

PROJECT INFORMATION

PROJECT ADDRESS:

200 N. RILEY ST.
LAKE ELSINORE, CA, 92530

ASSESSOR'S PARCEL NO.:

374-162-036-6

OWNER:

CITY OF LAKE ELSINORE
130 SOUTH MAIN ST.,
LAKE ELSINORE, CA, 92530

BUILDING DATA:

DESCRIPTION OF WORK:

2 BLDGS. 16 UNITS OF NEW APARTMENTS.
11 UNITS OF MULTI-FAMILY ADA ADAPTABLE DWELLINGS. WITH 2 ADA COMPLIANT UNITS.

OCCUPANCY GROUP:

R-2

TYPE OF CONSTRUCTION:

YES

SPRINKLERED (YES/NO):

YES

BUILDING HEIGHT AND NO. OF STORIES:

BUILDING A
HEIGHT:
NO. OF STORIES:

27' - 2"
2

BUILDING B
HEIGHT:
NO. OF STORIES:

36' - 8"
3

SQUARE FOOTAGE:

PRIVATE OPEN SPACES

PLAYGROUND:

BBQ/ PICNIC AREA:

LAWN AREA:

888 SF
365 SF
875 SF

BUILDING FLOOR AREA:

BUILDING A
LEVEL 1 (3) APARTMENTS -
101A, 102A, 103A (1 BD, 1 BA EA)
APARTMENT
PATIO

378 SF
159 SF

LEVEL 2 (3) APARTMENTS
201A, 202A, 203 A (2BD, 1BA EA)
APARTMENT
(2) GARAGE PARKING
SPACES 1EA

954 SF
579 SF

BUILDING A OVERALL TOTAL:

6,198 SF

BUILDING B (LEVEL 1)

(2) APARTMENTS 101B & 10B (1 BD, 1 BA EA)
(1) EXT. PARKING SPACE EA)

APARTMENT
PATIO

583 SF
214 SF

COMMON/ SERVICE AREAS
BUILDING B GARAGE

473 SF
1,535 SF

BUILDING B LEVEL 1 TOTAL:

3,602 SF

BUILDING B (LEVEL 2)

(2) APARTMENTS 201B, 202B, & 203B (2 BD, 1 BA EA)
(1) GARAGE PARKING SPACE EA)

APARTMENT:
PATIO

693 SF
186 SF

202B
PATIO

757 SF
89 SF

203B
PATIO

723 SF
89 SF

204B
PATIO

693 SF
186 SF

COMMON/ SERVICE AREAS

494 SF

BUILDING B LEVEL 2 TOTAL:

3,786 SF

BUILDING B (LEVEL 3)

(4) APARTMENTS 301B, 302B, 303B & 304B (2 BD, 1 BA EA)
(1) GARAGE PARKING SPACE EA)

APARTMENT:
PATIO

693 SF
186 SF

302B
PATIO

757 SF
89 SF

303B
PATIO

723 SF
89 SF

304B
PATIO

693 SF
186 SF

COMMON/ SERVICE AREAS

494 SF

BUILDING B LEVEL 3 TOTAL:

3,786 SF

BUILDING B OVERALL TOTAL:

11,174 SF

BUILDING A & B OVERALL TOTAL:

17,372 SF

LEGAL DESCRIPTION

374162036 Recorded Book/Page: MB 8/378
SUBDIVISION NAME: HEALDS RESUB
Lot/Parcel: 8 Block: 51 Tract Number:
CITY BOUNDARY: LAKE ELSINORE

CODE INFORMATION

LIST OF ALL APPLICABLE CODES

ALL WORK SHALL COMPLY WITH CURRENTLY ADOPTED :

2019 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.
(2018 INTERNATIONAL BUILDING CODE)

2019 CALIFORNIA RESIDENTIAL CODE (IRC), PART 2.5, TITLE 24 C.C.R.
(2018 INTERNATIONAL RESIDENTIAL CODE)

2019 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.
(2018 NATIONAL ELECTRICAL CODE)

2019 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R.
(2018 UNIFORM MECHANICAL CODE)

2019 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.
(2018 UNIFORM PLUMBING CODE)

2019 CALIFORNIA GREEN BUILDING STANDARD CODE

2019 CALIFORNIA ENERGY CODE

VICINITY MAP

SHEET LEGEND

STRUCTURAL

SCS
SN1
SN2
SN3
S211
S212
S213
S221
S222
S223
S224
SD1
SD1.1
SD2
SD3
SD4
SD5
HFX1
HFX2

STRUCTURAL COVER SHEET
STRUCTURAL GENERAL NOTES
STRUCTURAL GENERAL NOTES
STRUCTURAL GENERAL NOTES
BUILDING A FOUNDATION PLAN
BUILDING A 2ND FLOOR FRAMING PLAN
BUILDING A ROOF FRAMING PLAN
BUILDING B FOUNDATIO PLAN
BUILDING B 2ND FLOOR FRAMING PLAN
BUILDING B 3RD FLOOR FRAMING PAN
BUILDING B ROOF FRAMING PLAN
FOUNDATION DETAILS
FOUNDATION DETAILS
GENERAL FRAMING DETAILS
FLOOR FRAMING DETAILS
ROOF FRAMING DETAILS
MISCELLANEOUS FRAMING DETAILS
HFX PANEL ANCHORAGE DETAIL
HFX FRAMING DETAIL

MECHANICAL

M0.1
M0.2
M1.1
M2.1
M2.2
M2.3
M2.4
M4.1
M4.2
M4.5
M5.1
M5.2

MECHANICAL LEGEND, NOTES & SCHEDULES
MECHANICAL SCHEDULE
MECHANICAL OVERALL FLOOR PLAN
MECHANICAL BLDG A FLOOR PLANS
MECHANICAL BLDG B FLOOR PLANS-LEVEL 1
MECHANICAL BLDG B FLOOR PLANS-LEVEL 2
MECHANICAL BLDG B FLOOR PLANS-LEVEL 3
MECHANICAL ROOF PLAN
MECHANICAL DETAILS
MECHANICAL DETAILS
MECHANICAL SPECIFICATIONS
MECHANICAL SPECIFICATIONS CONT.

PLUMBING

P0.1
P0.2
P2.1
P2.2
P2.3
P2.4
P3.1
P3.2
P3.3
P3.4
P3.5
P3.6
P4.1
P5.1
P6.1
P6.2
P7.1
P7.2

PLUMBING LEGENDS, NOTES & SCHEDULES
PLUMBING SCHEDULES CONT.
BLDG A PLUMBING DOMESTIC WATER & GAS FLOOR PLAN - LEVEL 1
BLDG A WASTE & VENT FLOOR PLAN-LEVEL 1
BLDG A PLUMBING DOMESTIC WATER & GAS FLOOR PLAN - LEVEL 2
BLDG A PLUMBING WASTE & VENT FLOOR PLAN - LEVEL 2
BLDG B PLUMBING DOMESTIC WATER & GAS FLOOR PLAN - LEVEL 1
BLDG B PLUMBING WASTE & VENT FLOOR PLAN - LEVEL 1
BLDG B PLUMBING DOMESTIC WATER & GAS FLOOR PLAN - LEVEL 2
BLDG B PLUMBING WASTE & VENT FLOOR PLAN - LEVEL 2
BLDG B PLUMBING DOMESTIC WATER & GAS FLOOR PLAN - LEVEL 3
BLDG B PLUMBING WASTER & VENT FLOOR PLAN - LEVEL 3
PLUMBING ROOF PLAN
BLDG B PLUMBING WASTE & VENT RISER DIAGRAMS
PLUMBING DETAILS
PLUMBING DETAILS CONT.
PLUMBING SPECIFICATIONS
PLUMBING SPECIFICATIONS CONT.

ELECTRICAL

E0.1
E0.2
E0.3
E0.4
E1.1
E1.2
E2.1
E2.2
E2.3
E3.1
E4.1

ELECTRICAL LEGENDS & NOTES
LUMINAIRE SCHEDULES
SINGLE LINE DIAGRAM
PANEL SCHEDULES
ELECTRICAL SITE PLAN
ELECTRICAL SITE PHOTOMETRICS
BLDG A & B POWER FLOOR PLANS
BLDG A & B LIGHTING FLOOR PLANS
BUILDING B LIGHTING PHOTOMETRICS
ELECTRICAL DETAILS
ELECTRICAL SPECIFICATIONS

DESIGN TEAM

OWNER:

CITY OF LAKE ELSINORE,
130 SOUTH MAIN STREET
LAKE ELSINORE, CA, 92530
(951) 674-3124
(951) 674-2392

ARCHITECT:

G.V. SALTS
GVSALTS@STKINC.COM
STK ARCHITECTURE, INC.
42095 ZEVO, DRIVE, STE. A-15
TEMECULA, CA, 92590
(951) 377-6009

CIVIL ENGINEER:

ENGINEERING RESOURCES
OF SOUTHERN CALIFORNIA
MATT BRUDIN PE,
1861 W. REDLANDS BLVD.
REDLANDS, CA. 92373
(909) 890-1255 ext. 103

LANDSCAPE ARCHITECT:

ALHAMBRA GROUP
VINCE DI DONATA
41635 ENTERPRISE CIRCLE
NORTH, STE. C
TEMECULA, CA 92591
(951) 296-6802
(951) 296-6803 FAX

STRUCTURAL ENGINEER:

INNOVATIVE STRUCTURAL ENGINEERING
SHANE LOTHROP
27369 VIA INDUSTRIA
TEMECULA, CA, 92590
(951) 600-0032 ext. 207

MECHANICAL/PLUMBING/ELECT. ENGINEERS:

DESIGN WEST ENGINEERING
CAROL DEVILLIER PROJECT MANAGER
412 E. VANDERBILT WAY,
SAN BERNADINO, CA, 92408
(909) 880-3700

GEOTECHNICAL:

INLAND FOUNDATION ENGINEERING, INC.
DANIEL R. LIND, P. G., C. E. G.
1310 S. SANTA FE AVE,
P. O. BOX 937,
SAN JACINTO, CA. 92581
(951) 654-1555

ADE CONSULTING:

BUILDING & ENERGY DESIGN CONCEPTS.
VINCENT MIRANDA.
ADETITLE24@GMAIL.COM
1177 IDAHO STREET, SUITE 200,
REDLANDS, CA 92374
(909) 884-9484
(909) 307-0148 FAX

NOTES TO GENERAL CONTRACTOR

1. DEFERRED SUBMITTAL / SEPARATE PERMITS

THE FOLLOWING ARE UNDER DEFERRED SUBMITTAL/SEPARATE PERMITS. (TO BE OBTAINED AND INSTALLED BY THE GENERAL CONTRACTOR); SYSTEM / ITEM SHALL BE DESIGNED, ENGINEERED FOUNDATION AND BUILT BY GENERAL CONTRACTOR.

A. WOOD TRUSSES (FLOOR & ROOF)

B. ALUMAWOOD TRELLIS

C. PHOTOVOLTAIC PANELS

D. FIRE SPRINKLER SYSTEM/ FIRE ALARM DESIGNED TO MEET NFPA 13D REQUIREMENTS. SPRINKLER PLANS SHALL BE SUBMITTED AND APPROVED BY THE FIRE PREVENTION BUREAU UNDER A SEPERATE PERMIT (I.B.C. 1613 (AND ASCE 7-10 CHAPTER 10). REFER TO SPECIFICATIONS FOR MORE REQUIREMENTS.

2. SUBMITTAL DOCUMENTS FOR DEFERRED ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND ENGINEER OF RECORD (PROVIDED BY GENERAL CONTRACTOR), WHO SHALL REVIEW THEM FOR GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING AND PROVIDE NOTATION INDICATING SO. THE GENERAL CONTRACTOR SHALL THEN SUBMIT DEFERRED DOCUMENTS TO THE BUILDING OFFICIAL. THE DEFERRED ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

THE DEFERRED SUBMITTAL ITEMS SHALL BE DESIGNED AND ENGINEERED PER I.B.C.

DEFERRAL OF ANY SUBMITTAL ITEMS SHALL HAVE THE PRIOR APPROVAL OF THE BUILDING OFFICIAL. THE REGISTERED DESIGN PROFESSIONAL IS RESPONSIBLE CHARGE SHALL LIST THE DEFERRED SUBMITTALS ON THE CONSTRUCTION DOCUMENTS FOR REVIEW BY THE BUILDING OFFICIAL. DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL. IN RESPONSIBLE CHARGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. [IBC 107.3.4.1)

3. GENERAL CONTRACTOR TO PROVIDE ALL BACKING/FRAMING AS NECESSARY FOR LIGHT FIXTURES, CEILING FANS, GRAB BARS, AND PLASTER REVEALS. THE GENERAL CONTRACTOR IS ALSO REQUIRED TO PROVIDE BACKING AT GYPSUM BOARD NAILING SURFACES AT EDGES, ETC.

4. CLEANOUTS INSTALLED UNDER CONCRETE OR ASPHALT PAVING SHALL BE ACCESSIBLE BY YARD BOXES, OR EXTENDED FLUSH WITH PAVING WITH A "BRASS CAP" OR OTHER APPROVED MATERIAL WHEN SUBJECT TO VEHICULAR TRAFFIC. [TMCC 15.0.04(F)]

TITLE 24 MANDATORY MEASURES

1. INSTALLED INSULATING MATERIAL SHALL HAVE BEEN CERTIFIED BY MANUFACTURER TO COMPLY WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATING MATERIAL.

2. ALL INSULATING MATERIALS SHALL BE INSTALLED IN COMPLIANCE SPREAD RATING AND SMOKE DENSITY REQUIREMENTS OF SECTION 2603.1 AND 720 OF THE CBC 2019.

3. ALLEXTERIOR JOINTS AND OPENING IN THE BUILDING ENVELOP ARE OBSERVABLE SOURCES OF LEAKAGE SHALL BE CAULKED, WEATHERSTRIPPED OR OTHERWISE SEALED.

4. SITE CONSTRUCTION DOORS, WINDOWS AND SKYLIGHTS SHALL BE CAULKED BETWEEN THE UNIT AND THE BUILDING, AND SHALL BE WEATHER STRIPPED (EXCEPT FOR UNFRAMED GLASS DOORS AND FIRE DOORS).

5. MANUFACTURED DOORS AND WINDOWS INSTALLED SHALL HAVE INFILTRATION RATES CERTIFIED BY THE MANUFACTURER PER C.E.C. 110.6 MANUFACTURED FENESTRATION PRODUCTS MUST BE LABELLED U-VALUE ACCORDING TO NFRC PROCEDURES. PROVIDE CERTIFIED COMPLIANCE FOR DOORS,WINDOWS & INSULATION.

6. VERTICAL GLAZING SHALL HAVE U-FACTORS PER NFRC 100-OR VALUES PER C.E.C. SECTION 110.6.2 TABLE 11.6 A OR QUALIFY FOR EXCEPTION 1& 2.

STK
ARCHITECTURE, INC.

42095 Zevu drive, Suite A15 Temecula, California 92590-3780
Phone 951.296.9110 Email: stk@stkinc.com

CONSULTANTS:

PROJECT FOR:

CITY OF
LAKE ELSINORE
130 SOUTH MAIN ST.
LAKE ELSINORE, CA 92530

PROJECT NAME:

RILEY
APARTMENTS

200 N. RILEY ST.
UNITS 1-9
LAKE ELSINORE, CA 92530

ISSUE INFORMATION:

DATE:

INFORMATION:

09/01/2020 SCHEMATIC DESIGN

12/09/2020 CUP SET

05/2021 PLAN CHECK SET

08/03/2021 PLAN REVISION 1

04/22/2022 PLAN REVISION 2

REVISIONS

No

Date

Description

1 7/12/2021 Revision 1

2 04/25/2022 Revision 2

SEAL:

REGISTERED ARCHITECT
VINCE DI DONATA
No. C22977
REN 11-30-21
STATE OF CALIFORNIA

SHEET INFORMATION:

PROJECT NO.: 316-18-20
SCALE: As indicated
DATE: August 03, 2021

SHEET TITLE:

TITLE SHEET

SHEET NO.:

T1.1

PLAN CHECK SET RESUBMITTAL

GRADING NOTES

1.

ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CITY OF LAKE ELSINORE MUNICIPAL CODE, CHAPTER 15.72 AND APPLICABLE STANDARDS AND SPECIFICATIONS AND THE LATEST EDITION OF THE UNIFORM BUILDING CODE (U.B.C.), CHAPTER 33.
2.

A PERMIT SHALL BE OBTAINED FROM THE ENGINEERING DEPARTMENT, CITY OF LAKE ELSINORE, PRIOR TO ANY OPERATIONS.
3.

THE DEVELOPER AND/OR THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AND U.S.A. ALERT (1-800-422-4133) FORTY-EIGHT (48) HOURS PRIOR TO GRADING.
4.

THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEERING DEPARTMENT AT LEAST TWENTY-FOUR (24) HOURS IN ADVANCE OF BEGINNING GRADING OPERATIONS.
5.

DUST SHALL BE CONTROLLED BY WATERING OR OTHER METHODS APPROVED BY THE CITY ENGINEER.
6.

CUT SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL, UNLESS OTHERWISE APPROVED, AND SHALL BE SHOWN ON THE PLAN.
7.

FILL SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL, UNLESS OTHERWISE APPROVED, SHALL BE SHOWN ON PLAN, AND SHALL NOT HAVE LESS THAN 90% RELATIVE COMPACTION OUT TO THE FINISHED SURFACE.
8.

FILLS SHALL BE COMPACTED THROUGHOUT TO 90% DENSITY AS DETERMINED BY THE MODIFIED THREE (3) LAYER A.S.T.M. D-1557-70 TEST METHOD.
9.

FILL AREAS SHALL BE CLEANED OF ALL VEGETATION AND DEBRIS, SCARIFIED, AND INSPECTED BY THE GRADING INSPECTOR AND APPROVED SOILS TESTING AGENCY PRIOR TO THE PLACING OF FILL.
10.

ALL FILL MATERIAL SHALL BE CLEAN EARTH. NO FILL SHALL BE PLACED UNTIL PREPARATION OF GROUND IS APPROVED BY THE SOILS ENGINEER.
11.

FINISH GRADE SHALL BE SLOPED AWAY FROM ALL EXTERIOR WALLS AT NOT LESS THAN 1/2" PER FOOT FOR A MINIMUM OF THREE (3) FEET, THEN 1% (MINIMUM) TO FLOW LINE OF EARTH SWALE.
12.

MINIMUM BUILDING PAD AND DRAINAGE SWALE SLOPE SHALL BE 1% IF CUT OR FILL SLOPE IS LESS THAN TEN FEET (10'), AND 2% IF CUT OR FILL IS GREATER THAN TEN FEET (10'). DRAINAGE SWALES SHALL BE A MINIMUM OF 0.5' DEEP AND CONSTRUCTED A MINIMUM OF TWO FEET (2') FROM THE TOP OF CUT OR FILL SLOPES.
13.

PROVIDE 5' WIDE BY 1' HIGH BERM OR EQUIVALENT ALONG THE TOP OF ALL FILL SLOPES OVER 5' HIGH.
14.

PROVIDE A BROW DITCH, DESIGNED TO HANDLE ONE HUNDRED (100) YEAR STORM FLOWS ALONG THE TOP OF CUT SLOPES.
15.

NO OBSTRUCTION OF FLOOD PLAINS OR NATURAL WATER COURSES SHALL BE PERMITTED.
16.

A SOILS ENGINEER SHALL BE RETAINED BY THE DEVELOPER, TO SUPERVISE GRADING AND PROVIDE A FINAL SOILS REPORT WHICH INCLUDES FOUNDATION REQUIREMENTS (SUBDIVISIONS) AND EXPANSIVE CHARACTERISTICS OF THE SOIL.
17.

GRADING CERTIFICATION BY THE DEVELOPER'S CIVIL ENGINEER AND A FINAL COMPACTION REPORT BY A SOILS ENGINEER SHALL BE SUBMITTED TO THE BUILDING AND ENGINEERING DEPARTMENTS PRIOR TO ISSUANCE OF BUILDING PERMITS.
18.

THE SOILS ENGINEERING INVESTIGATION DATED DECEMBER 18, 2020 PREPARED BY INLAND FOUNDATION ENGINEERING, INC. AND THE ENGINEERING GEOLOGIC INVESTIGATION DATED DECEMBER 18, 2020 PREPARED BY INLAND FOUNDATION ENGINEERING, INC., SHALL BE CONSIDERED A PART OF THIS GRADING PLAN AND SHALL BE IN COMPLIANCE.
19.

A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR SHALL SUBMIT CERTIFICATION OF BUILDING PAD ELEVATION. WHERE SPECIFIC ELEVATIONS ARE REQUIRED, THE ELEVATION (WITH RESPECT TO MEAN SEA LEVEL) SHALL BE GIVEN. IF AN ELEVATION WITH RESPECT TO ADJACENT GROUND SURFACE IS REQUIRED, THE ACTUAL DISTANCE ABOVE THE ADJACENT GROUND SHALL BE GIVEN.
20.

ALL PROPERTY CORNERS SHALL BE CLEARLY DELINEATED IN THE FIELD PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION/GRADING.
21.

STABILITY CALCULATIONS WITH A SAFETY FACTOR OF AT LEAST 1.5 SHALL BE SUBMITTED BY A SOILS ENGINEER TO THE BUILDING AND ENGINEERING DEPARTMENTS FOR CUT AND FILL SLOPES OVER THIRTY FEET (30') IN VERTICAL HEIGHT.
22.

A FINAL COMPACTION REPORT WILL BE REQUIRED FOR ALL FILLS GREATER THAN ONE (1) FOOT.
23.

IF STEEP SLOPING TERRAIN OCCURS UPON WHICH FILL IS TO BE PLACED, IT MUST BE CLEARED, KEYED AND BENCHED INTO FIRM NATURAL SOIL FOR FULL SUPPORT. PREPARATION SHALL BE APPROVED BY A REGISTERED SOILS ENGINEER PRIOR TO PLACEMENT OF FILL MATERIAL. SLOPES GREATER THAN 5:1 ARE REQUIRED TO BE KEYED AND BENCHED.
24.

THE SOILS ENGINEER SHOULD INSPECT THE CONSTRUCTION IN THE FOLLOWING STAGES:
- a.

UPON COMPLETION OF CLEARING AND DURING EXCAVATION AND BEFORE BACKFILL OF ALLUVIAL, COLLUVIAL AND TERRACED AREAS AND ANY SUBSTRUCTURES.
- b.

DURING ALL ROUGH GRADING AND OPERATIONS INCLUDING PRE-COMPACTION, BENCHING AND FILLING OPERATIONS.
- c.

DURING INSTALLATION OF BUTTRESS AND CANYON SUB-DRAINS AND FILTER MATERIAL.
- d.

WHEN ANY UNUSUAL GRADING CONDITIONS ARE ENCOUNTERED DURING CONSTRUCTION.

CITY OF LAKE ELSINORE



LEGEND

	PROPERTY LINE	FL	FLOW LINE
	PROPOSED CURB	FS	FINISH SURFACE
	PROPOSED CROSS GUTTER	HP	HIGH POINT
	LANDSCAPE AREA	LP	LOW POINT
	ASPHALT CONCRETE PAVING	TC	TOP OF CURB
	CONCRETE PAVING	TS	TOP OF SLOPE
	DRAINAGE SLOPE & DIRECTION	X.XX	ELEVATION
		(X.XX)	(EXISTING ELEV.)



VICINITY MAP
NOT TO SCALE



CONSTRUCTION NOTES

QTY

- 1

CONSTRUCT TYPE 6A CURB PER CITY STD. 202

126 L.F.
- 2

CONSTRUCT TYPE 6A CURB PER CITY STD. 202 WITH CURB CUTS PER DETAIL SHEET 2.

139 L.F.
- 3

CONSTRUCT 3' WIDE CROSS GUTTER PER DETAIL SHEET 2.

110 L.F.
- 4

CONSTRUCT 4" THK. MIN. AC OVER 12" AB PER SOILS REPORT

2770 S.Y.
- 5

CONSTRUCT 4" THK. CONC. PER SOILS REPORT

4800 S.F.
- 6

ADA FACILITY AND STRIPING PER ARCHITECT'S PLAN
- 7

INSTALL VARIABLE H. TYPE 6B RETAINING WALL PER CALTRANS STD. B3-7A.

2075 S.F.
- 8

EXISTING POWER POLE TO BE RELOCATED BY OTHERS.
- 9

TRASH ENCLOSURE PER ARCHITECTURAL PLANS.

25 L.F.
- 10

EXISTING RADAR SPEED SIGN TO BE RELOCATED BY OTHERS.
- 11

INSTALL BOLLARD PER DETAIL SHEET 2.

2 EA.
- 12

0.15' GRIND AND OVERLAY.
- 13

CONSTRUCT BIO TREATMENT FACILITY PER DETAIL "B" SHEET 2.
- 14

CONCRETE WHEEL STOP – PER ARCHITECT'S PLAN

1 EA.
- 15

6" DIA. PVC PERFORATED SDR 35 PIPE

125 L.F.
- 16

CONSTRUCT BIO TREATMENT FACILITY PER DETAIL "C" SHEET 2.
- 17

CONSTRUCT ADA RAMP PER CITY STD. 214B

2 EA.
- 18

CONSTRUCT COMMERCIAL DRIVEWAY PER CITY STD. 118B.

1 EA.
- 19

INSTALL REDWOOD HEADER PER CITY STD. 590
- 20

INSTALL DRIVEWAY APPROACH PER CITY STD. 117.

1 EA.
- 21

INSTALL 6" DIA PVC SCH 40 PIPE

50 L.F.
- 22

CONSTRUCT UNDERGROUND STORM WATER STORAGE W/ PUMP PER SEPARATE PLAN
- 23

INSTALL DETECTABLE WARNING MAT 48"x72" PER DETAIL ON SHEET 2

2 EA.
- 24

CONSTRUCT BIO TREATMENT FACILITY PER DETAIL "A" SHEET 2.

EARTHWORK

CUT= 450 C.Y.
FILL = 2,395 C.Y.
NET = 1,945 C.Y. FILL
(UNADJUSTED)
NOTE: EARTHWORK QUANTITIES ARE FOR PERMIT PURPOSE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR PREPARING HIS/HER OWN QUANTITIES

INDEX OF SHEETS

SHEET 1	TITLE SHEET
SHEET 2	DEMO PLAN & DETAILS
SHEET 3	GRADING PLAN
SHEET 4	GRADING PLAN
SHEET 5	STREET IMPROVEMENTS PLAN
SHEET 6	STREET SECTIONS
SHEET 7	EROSION CONTROL PLAN

OWNER/DEVELOPER

CITY OF LAKE ELSINORE
130 S. MAIN STREET
LAKE ELSINORE, CA 92530
PHONE: (951) 674-3124
CONTACT: GUS PAPAGOLOS

TOPOGRAPHY

DENNIS JANDA, INC.
42164 REMINGTON AVE
TEMECULA, CA 92590
PHONE: (951) 699-6874
CONTACT: DENNIS JANDA, PLS

LEGAL DESCRIPTION

APN: 374-162-063; 374-162-064
RECORDED BOOK/PAGE: 8/378
SUBDIVISION NAME: HEALDS RESUB
LOT/PARCEL: 2-P, 4-P, 6-P, 8-P; BLOCK: 51

BASIS OF BEARINGS

CENTERLINE HEALD AVE.
PER RS 91-5-13
MB 91 Pg. 8
N 70d 59' 09" W

SITE DATA

GROSS ACREAGE=
23.436 S.F (0.54 ACRES)
AREA OF DISTURBANCE =
23.436 S.F (0.54 ACRES)
CUT= 450 C.Y.
FILL = 2,395 C.Y.
NET = 1,945 C.Y. IMPORT

SOILS ENGINEER

INLAND FOUNDATION ENGINEERING, INC.
1310 S. SANTA FE AVE
SAN JACINTO, CA 92586
PHONE: (951) 654-1555
CONTACT: ALAN EVANS, PLS

PRIVATE ENGINEER'S NOTE TO CONTRACTOR

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES, CONDUITS, OR STRUCTURES SHOWN ON THESE PLANS ARE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN ON THESE DRAWINGS. THE CONTRACTOR FURTHER ASSUMES ALL LIABILITY AND RESPONSIBILITY FOR THE UTILITY PIPES, CONDUITS OR STRUCTURES SHOWN ON THESE DRAWINGS.

CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE COUNTY OF SAN BERNARDINO, THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

REVIEWED: C. NORVANI 12-23-21

CABLE

CHARTER CABLEVISION.
6680 VIEW PARK COURT
RIVERSIDE, CA 92503

GAS

SEMPRA ENERGY
13525 12TH STREET
CHINO, CA 91719
PHONE: (909) 613-1531

WATER/ SEWER

ELSINORE VALLEY MUNICIPAL
WATER DISTRICT
31315 CHANEY STREET
LAKE ELSINORE, CA 92530
PHONE: (951) 674-3146

PHONE: (951) 674-3146

TELEPHONE

AT&T
870 MOUNTAIN AVENUE
UPLAND, CA 91786
PHONE: (909) 608-1204

ELECTRIC

SO. CALIFORNIA EDISON
2244 WALNUT GROVE AVENUE
ROSEMEAD, CA 91770
PHONE: (800) 655-4555

FIBER OPTICS

AT&T
870 MOUNTAIN AVENUE
UPLAND, CA 91786
PHONE: (909) 608-1204

ENG-2021-00257

REVIEWED: C. NORVANI 12-23-21



Call: TOLL FREE
1-800-422-4133

TWO WORKING DAYS BEFORE YOU DIG

MARK	REVISIONS	APPR.	DATE	THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS AND HAVE BEEN FOUND ACCEPTABLE	PREPARED BY:	1861 W. Redlands Blvd, Bldg 7B Redlands, Ca. 92373 P: (909) 890-1255 F: (909) 890-0995	SEAL REGISTERED PROFESSIONAL ENGINEER No. 41838 Exp. 3/31/22 CIVIL STATE OF CALIFORNIA	SCALE: AS NOTED DATE: MARCH 11, 2021	BENCH MARK: CITY OF LAKE ELSINORE BENCHMARK NUMBER: A-93-13 ELEV: 1384.19' DATUM: NGVD29	CITY OF LAKE ELSINORE TITLE SHEET RILEY APARTMENTS 200 RILEY STREET LAKE ELSINORE, CA 92530	SHEET 1 OF 7 SHEETS FILE No. 21-503
					REMON HABIB, RCE No. 83156 CITY ENGINEER CITY OF LAKE ELSINORE	12-23-2021 DATE	JOHN M. BRUDIN R.C.E. 41839 EXP. 3/31/22	11/03/2021 DATE			

NOTES

A PRE-GRADING/PRECONSTRUCTION MEETING AND SITE INSPECTION SHALL BE ARRANGED FOR BY THE SITE DEVELOPER PRIOR TO COMMENCING GRADING OPERATIONS. THOSE PARTIES REQUIRED TO ATTEND THE PRE-CONSTRUCTION MEETING SHALL INCLUDE BUT ARE NOT LIMITED TO THE DEVELOPER, PROJECT SUPERINTENDENT, ENGINEER OF RECORD, SOIL ENGINEER, GRADING CONTRACTOR AND THE UNDERGROUND UTILITIES CONTRACTOR. REPRESENTING THE DEPARTMENT OF BUILDING AND SAFETY SHALL BE THE GRADING PLAN-CHECKER AND/OR GRADING INSPECTOR. THE FOCUS OF PRE-CONSTRUCTION MEETING SHALL BE TO DISCUSS THE VARIOUS ASPECTS AND RESPONSIBILITIES OF THE GRADING PROJECT AND TO PROVIDE AN APPROXIMATE TIME-TABLE FOR THE OF ROUGH GRADING. ARRANGE FOR A PRE-GRADING/CONSTRUCTION MEETING BY CALLING THE DISTRICT OFFICE RESPONSIBLE FOR PROVIDING YOUR GRADING AND BUILDING INSPECTIONS. CALL COUNTY DISPATCH AT (951)955-1800.

