITY OF  
LAKE ELSINORE  
130 SOUTH MAIN ST.  
LAKE ELSINORE, CA 92530

PROJECT NAME:

RILEY  
APARTMENTS

200 N. RILEY ST.  
UNITS 1-9  
LAKE ELSINORE, CA 92530

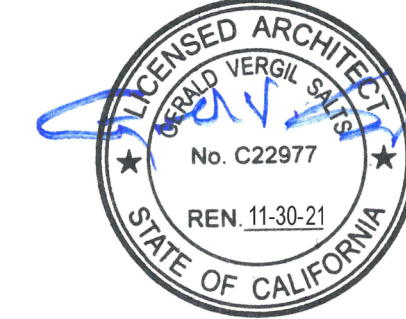
ISSUE INFORMATION:

DATE:	INFORMATION:
09/01/2020	SCHEMATIC DESIGN
12/09/2020	CUP SET
05/2021	PLAN CHECK SET
08/03/2021	PLAN REVISION 1
04/22/2022	PLAN REVISION 2

REVISIONS

No	Date	Description
1	7/12/2021	Revision 1
2	04/25/2022	Revision 2

SEAL:



SHEET INFORMATION:

PROJECT NO.: 316-18-20  
SCALE: 3/16" = 1'-0"  
DATE: August 03, 2021

SHEET TITLE:

EXTERIOR  
ELEVATIONS  
BLDG B

SHEET NO.:

A3.3

PLAN CHECK SET RESUBMITTAL





3D View 6 | SCALE 4



3D View 5 | SCALE 3



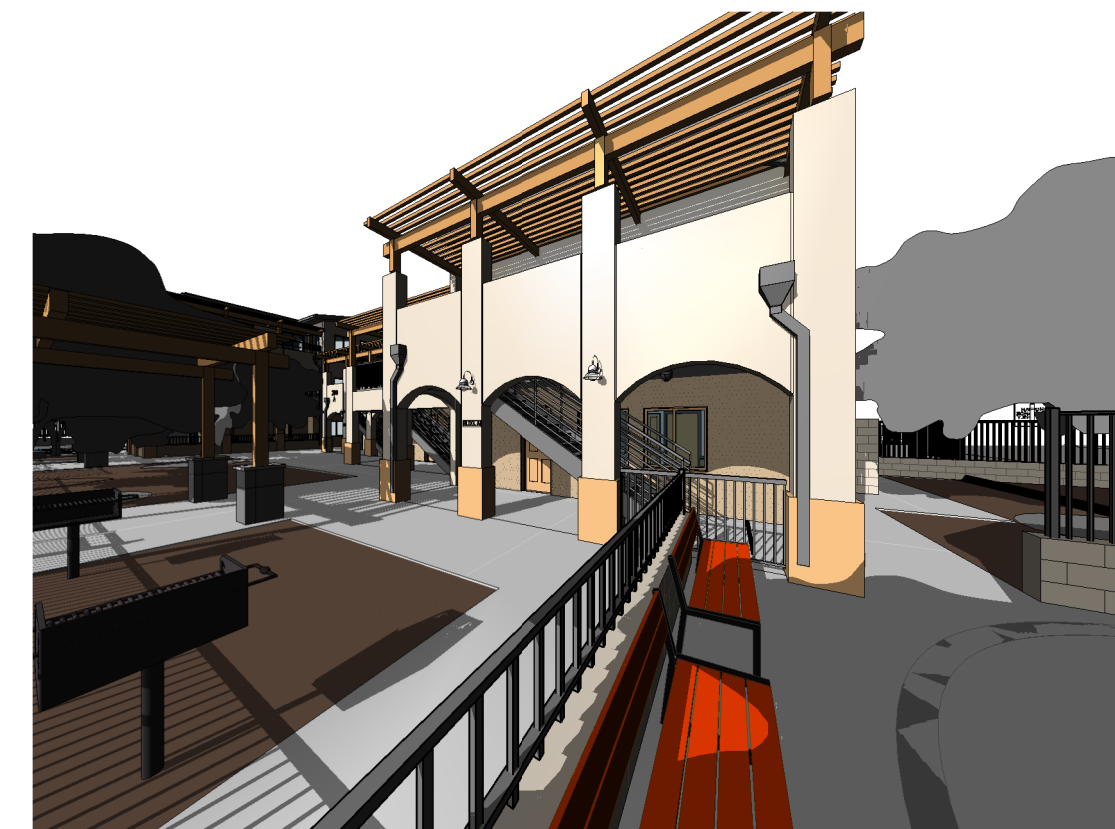
3D View 4 | SCALE 2



3D View 3 | SCALE 1



3D View 10 | SCALE 8



3D View 8 | SCALE 6



3D View 7 | SCALE 5

## BUILDING A - PERSPECTIVES



3D View 13 | SCALE 11



3D View 12 | SCALE 10



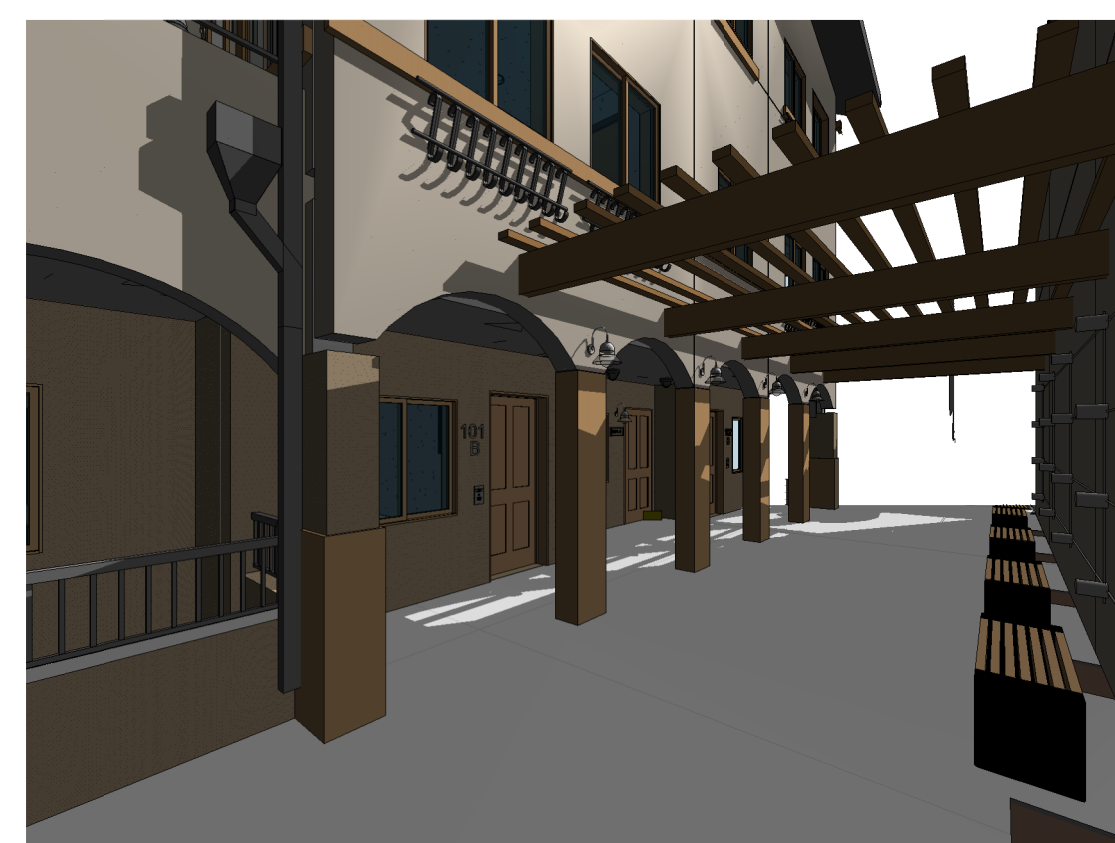
3D View 11 | SCALE 9



3D View 9 | SCALE 7



3D View 17 | SCALE 15



3D View 16 | SCALE 14



3D View 15 | SCALE 13



3D View 14 | SCALE 12

## BUILDING B - PERSPECTIVES



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CONSULTANTS:

PROJECT FOR:

CITY OF  
LAKE ELSINORE  
130 SOUTH MAIN ST.  
LAKE ELSINORE, CA 92530

PROJECT NAME:

RILEY  
APARTMENTS

200 N. RILEY ST.  
UNITS 1-9  
LAKE ELSINORE, CA 92530

ISSUE INFORMATION:

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04/22/2022	PLAN REVISION 2

## REVISIONS

No.	Date	Description

SEAL:



SHEET INFORMATION:

PROJECT NO.: 316-18-20  
SCALE:  
DATE: August 03, 2021

SHEET TITLE:

PERSPECTIVES

SHEET NO.:

A9.1

PLAN CHECK SET RESUBMITTAL

























NOT AN  
ENTRANCE  
EXIT ONLY









200  
A

BLDG. A

BLDG. A