OVEREXCAVATION NOTE

OVEREXCAVATIONS SHALL BE ON THE ORDER OF 3-5 FEET TO REMOVE THE UPPER PORTIONS OF THE EXISTING FILL & ANY TOP SOIL WITHIN THE PROPOSED BUILDING PADS. OVEREXCAVATIONS SHALL EXTEND Laterally FROM THE BUILDING FOOTPRINT A DISTANCE EQUAL TO THE DEPTH OF OVEREXCAVATION OR A MINIMUM OF THREE (3) FEET, WHICHEVER IS GREATER.

NOTES

THE EOR HAS DETERMINED THAT CONSIDERING THE SITE CONDITIONS INCLUDING THE SOIL AND CLIMATE, THE PROPOSED SITE DRAINAGE SLOPES SHALL BE SATISFACTORY AND DO NOT WARRANT THE MORE CONSERVATIVE REQUIREMENTS OF THE BUILDING CODE.

"EXCEPT FOR THE RETAINING WALLS IN CONJUNCTION WITH THIS GRADING, ALL INFORMATION ASSOCIATED WITH BUILDINGS (INCLUDING SETBACKS AND FF ELEVATIONS) IS FOR REFERENCE ONLY AND THE APPROVAL OF THIS GRADING PLANS DO NOT INCLUDE ANY PROVISION ASSOCIATED WITH BUILDINGS"

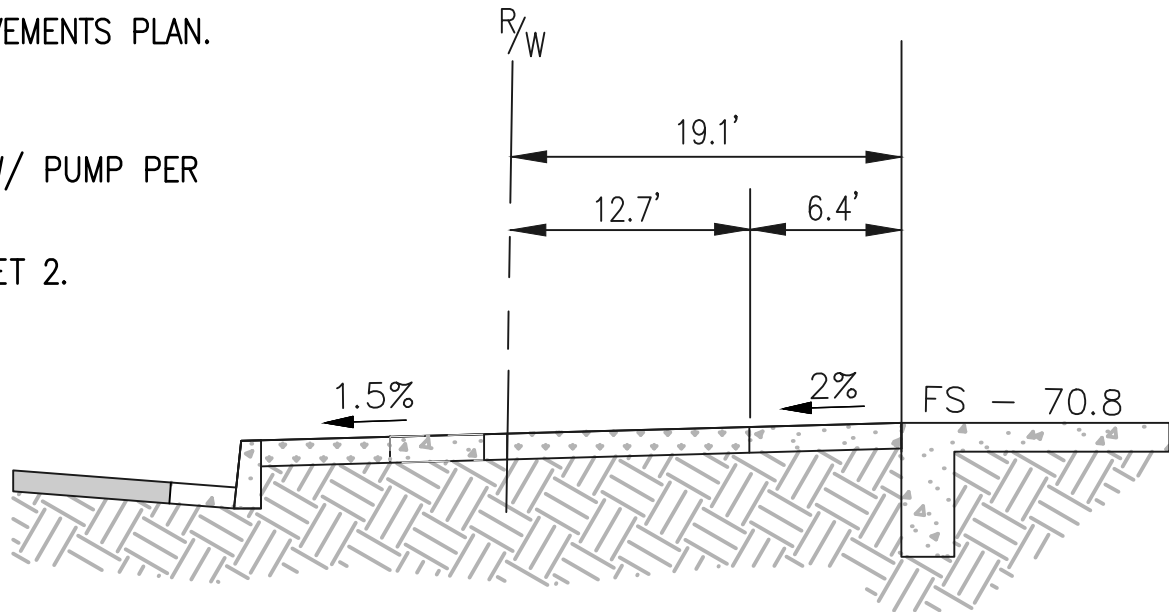
CONSTRUCTION NOTES

- 1) CONSTRUCT TYPE 6A CURB PER CITY STD. 202.
- 2) CONSTRUCT TYPE 6A CURB PER CITY STD. 202 WITH CURB CUTS PER DETAIL SHEET 2.
- 3) CONSTRUCT 3' WIDE CROSS GUTTER PER DETAIL SHEET 2.
- 4) CONSTRUCT 4" THK. MIN. AC OVER 12" AB PER SOILS REPORT.
- 5) CONSTRUCT 4" THK. CONC. PER SOILS REPORT.
- 6) ADA FACILITY AND STRIPING PER ARCHITECT'S PLAN.
- 7) INSTALL VARIABLE H. TYPE 6B RETAINING WALL PER CALTRANS STD.B3-7A.
- 8) EXISTING POWER POLE TO BE RELOCATED BY OTHERS.
- 9) TRASH ENCLOSURE PER ARCHITECTURAL PLANS.
- 10) EXISTING RADAR SPEED SIGN TO BE RELOCATED BY OTHERS.
- 11) INSTALL BOLLARD PER DETAIL SHEET 2.
- 12) 0.15' GRIND AND OVERLAY.
- 13) CONSTRUCT BIO TREATMENT FACILITY PER DETAIL "B" SHEET 2.
- 14) CONCRETE WHEEL STOP - PER ARCHITECT'S PLAN.
- 15) 6" DIA. PVC PERFORATED SDR 35 PIPE.
- 16) CONSTRUCT BIO TREATMENT FACILITY PER DETAIL "C" SHEET 2.
- 17) CONSTRUCT ADA RAMP PER CITY STD. 214B.
- 18) CONSTRUCT COMMERCIAL DRIVEWAY PER CITY STD. 118B.
- 19) INSTALL REDWOOD HEADER PER CITY STD. 590.
- 20) CONSTRUCT DRIVEWAY APPROACH PER STREET IMPROVEMENTS PLAN.
- 21) INSTALL 6" DIA PVC SCH 40 PIPE.
- 22) CONSTRUCT UNDERGROUND STORM WATER STORAGE W/ PUMP PER SEPARATE PLAN.
- 24) CONSTRUCT 3' WIDE CROSS GUTTER PER DETAIL SHEET 2.

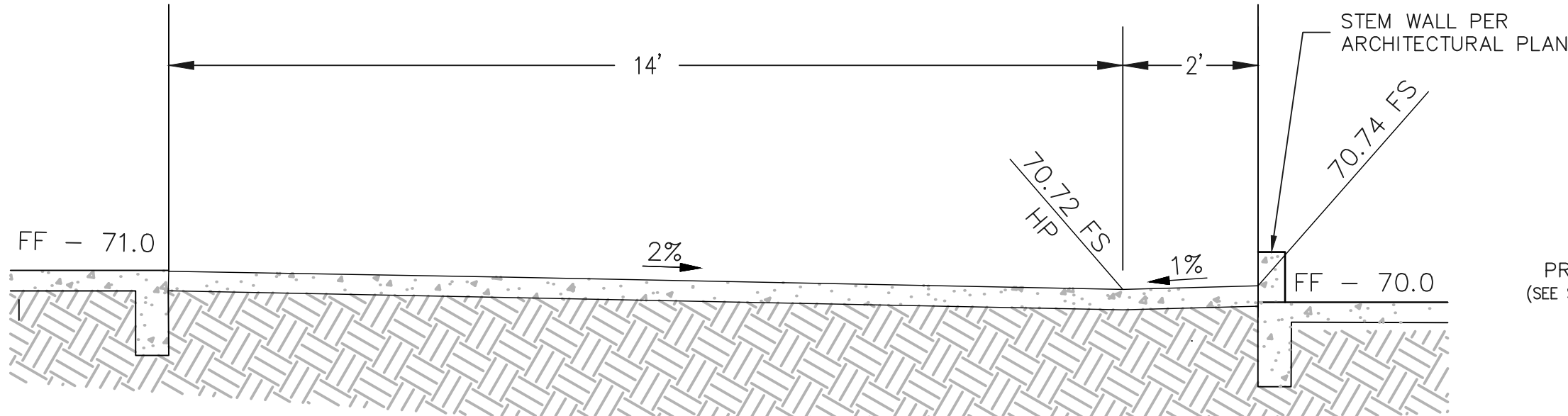
Underground Service Alert

Call: TOLL FREE 1-800-422-4133

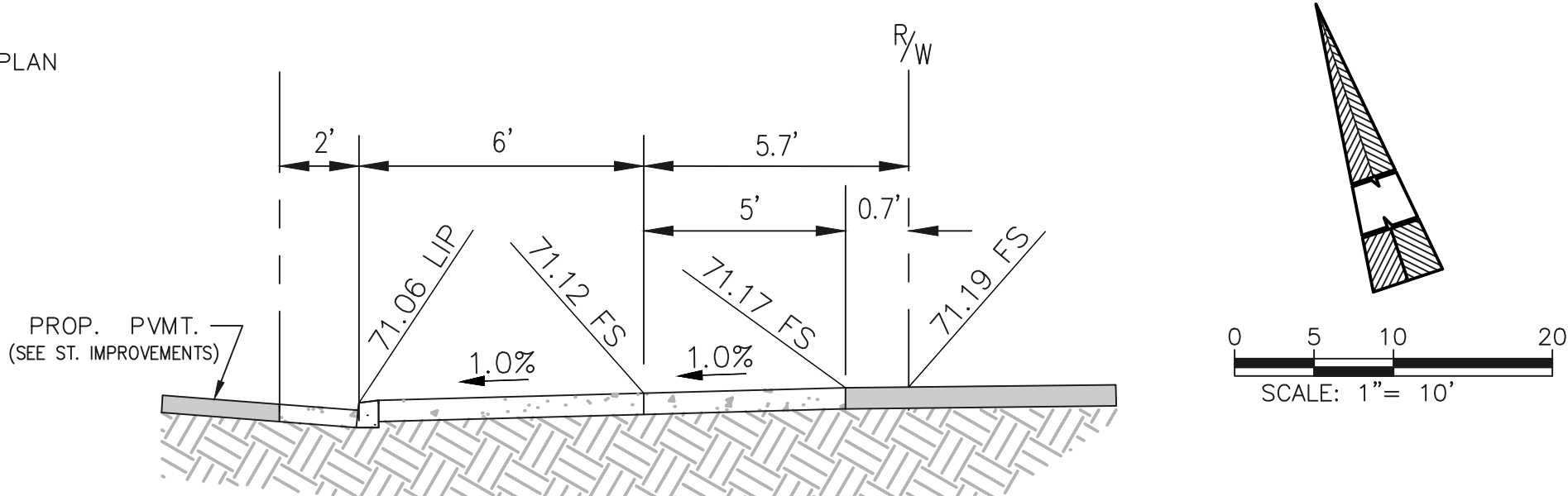
TWO WORKING DAYS BEFORE YOU DIG



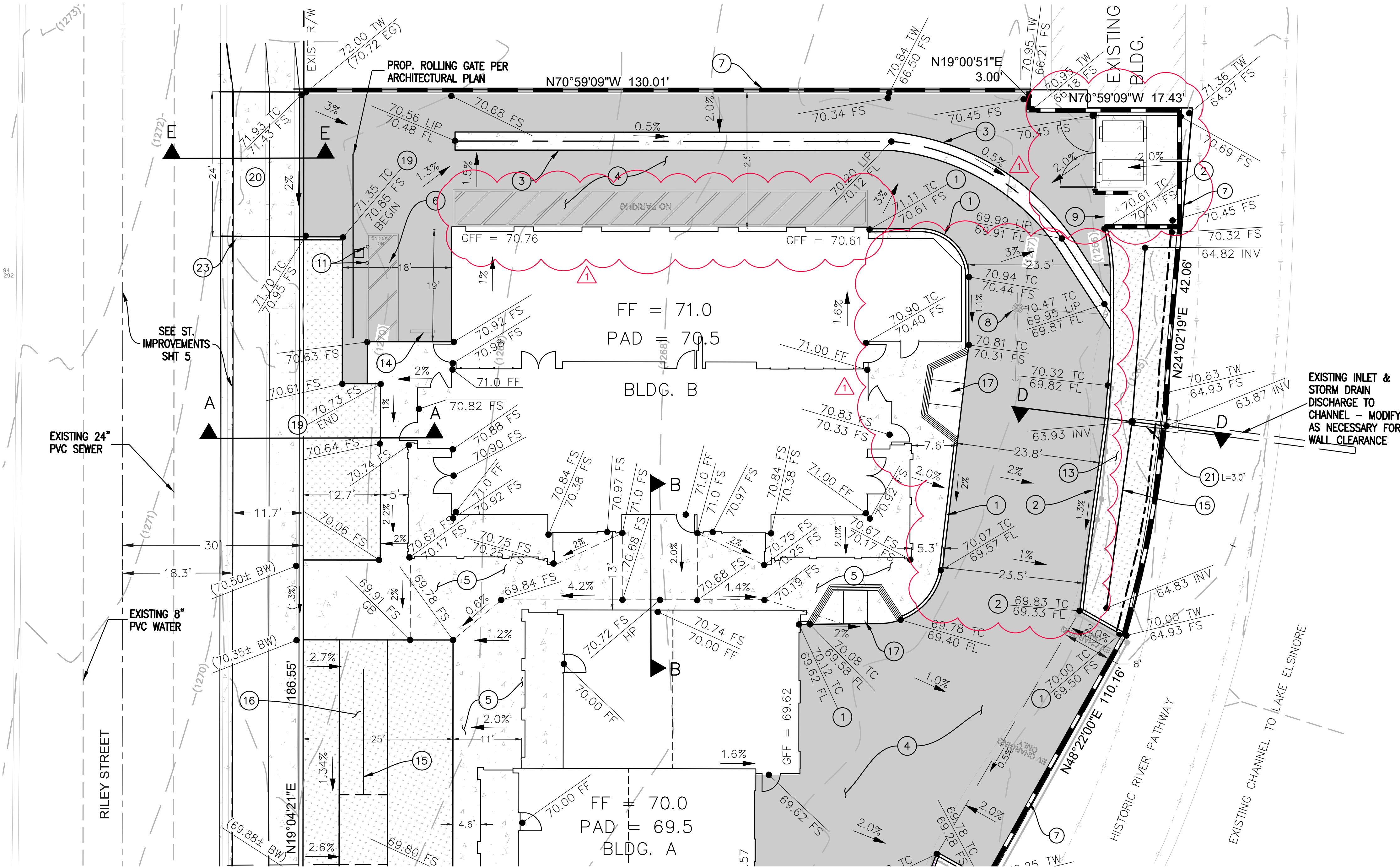
SECTION A-A
NOT TO SCALE



SECTION B-B
NOT TO SCALE



SECTION E-E
NOT TO SCALE



FOR CONTINUATION SEE SHEET 4

MARK	REVISIONS	APPR.	DATE	THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS AND HAVE BEEN FOUND ACCEPTABLE	PREPARED BY: ERSC Engineering Resources of Southern California No. 41836 Exp. 3/31/22 CIVIL JOHN M. BRUDIN R.C.E. 41839 EXP. 3/31/22	SEAL REGISTERED PROFESSIONAL ENGINEER JOHN M. BRUDIN No. 41836 Exp. 3/31/22 CIVIL STATE OF CALIFORNIA	SCALE: AS NOTED DATE: MARCH 11, 2021	BENCH MARK: CITY OF LAKE ELSINORE BENCHMARK NUMBER: A-93-13 ELEV: 1384.19' DATUM: NGVD29	CITY OF LAKE ELSINORE PRECISE GRADING PLAN RILEY APARTMENTS 200 RILEY STREET LAKE ELSINORE, CA 92530	SHEET 3 OF 7 SHEETS FILE No.
	REVISIONS TO GRADING PER ARCHITECTURAL MODIFICATIONS			REMON HABIB, RCE No. 83156 CITY ENGINEER CITY OF LAKE ELSINORE	DATE	11/03/2021				

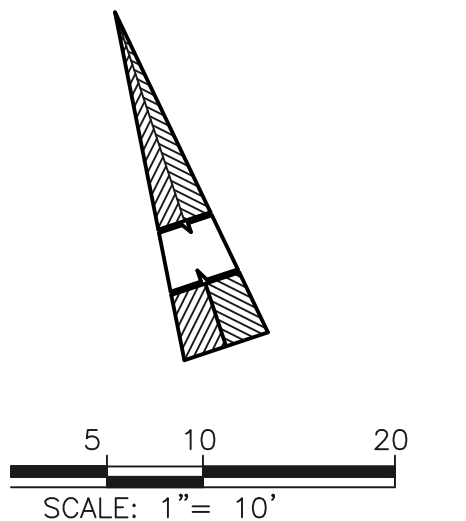
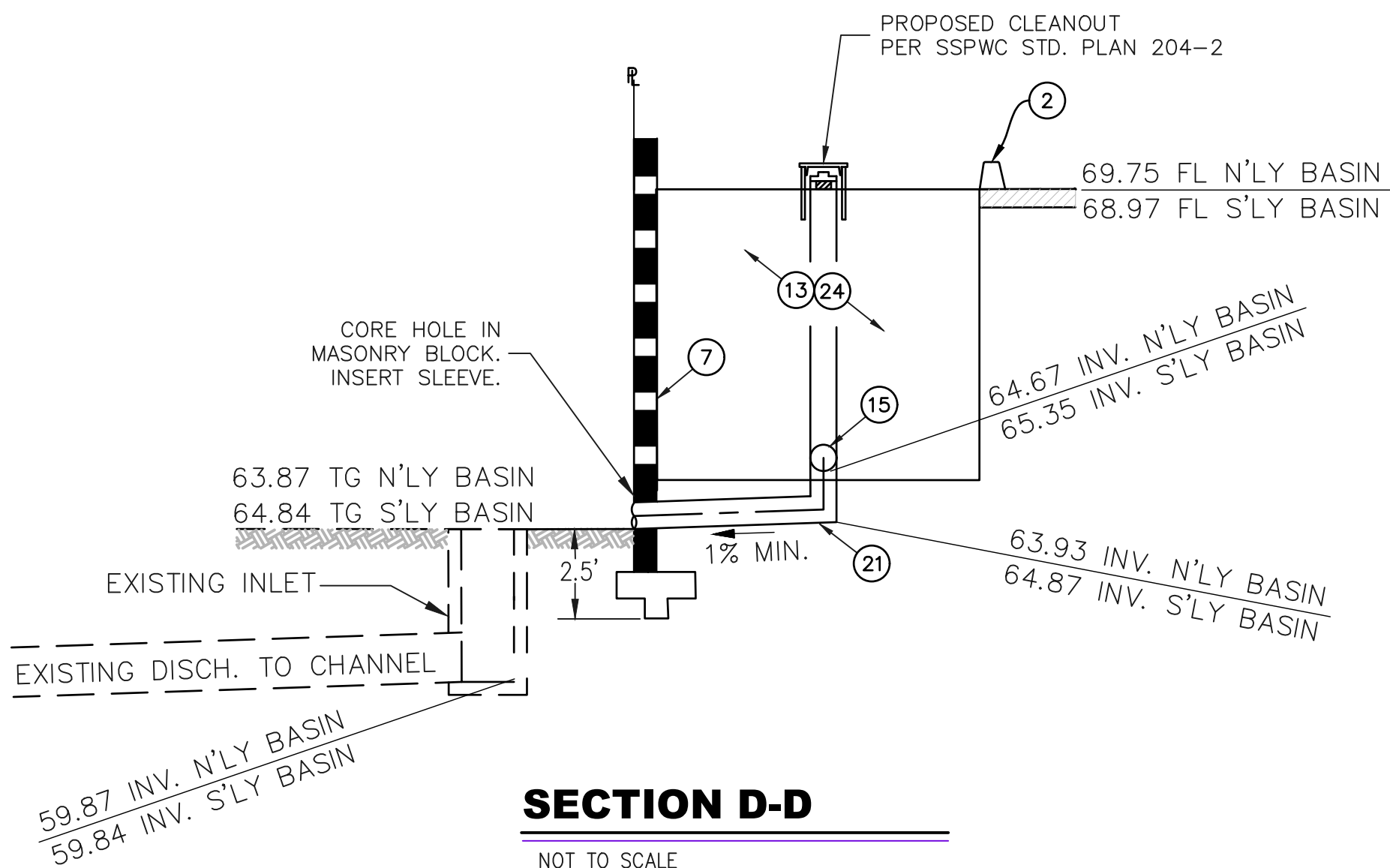
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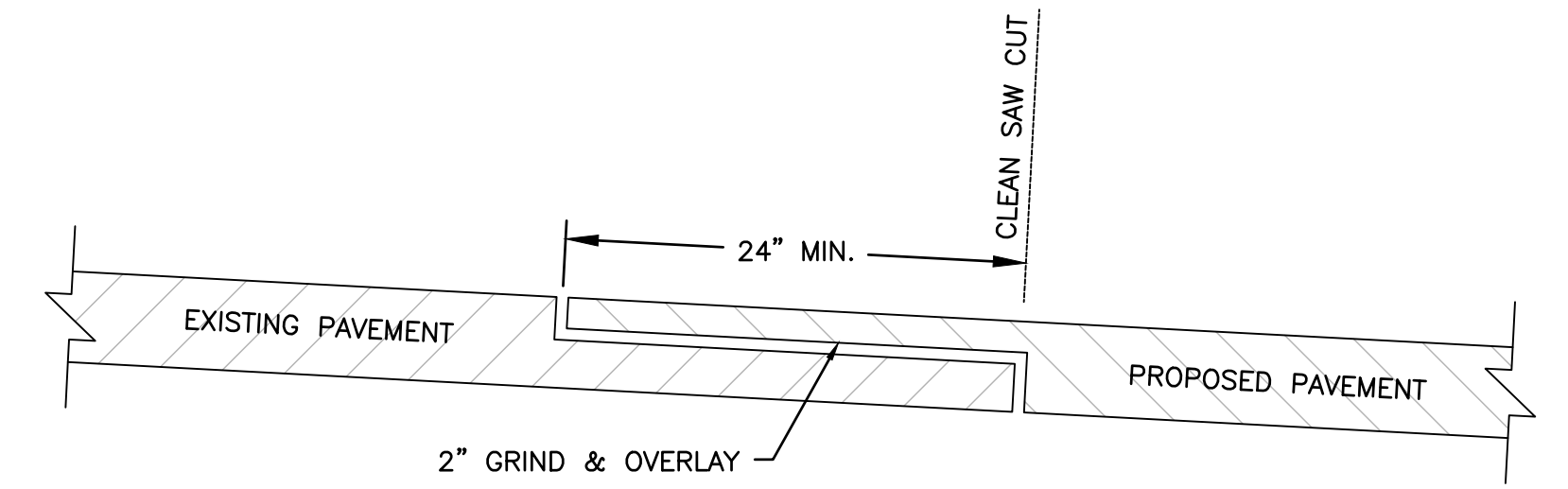
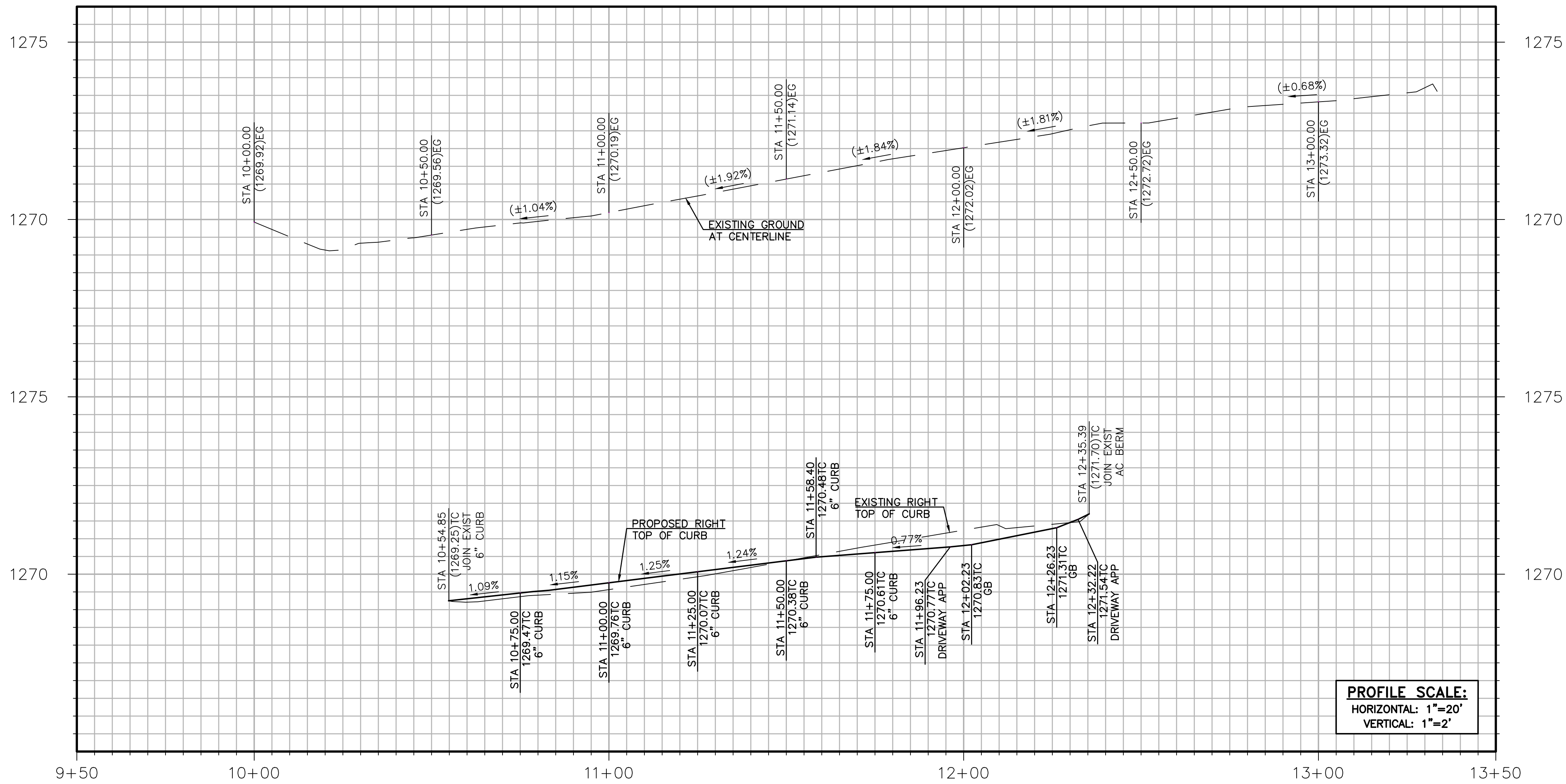
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- (1) CONSTRUCT TYPE 6A CURB PER CITY STD. 202.
- (2) CONSTRUCT TYPE 6A CURB PER CITY STD. 202 WITH CURB CUTS PER DETAIL SHEET 2.
- (3) CONSTRUCT 3' WIDE CROSS GUTTER PER DETAIL SHEET 2.
- (4) CONSTRUCT 4" THK. MIN. AC OVER 12" AB PER SOILS REPORT.
- (5) CONSTRUCT 4" THK. CONC. PER SOILS REPORT.
- (6) ADA FACILITY AND STRIPING PER ARCHITECT'S PLAN.
- (7) INSTALL VARIABLE H. TYPE 6B RETAINING WALL PER CALTRANS STD.B3-7A.
- (8) EXISTING POWER POLE TO BE RELOCATED BY OTHERS.
- (9) TRASH ENCLOSURE PER ARCHITECTURAL PLANS.
- (10) EXISTING RADAR SPEED SIGN TO BE RELOCATED BY OTHERS.
- (11) INSTALL BOLLARD PER DETAIL SHEET 2.
- (12) REMOVE AND REPLACE WITH FULL DEPTH AC PAVEMENT, 2' WIDE.
- (13) CONSTRUCT BIO TREATMENT FACILITY PER DETAIL "B" SHEET 2.
- (14) CONCRETE WHEEL STOP - PER ARCHITECT'S PLAN.
- (15) 6" DIA. PVC PERFORATED SDR 35 PIPE.
- (16) CONSTRUCT BIO TREATMENT FACILITY PER DETAIL "C" SHEET 2.
- (17) CONSTRUCT ADA RAMP PER CITY STD. 214B.
- (18) CONSTRUCT COMMERCIAL DRIVEWAY PER CITY STD. 118B.
- (19) INSTALL REDWOOD HEADER PER CITY STD. 590.
- (20) CONSTRUCT DRIVEWAY APPROACH PER CITY STD. 117.
- (21) INSTALL 6" DIA PVC SCH 40 PIPE.
- (22) CONSTRUCT UNDERGROUND STORM WATER STORAGE W/ PUMP PER SEPARATE PLAN.
- (23) INSTALL DETECTABLE WARNING MAT 48"x72" PER DETAIL ON SHEET 2.
- (24) CONSTRUCT BIO TREATMENT FACILITY PER DETAIL "A" SHEET 2.

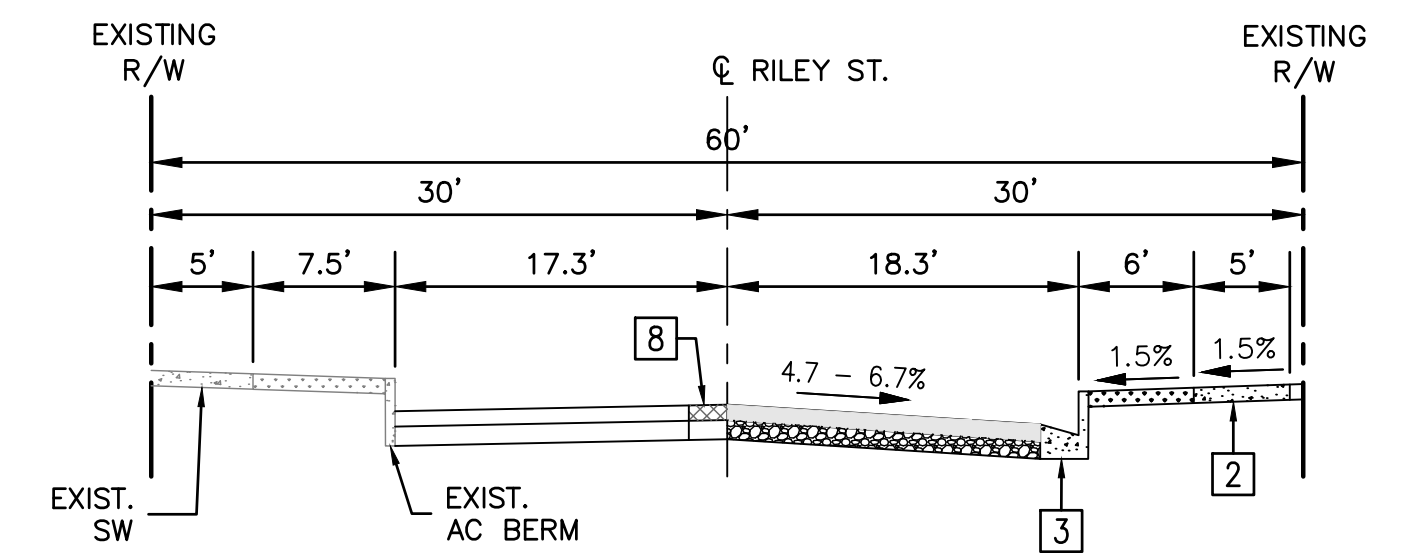
TWO WORKING DAYS BEFORE YOU DIG
TWO WORKING DAYS BEFORE YOU DIG



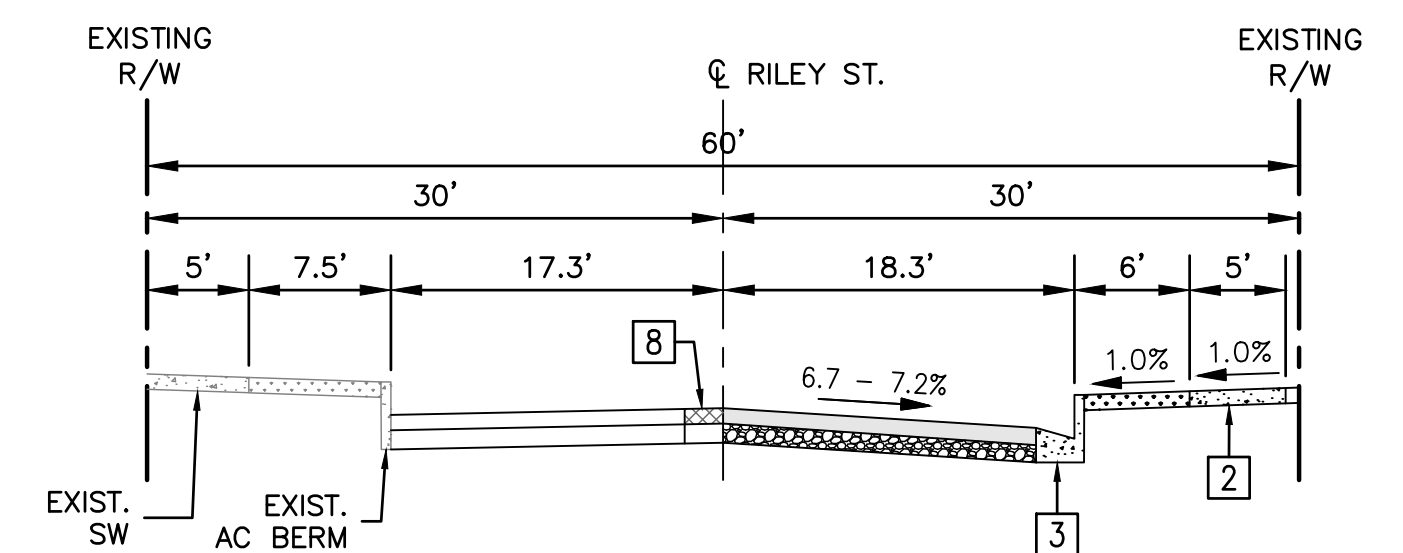
MARK	REVISIONS	APPR.	DATE	THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS AND HAVE BEEN FOUND ACCEPTABLE	PREPARED BY:  1861 W. Redlands Blvd, Bldg 7B Redlands, Ca. 92373 P: (909) 890-1255 F: (909) 890-0995				CITY OF LAKE ELSINORE	SHEET 4
										OF 7 SHEETS
										FILE No.
	REVISIONS TO GRADING PER ARCHITECTURAL MODIFICATIONS			REMON HABIB, RCE No. 83156 CITY ENGINEER CITY OF LAKE ELSINORE	DATE	 JOHN M. BRUDIN R.C.E. 41836 EXP. 3/31/22	11/03/2021 DATE	SCALE: AS NOTED	BENCH MARK: CITY OF LAKE ELSINORE BENCHMARK NUMBER: A-93-13 ELEV: 1384.19' DATUM: NGVD29	PRECISE GRADING PLAN RILEY APARTMENTS 200 RILEY STREET LAKE ELSINORE, CA 92530
								DATE: MARCH 11, 2021		



SAWCUT DETAIL
NOT TO SCALE



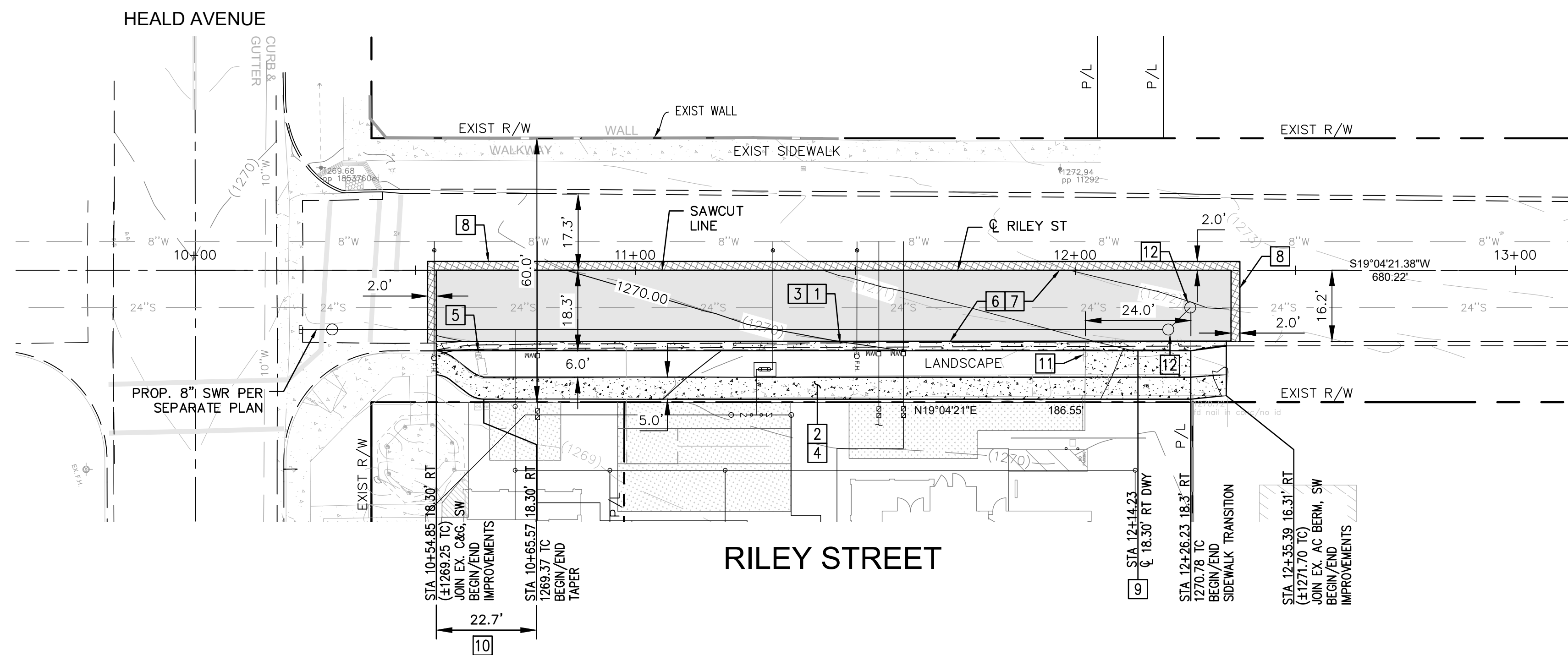
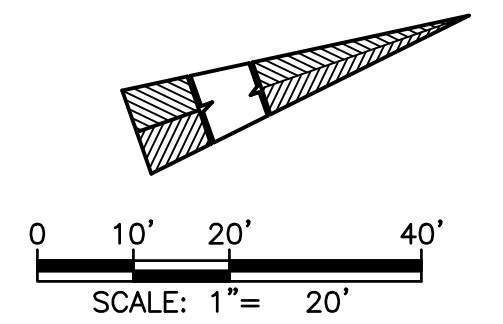
RILEY STREET
TYPICAL STREET SECTION
STA: 10+54.79 TO STA: 11+48.59
NOT TO SCALE



RILEY STREET
TYPICAL STREET SECTION
STA: 11+48.59 TO STA: 12+26.23
NOT TO SCALE

STREET IMPROVEMENT CONSTRUCTION NOTES

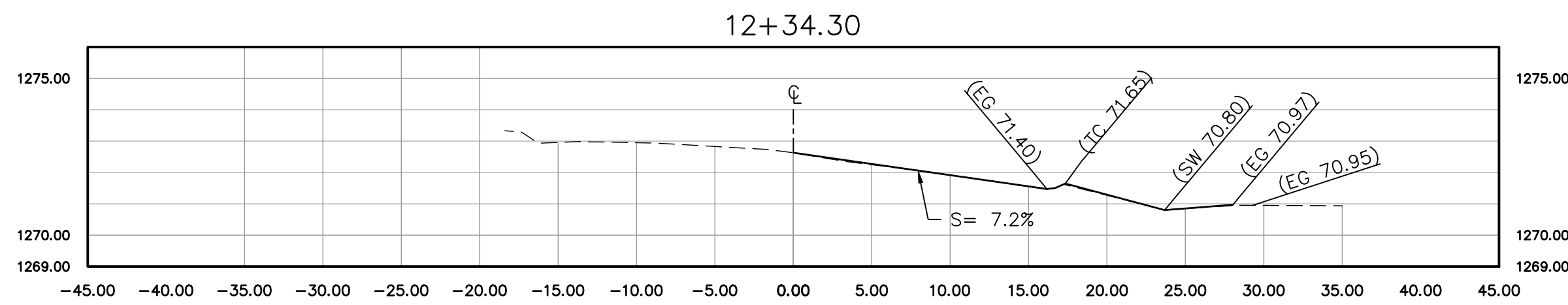
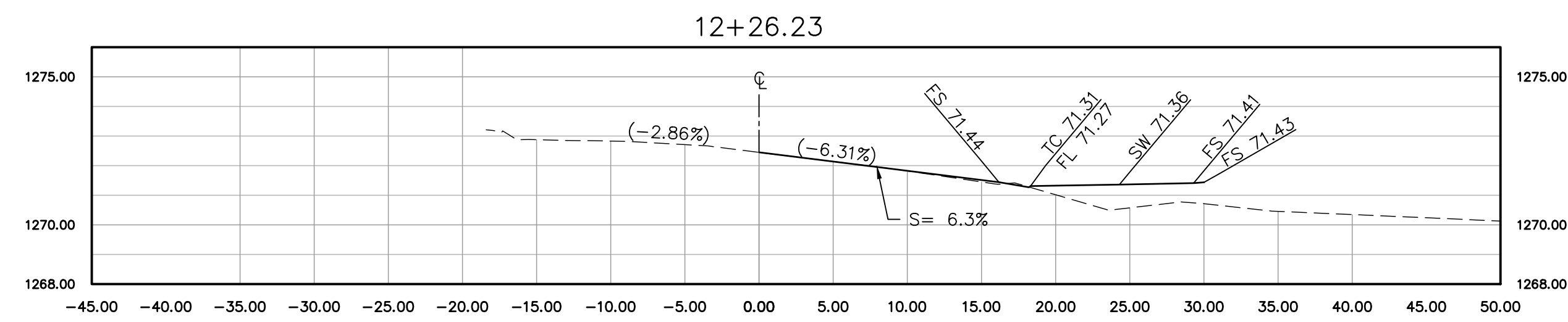
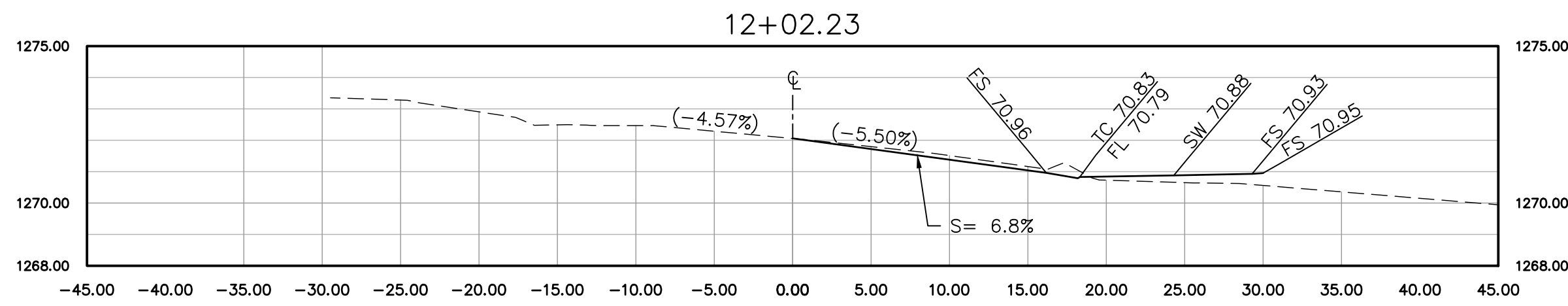
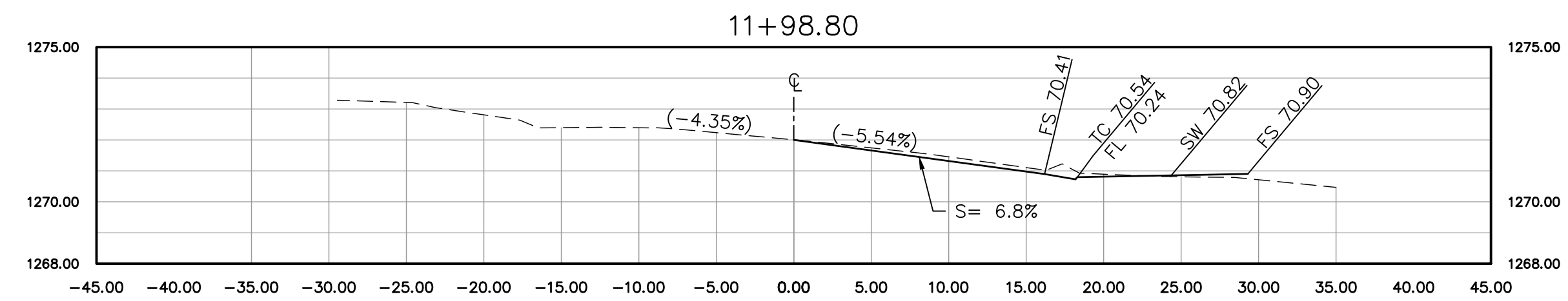
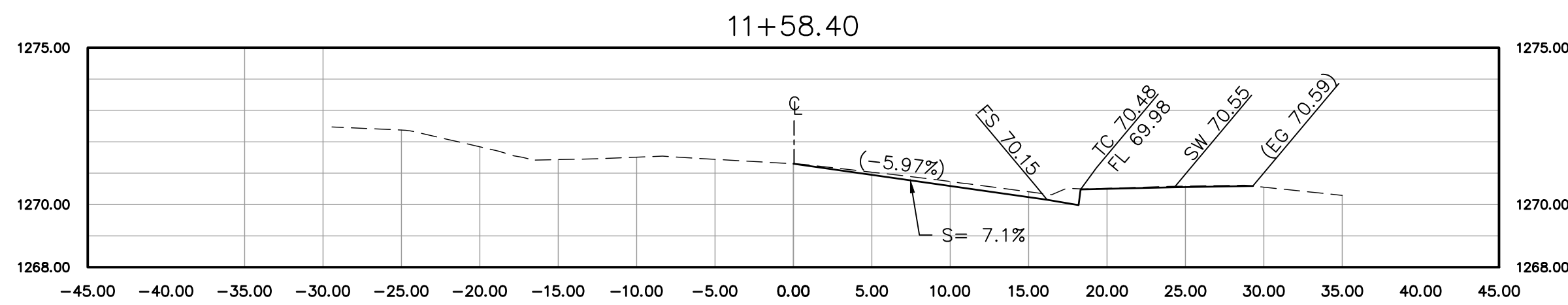
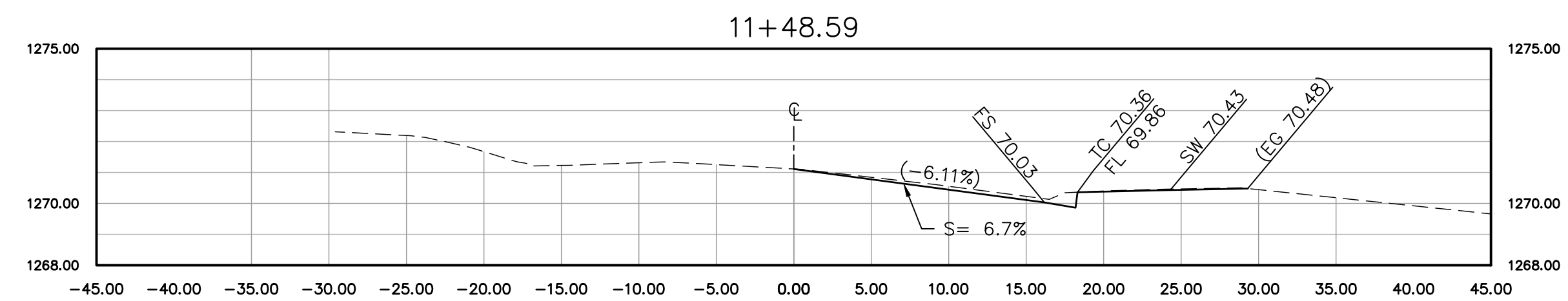
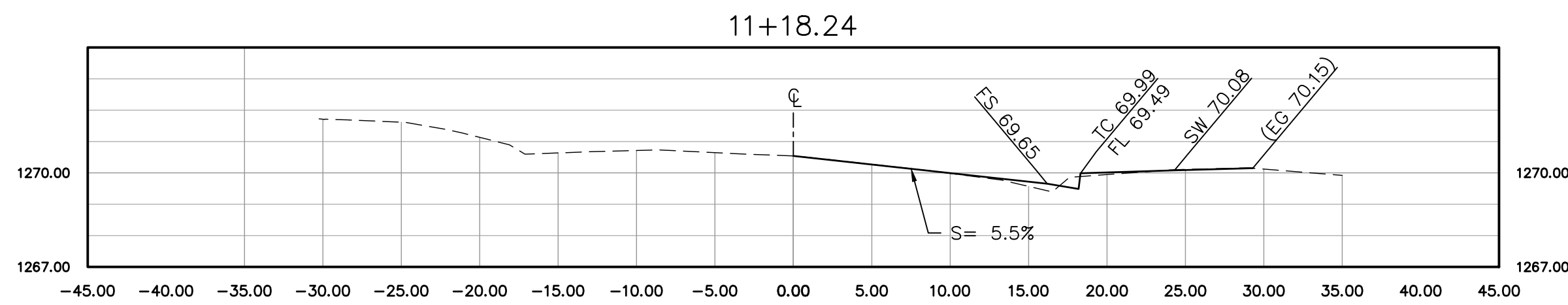
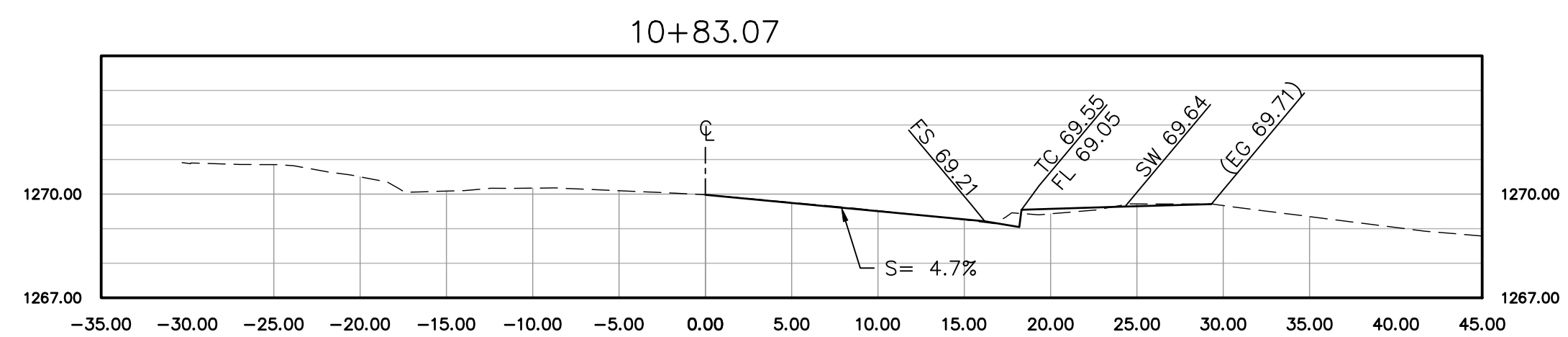
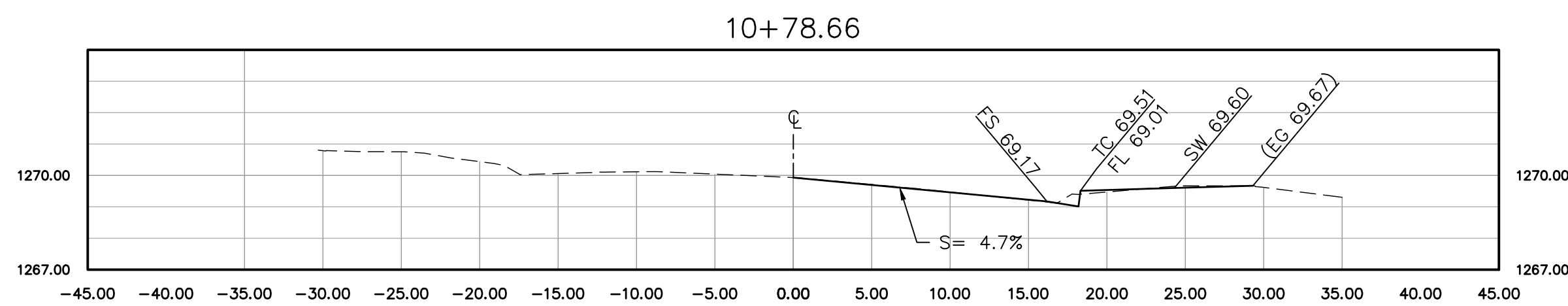
- 1 REMOVE EXISTING CURB.
- 2 REMOVE EXISTING SIDEWALK.
- 3 CONSTRUCT TYPE 6 CURB AND GUTTER PER CITY OF LAKE ELSINORE STD. 202.
- 4 CONSTRUCT 5' NON-CONTIGUOUS SIDEWALK PER CITY OF LAKE ELSINORE STD. 211.
- 5 ADJUST EXISTING WATER METER AND APPURTENANCES TO FINISH GRADE.
- 6 SAWCUT AND REMOVE EXISTING PAVEMENT PER DETAIL ON THIS SHEET.
- 7 CONSTRUCT 3 1/2" AC ON 4" CRUSHED AGGREGATE BASE.
- 8 2" GRIND AND OVERLAY PER DETAIL ON THIS SHEET.
- 9 CONSTRUCT DRIVEWAY APPROACH PER CITY OF LAKE ELSINORE STD. 117.
- 10 CONSTRUCT TAPER PER CITY OF LAKE ELSINORE STD. 127.
- 11 EXISTING SIGN TO BE RELOCATED BY OTHERS.
- 12 ADJUST TO GRADE SEWER MANHOLE.



REVIEWED: C. NORVANI 12-23-21



MARK	REVISIONS	APPR.	DATE	THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS AND HAVE BEEN FOUND ACCEPTABLE	PREPARED BY:	1861 W. Redlands Blvd, Bldg 7B Redlands, Ca. 92373 P: (909) 890-1255 F: (909) 890-0995	SEAL	SCALE: AS NOTED	BENCH MARK: CITY OF LAKE ELSINORE BENCHMARK NUMBER: A-93-13 ELEV: 1384.19' DATUM: NGVD29	CITY OF LAKE ELSINORE	SHEET 5
					ERSC INC.COM Engineering Resources of Southern California	JOHN M. BRUDIN	No. 41836 Exp. 3/31/22 CIVIL STATE OF CALIFORNIA	DATE: MARCH 11, 2021		STREET IMPROVEMENTS PLAN RILEY APARTMENTS 200 RILEY STREET LAKE ELSINORE, CA 92530	OF 7 SHEETS
					REMON HABIB, RCE No. 83156 CITY ENGINEER CITY OF LAKE ELSINORE	12-23-2021 DATE					FILE No. 21-507



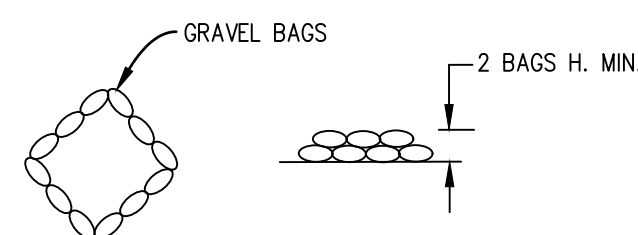
LEGEND

- EXISTING IMPROVEMENTS
- PROPOSED IMPROVEMENTS

REVIEWED: C. NORVANI 12-23-21

ENG-2021-00257

MARK	REVISIONS	APPR.	DATE	THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS AND HAVE BEEN FOUND ACCEPTABLE	PREPARED BY:	1861 W. Redlands Blvd, Bldg 7B Redlands, Co. 92373 P: (909) 890-1255 F: (909) 890-0995	SEAL	SCALE: H= 1"=8' V= 1"=4'	BENCH MARK: CITY OF LAKE ELSINORE BENCHMARK NUMBER: A-93-13 ELEV: 1384.19' DATUM: NGVD29	CITY OF LAKE ELSINORE	SHEET 6
					John M. Brudin	John M. Brudin	REGISTERED PROFESSIONAL ENGINEER No. 41836 Exp. 3/31/22 CIVIL STATE OF CALIFORNIA	DATE: MARCH 11, 2021		STREET SECTIONS RILEY APARTMENTS 200 RILEY STREET LAKE ELSINORE, CA 92530	OF 7 SHEETS
					REMON HABIB, RCE No. 83156 CITY ENGINEER CITY OF LAKE ELSINORE	12-23-2021 DATE					FILE No. 21-508



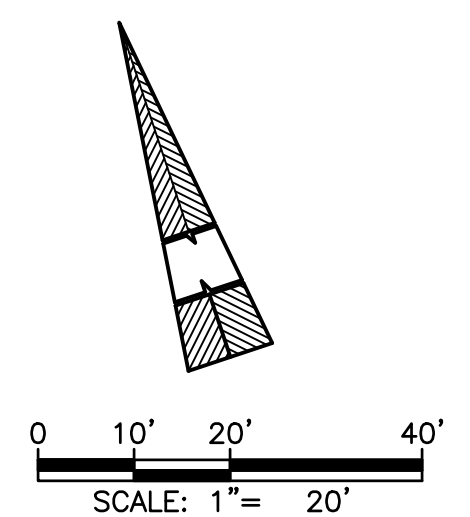
③ STORM DRAIN INLET PROTECTION

NOT TO SCALE



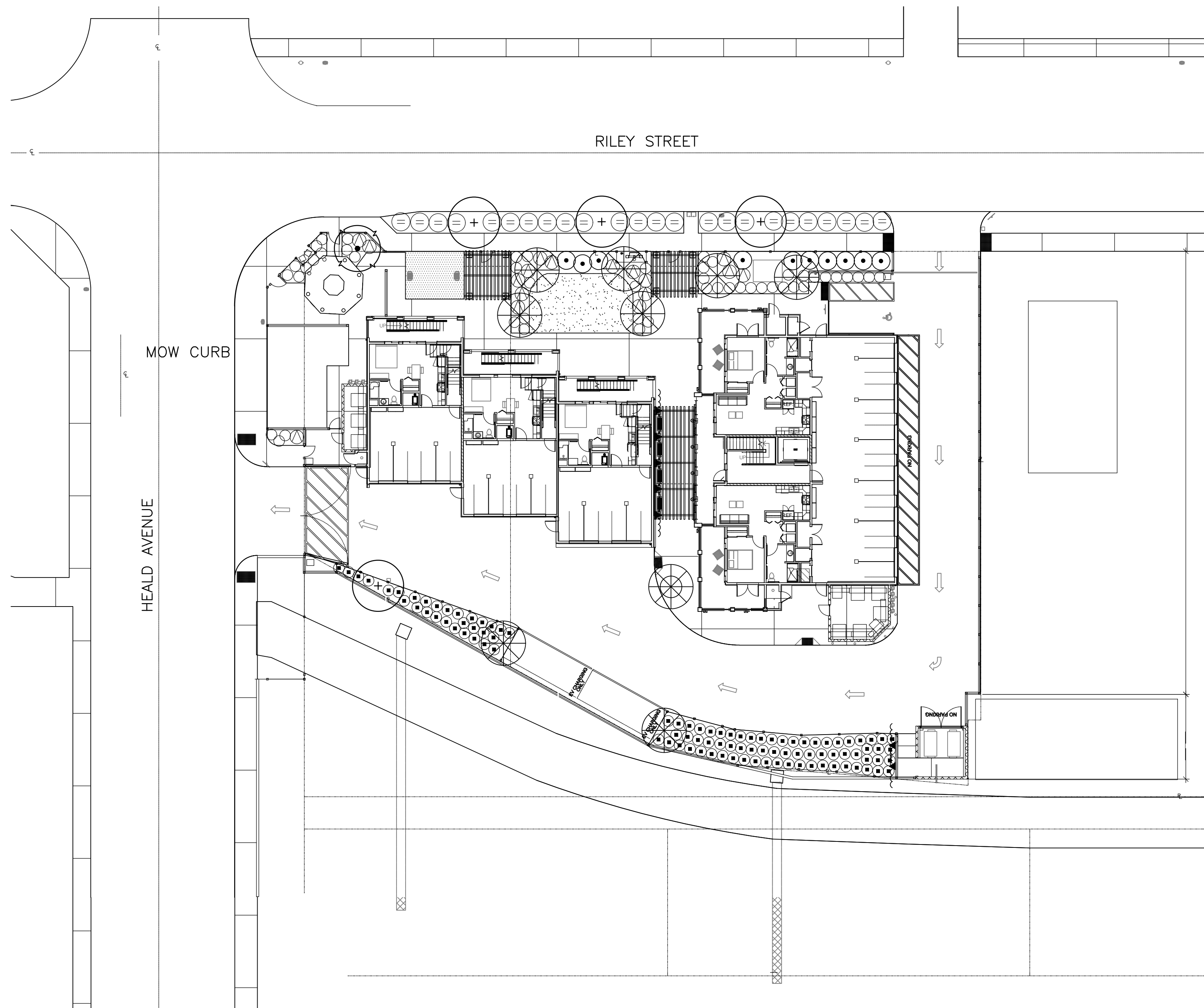
- ① INSTALL/MAINTAIN SILT FENCE PER CASQA BMP SE-1..
- ② CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE/EXIT PER CASQA BMP TC-1 AND DETAIL THIS SHEET..
- ③ CONSTRUCT STORM DRAIN INLET PROTECTION PER CASQA BMP SE-10 AND DETAIL THIS SHEET.
- ④ IMPLEMENT WIND EROSION / DUST CONTROL MEASURES PER CASQA BMP WE-1 THROUGHOUT THE SITE..
- ⑤ MATERIAL DELIVERY AND STORAGE.
- ⑥ VEHICLE STORAGE.
- ⑦ WASTE STORAGE AREA.
- ⑧ VEHICLE WASHING AND MAINTENANCE AREA.

	SAND BAGS
	SILT FENCE
	STABILIZED CONSTRUCTION ENTRANCE
	MATERIAL DELIVERY/STORAGE AREA
	VEHICLE STORAGE AND MAINTENANCE AREA
	VEHICLE WASHING AREA
	WASTE STORAGE AREA



REVIEWED: C. NORVANI 12-23-21

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			 REMON HABIB, RCE No. 83156 CITY ENGINEER CITY OF LAKE ELSINORE	12-23-2021 DATE	JOHN M. BRUDIN R.C.E. 41836 Exp. 3/31/22 DATE 11/03/2021				

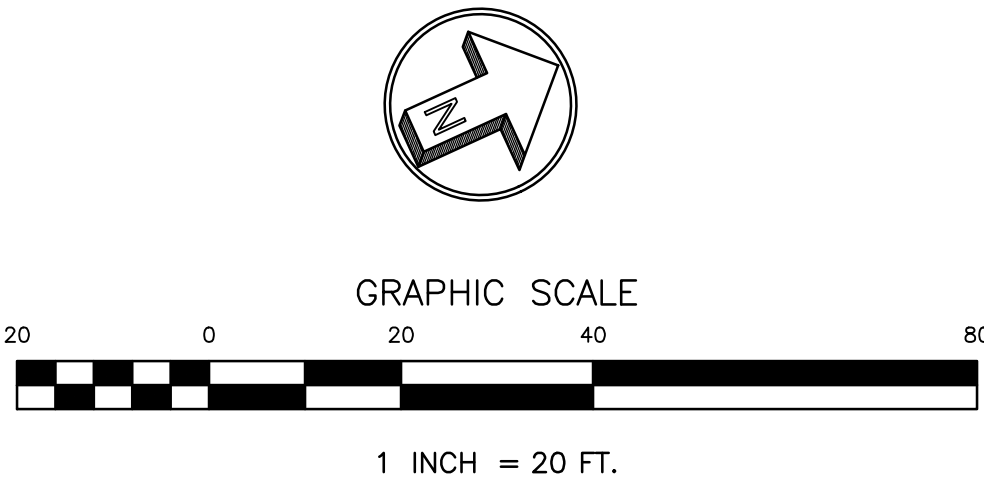


PLANTING NOTES

1. CONTRACTOR SHALL STRIP AND REMOVE ALL EXISTING LAWN AND WEEDS WITHIN THE PLANTING AREAS TYP.
2. ALL PLANTING SHALL CONFORM TO THE CITY OF LAKE ELSINORE'S STANDARDS AND SPECIFICATIONS.
3. SOIL TESTING:
CONTRACTOR SHALL PROVIDE A HORTICULTURAL SOILS ANALYSIS PERFORMED BY A LABORATORY OF THE CALIFORNIA ASSOC. OF AGRICULTURAL LABORATORIES AT THE FIRST IRRIGATION INSPECTION.
CONTRACTOR SHALL ADJUST SOIL AMENDMENT RECOMMENDATIONS TO CONFORM TO SOIL ANALYSIS RESULTS AS REQUIRED.
4. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE OF ALL PLANTING AREAS ON SITE AND SUBSURFACE DRAINAGE FOR ENCLOSED PLANTING AREAS.
5. THE CONTRACTOR SHALL CAREFULLY INSPECT THE SITE AND VERIFY ALL THE CONDITIONS AND DIMENSIONS PRIOR TO PROCEEDING WITH ANY WORK. NOTIFY LANDSCAPE ARCHITECT AND OWNER IF ANY INCONSISTENCIES OCCUR.
6. THE CONTRACTOR SHALL REMOVE ALL WEEDS, ROCKS, DEBRIS AND OTHER EXTRANEIOUS MATERIALS FROM THE JOB SITE.
7. ALL PLANT MATERIALS SHALL BE HANDLED OR STORED SO THAT THEY ARE ADEQUATELY PROTECTED FROM DRYING OUT, FROM SUN OR WIND BURN, OR FROM ANY OTHER INJURY.
8. THE CONTRACTOR SHALL INSTALL TO ALL SHRUB PLANTING AREAS A 3" LAYER OF FOREST FLOOR MEDIUM GRIND WOOD MULCH OR EQUAL, CONTRACTOR SHALL PROVIDE THE OWNER WITH A SAMPLE FOR APPROVAL PRIOR TO INSTALLATION.
9. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES SHOWN ON PLANS.
10. SEE SHEET L-3 FOR DETAILS AND L-4 FOR SPECIFICATIONS.
11. THERE SHALL BE NO SHRUBS TALLER THAN 3' OR TREE LIMBS LOWER THAN 7' IN THE SIGHT DISTANCE AREA TYP.
12. CONTRACTOR SHALL TURN OVER SOIL AMENDMENT VERIFICATION TICKETS TO THE COUNTY INSPECTOR.

PLANTING LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	SIZE	NUMBER	REMARKS	WUCOLS IV
TREES:						
	CERCIDIUM 'DESERT MUSEUM'	DESERT MUSEUM PALO VERDE	24" BOX	1	DOUBLE STAKE / HEIGHT 8-10' , SPREAD 3'-4' MIN.	L
	CHITALPA TASHKENTENSIS 'PINK DAWN'	PINK FLOWERING CHITALPA	24" BOX	9	DOUBLE STAKE / HEIGHT 8-10' , SPREAD 3'-4' MIN.	L
	LAURUS NOBILIS 'SARATOGA'	BAY LAUREL	24" BOX	4	DOUBLE STAKE / HEIGHT 8-10' , SPREAD 3'-4' MIN.	L
SHRUBS:						
	ANAGOZANTHUS FLAVIDUS 'VELVET AMBER'	AMBER KANGAROO PAWS	1 GAL	49	FULL & BUSHY @ 3' O.C.	L
	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	17	FULL & BUSHY @ 3' O.C.	L
	JUNCUS PATENS	CALIFORNIA GREY RUSH	1 GAL.	97	FULL & BUSHY @ 3' O.C. IN BASINS	L
	LEUCOPHYLLUM FRUTESCENS 'GR. CLOUD'	GREEN TEXAS RANGER	5 GAL	10	FULL & BUSHY @ 5' O.C.	L
	WESTRINGIA FRUTICOSUM 'MUNDI'	PROSTRATE CAPE ROSEMARY	1 GAL.	24	FULL & SPREADING @ 5' O.C.	L
VINES :						
	MACFADYENA UNGUIS-CATI	CAT'S CLAW	5 GAL	7	ATTACH TO TRASH ENCLOSURE WALLS & FENCES	L
MULCH COVER:						
	MEDIUM GRIND WOOD MULCH	SHREDDED WOOD MULCH	3" MAX.	AS REQ'D.	3" DEEP - INSTALL TO ALL PLANTING AREAS	
	FESTUCA ARUNDIACEA 'TURF TALL FESCUE'	TURF TYPE TALL FESCUE	SOD	AS REQ'D.	PLANT PER SPECIFICATIONS	
	TAN DECOMPOSED GRANITE	SHREDDED WOOD MULCH	N.A.	AS REQ'D.	3" DEEP - INSTALL TO PICNIC AREA	

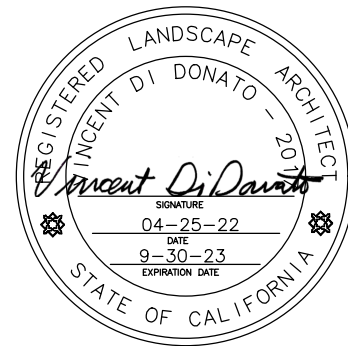


PLANTING PLAN



42095 Zero drive, Suite A15 Temecula, California 92590-3780
Phone 951.296.9110 Email: stk@stkinc.com

CONSULTANTS:



ALHAMBRA GROUP
LANDSCAPE ARCHITECTURE
CALIFORNIA LICENSE #20117
RECREATION FACILITIES PLANNING
41635 ENTERPRISE CIRCLE NORTH, SUITE C
TEMECULA, CA 92590 (951) 296-6802

PROJECT FOR:
**CITY OF
LAKE ELSINORE**
RILEY ST. & W HEALD AVE.
LAKE ELSIONRE, CA 92530

PROJECT NAME:

RILEY
APARTMENTS

ISSUE INFORMATION:

DATE: INFORMATION:

SEAL:

SHEET INFORMATION:

PROJECT NO.:
SCALE: AS NOTED
DATE: APRIL 2022

SHEET TITLE:

Planting
Plan

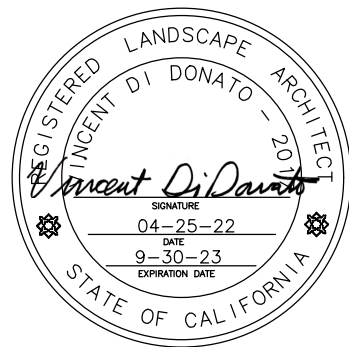
SHEET NO.:

L-1



43095 Zeno drive, Suite A15 Temecula, California 92590-3780
Phone 951.296.9110 Email: stk@stknrc.com

CONSULTANTS:



ALHAMBRA GROUP
LANDSCAPE ARCHITECTURE
CALIFORNIA LICENSE #2017
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TEMECULA, CA 92590 (951) 296-6802

PROJECT FOR:
**CITY OF
LAKE ELSINORE**
RILEY ST. & W HEALD AVE.
LAKE ELSINORE, CA 92530

PROJECT NAME:

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APARTMENTS**

ISSUE INFORMATION:

DATE: INFORMATION:

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SCALE:

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SEAL:

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PROJECT NO.:

SCALE: AS NOTED

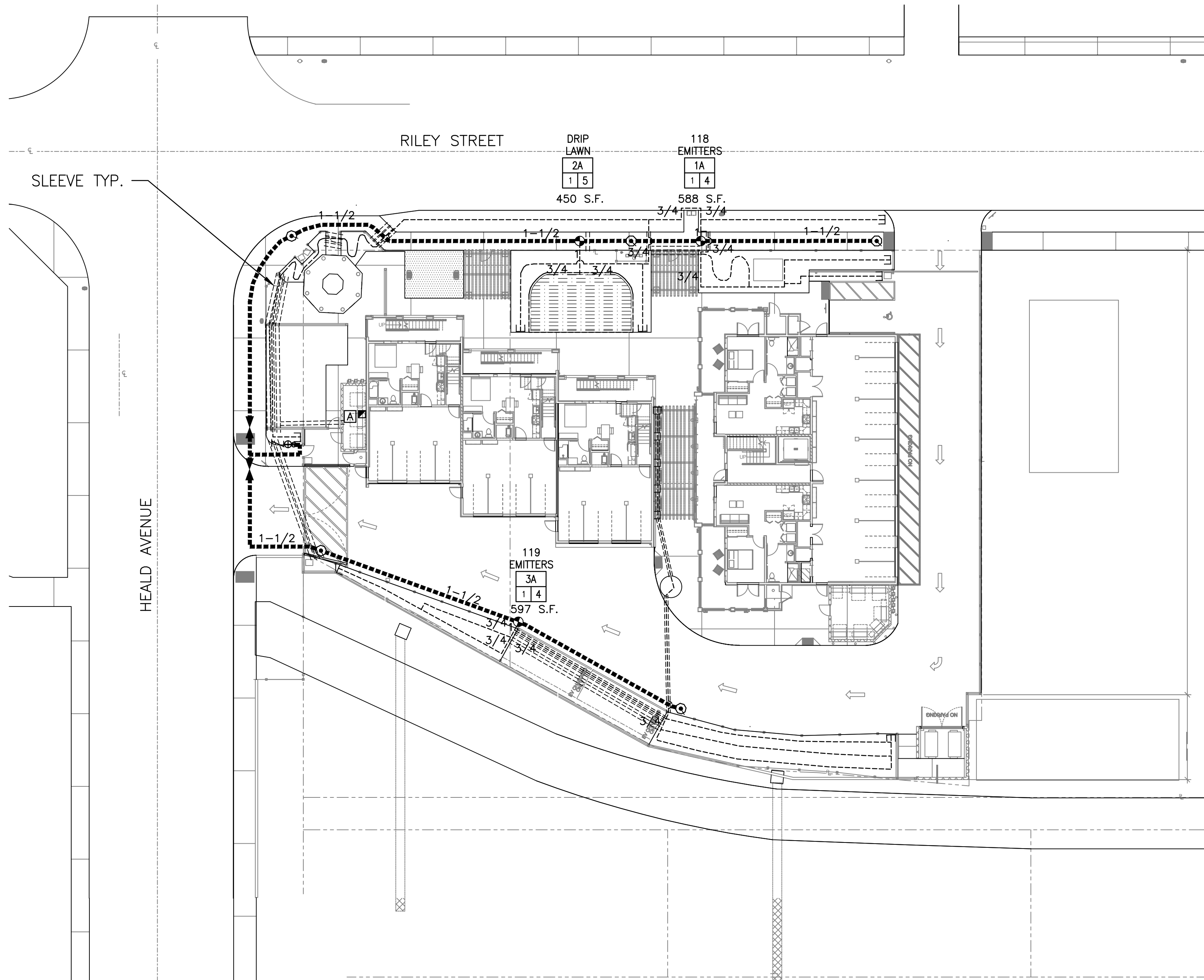
DATE: APRIL 2022

SHEET TITLE:

**Irrigation
Plan**

SHEET NO.:

L-2



IRRIGATION NOTES

- IRRIGATION SYSTEM IS SHOWN DIAGRAMMATICALLY. LOCATE ALL PIPE AND EQUIPMENT WITHIN PLANTING AREAS WHEREVER POSSIBLE.
- LOCATE PRESSURE LINES WITHIN 18" OF EDGE OF HARDSCAPE IN PLANTING AREAS.
- TREE LOCATIONS TAKE PRECEDENCE OVER IRRIGATION PIPING & DRIP LINE. STAKE TREE LOCATIONS PRIOR TO TRENCHING PIPE.
- CONTRACTOR SHALL INSTALL THE SOLAR CONTROLLER IN A SECURE LOCATION NEAR THE MASTER VALVE AS SHOWN ON THE PLANS.
- CONTRACTOR SHALL INSPECT THE SITE AND VERIFY ALL CONDITIONS PRIOR TO PROCEEDING WITH ANY WORK. TO ALLOW FOR ADEQUATE IRRIGATION COVERAGE AS SHOWN ON PLAN, ADJUST DRIP LINE & TO COMPENSATE FOR ANY CHANGES IN AREA.
- TO ENSURE PROPER LOCATION OF IRRIGATION SLEEVE INSTALLATION COORDINATE LOCATION OF MAINLINE, DRIP LINES AND CONTROL WIRES WITH ALL OTHER RELATED TRADES AS REQ.
- ALL BRASS FITTINGS TO BE RED BRASS TYPICAL.
- USE 3/4" TEFLON TAPE ON ALL THREADED CONNECTIONS.
- IRRIGATION SYSTEMS DESIGNED FROM A STATIC WATER PRESSURE OF 80.0 P.S.I., CONTRACTOR SHALL VERIFY WATER PRESSURE AT WORST CONDITION AND CONTACT LANDSCAPE ARCHITECT IF ANY INCONSISTENCIES OCCUR.
- CONTROL WIRE SCHEDULE: (MAX. LENGTH OF RUNS)

CONTROL/Common	NO. 14	NO. 12	NO. 10	NO. 8
NO. 14	1700'	2000'	2400'	2700'
NO. 12		2700'	3300'	3800'
NO. 10			4300'	5200'
NO. 8				6700'
- ABOVE WIRING SCHEDULE IS BASED ON THE USE OF A 24 VOLT AUTOMATIC IRRIGATION CONTROLLER & WIRE SIZE IS BASED ON OPERATING ONE VALVE AT A TIME.
- ALL IRRIGATION SHALL CONFORM TO THE CITY OF LAKE ELSINORE STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL PROVIDE A CONTROLLER CHART THAT DEPICTS THE VALVE LOCATIONS, NUMBERS & THE AREA THE VALVE CONTROLS.

BLU-LOCK SPECIFICATIONS

HIGH DENSITY POLYETHYLENE PIPE AND FITTINGS:

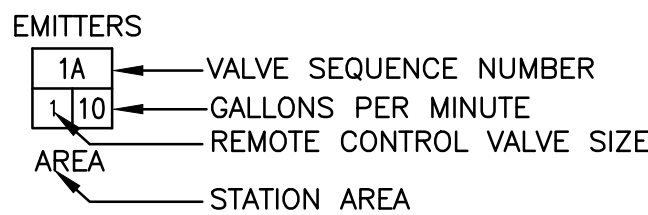
A. ALL PIPE SHALL BE CONSTRUCTED OF VIRGIN HIGH DENSITY POLYETHYLENE (HDPE) RESIN WITH THE CELL CLASSIFICATION OF 345464C PER ASTM D 2239 OR ASTM D 2737. THE MATERIAL SHALL CONTAIN 2% CARBON BLACK AS A UV INHIBITOR TO ACCOMMODATE OUTSIDE STORAGE.

B. ALL PIPE FITTINGS SHALL BE CONSTRUCTED FOR QUICK COUPLE PUSH-ON INSTALLATION WITHOUT THE USE OF GLUE OR CLAMPS ONTO 1/2" SWING, OR 3/4", OR 1", HDPE 3408 SDR 15 LATERAL PIPE.

C. FITTINGS SHALL BE BUILT OF ABS MATERIAL WITH A STAINLESS STEEL RETAINING RING AND EPDM SEAL MATERIAL.

D. FITTINGS SHALL BE FOR OUTDOOR USE ONLY ON COLD WATER.

TYPE: HYDRO-RAIN BLU LOCK OR APPROVED EQUAL



IRRIGATION LEGEND

SYMBOL	MANUFACTURER	MODEL NO.	REMARKS - SEE SHEET L-3 FOR DETAILS AND L-4 FOR SPECIFICATIONS
[A]	HUNTER	1C-600	6 STATION CONTROLLER- INSTALL ON THE INSIDE OF AIR CONDITIONER SCREEN WALL W/ 120V AC CONNECTION
[S]	HUNTER	SOLAR SYNC	INSTALL NEAR CONTROLLER ON INSIDE OF WALL
[Z]	FEBCO	825-YA-3/4"	REDUCED PRESSURE B.P.U., INSTALL IN PLANTING AREA
[G]	HUNTER	FLOW-CLK-100	1" FLOW SENSOR
[R]	RAINBIRD	XCZ-100-PRB-COM	1" REMOTE CONTROL VALVE KIT WITH 40 PSI PRESSURE REGULATOR
[M]	HUNTER	ICV-101G	1" MASTER CONTROL VALVE
[Q]	RAINBIRD	44DLRC	1" QUICK COUPLING VALVE
[B]	BOWSMITH	SB-20	2 GPH DRIP EMITTER (1 EMITTER FOR EACH SHRUB).
[N]	NIBCO	T-580	BRASS BALL VALVE LINE SIZE - TYPICAL
[PAC]	PAC. PLASTICS	SCH 40	PRESSURE TYPE MAINLINE - INSTALL WITH 24" MINIMUM COVER
[FLO]	FLO-CONTROL	1520-10/1012-10	LINE SIZE SWING/SPRING CHECK VALVE. SWING TYPE FOR UPHILL & SPRING TYPE FOR DOWNHILL.
[PAC]	PAC. PLASTICS	SCH 40	NON-PRESSURE TYPE SLEEVE 2 TIMES THE DIAMETER OF THE MAIN, LATERAL AND WIRE BUNDLE TYP.
[HYD]	HYDRO-RAIN	BLU-LOCK	NON-PRESSURE LATERAL LINE-INSTALL 2" BELOW GRADE EXCEPT UNDER PAVEMENT INSTALL 12" BELOW GRADE-SEE DETAILS.
[E]	HYDRORAIN/ORBIT	MODEL 5024	AUTOMATIC DRAW FLUSH VALVE
[PAC]	PAC. PLASTICS	SCHEDULE 40	NON-PRESSURE TYPE LATERAL - INSTALL WITH 12" MINIMUM COVER
[XFS]	RAINBIRD	XFS-09-18	NON-PRESSURE LATERAL LINE-INSTALL ALL COMPONENTS PER DETAILS - INCLUDING FLUSH VALVE AND AIR RELIEF VALVE.

DRIP SYSTEM PRESSURE LOSS CALCS.

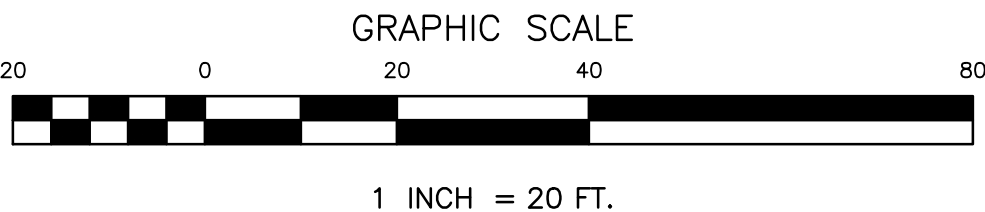
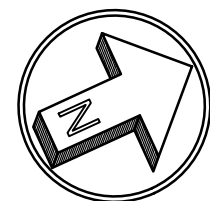
VALVE 1A @ 4 G.P.M.
PRESSURE AVAILABLE AT METER : 60.0 P.S.I.

EQUIPMENT	SIZE	P.S.I. LOSS
METER	1"	(0.7)
B.P.U.	1"	(11.0)
MASTER VALVE	1"	(1.5)
BALL VALVE	1"	(1)
R.C.V.	1"	(1.5)
MAIN LINE	1"	(0.9)
ELEVATION CHANGE	0'	(0.00)

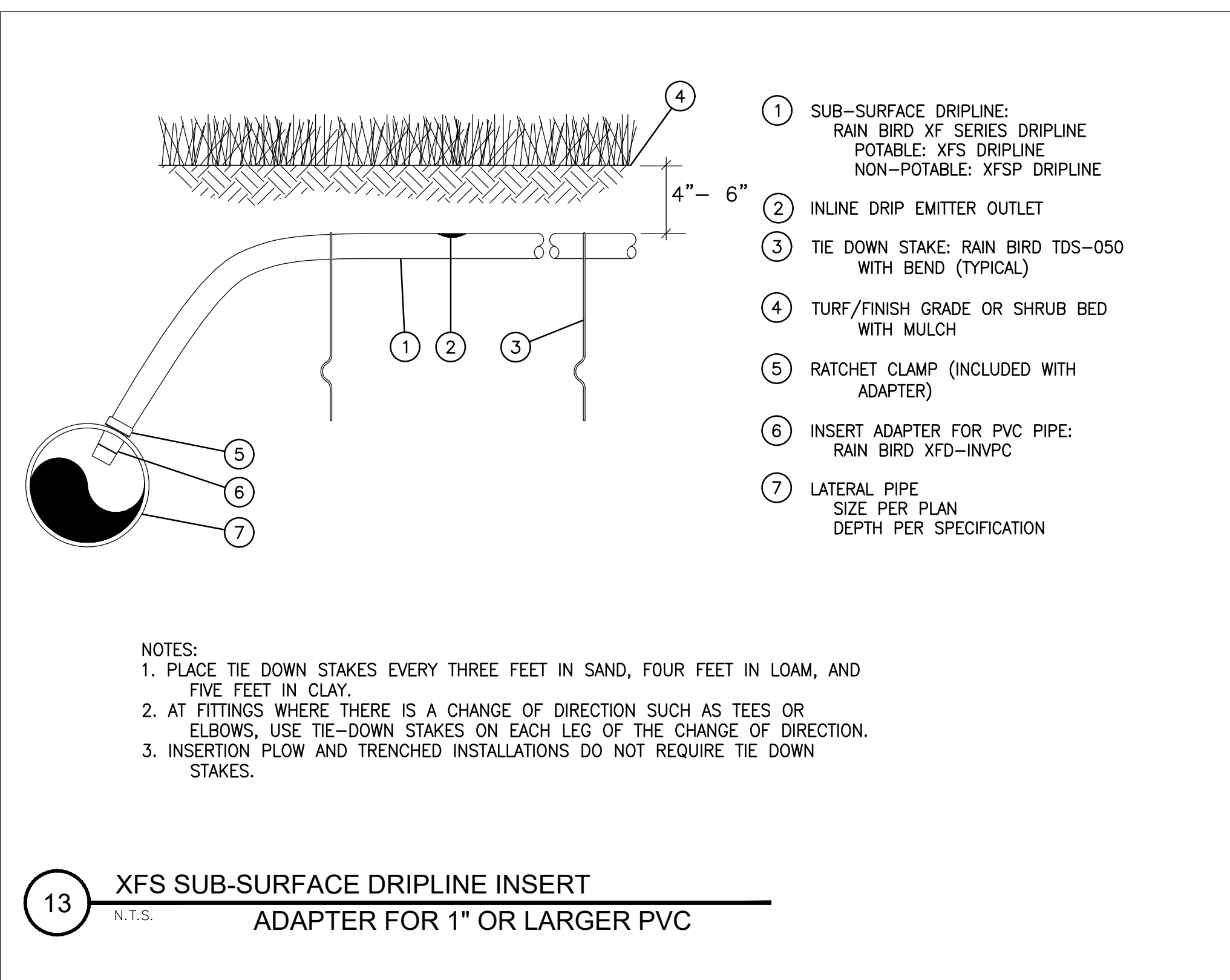
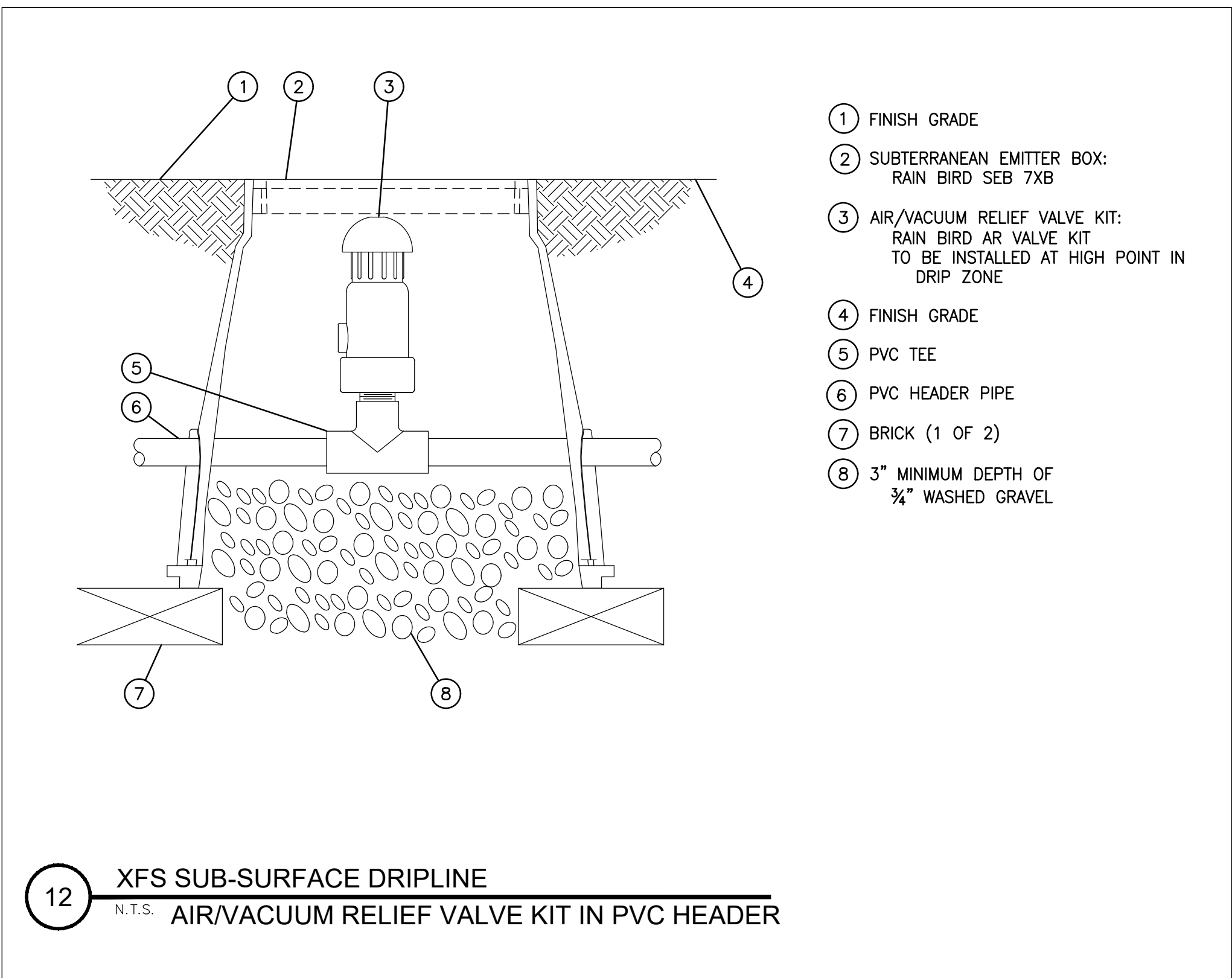
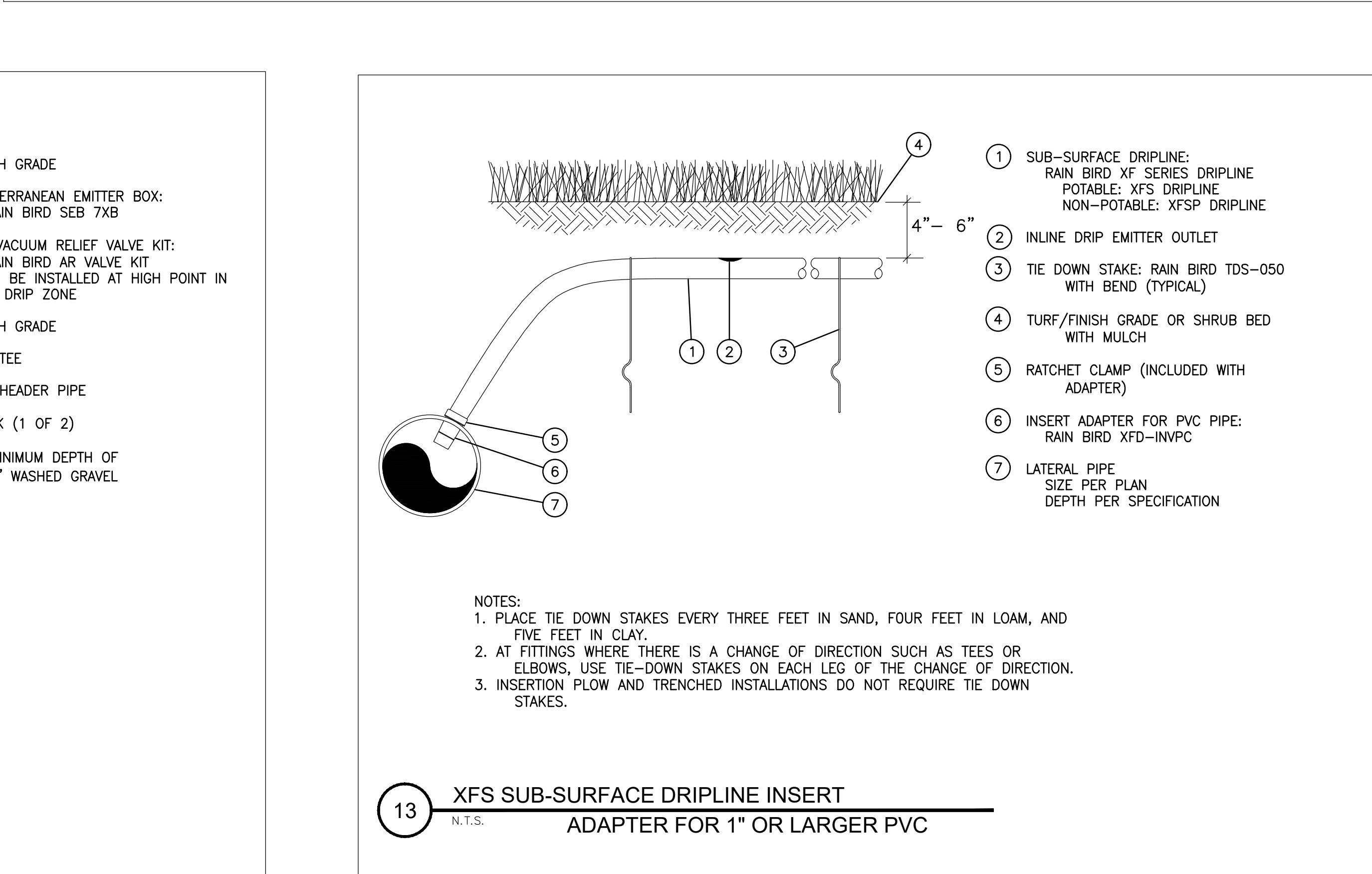
P.S.I. LOSS BEFORE REMOTE CONTROL VALVE: (15.7 P.S.I.)
PRESSURE AVAILABLE AT VALVE: 44.3 P.S.I.
VALVE REDUCES PRESSURE TO: 40.0 P.S.I.

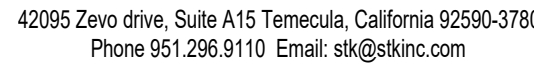
EQUIPMENT	SIZE	P.S.I. LOSS
LATERAL LINES	VARIES	(5.0)
EMITTERS	N/A	(20.0)
ELEVATION CHANGE	0'	(0)

P.S.I. LOSS AFTER PRESSURE REGULATOR: (25.0 P.S.I.)
TOTAL RESIDUAL PRESSURE: 15.0 P.S.I.



IRRIGATION PLAN





LANDSCAPE ARCHITECTURE
CALIFORNIA LICENSE #2017
RECREATION FACILITIES PLANNING
41635 ENTERPRISE CIRCLE NORTH, SUITE C
TEMECULA, CA 92590 (951) 296-6802

[illegible]

SEAL

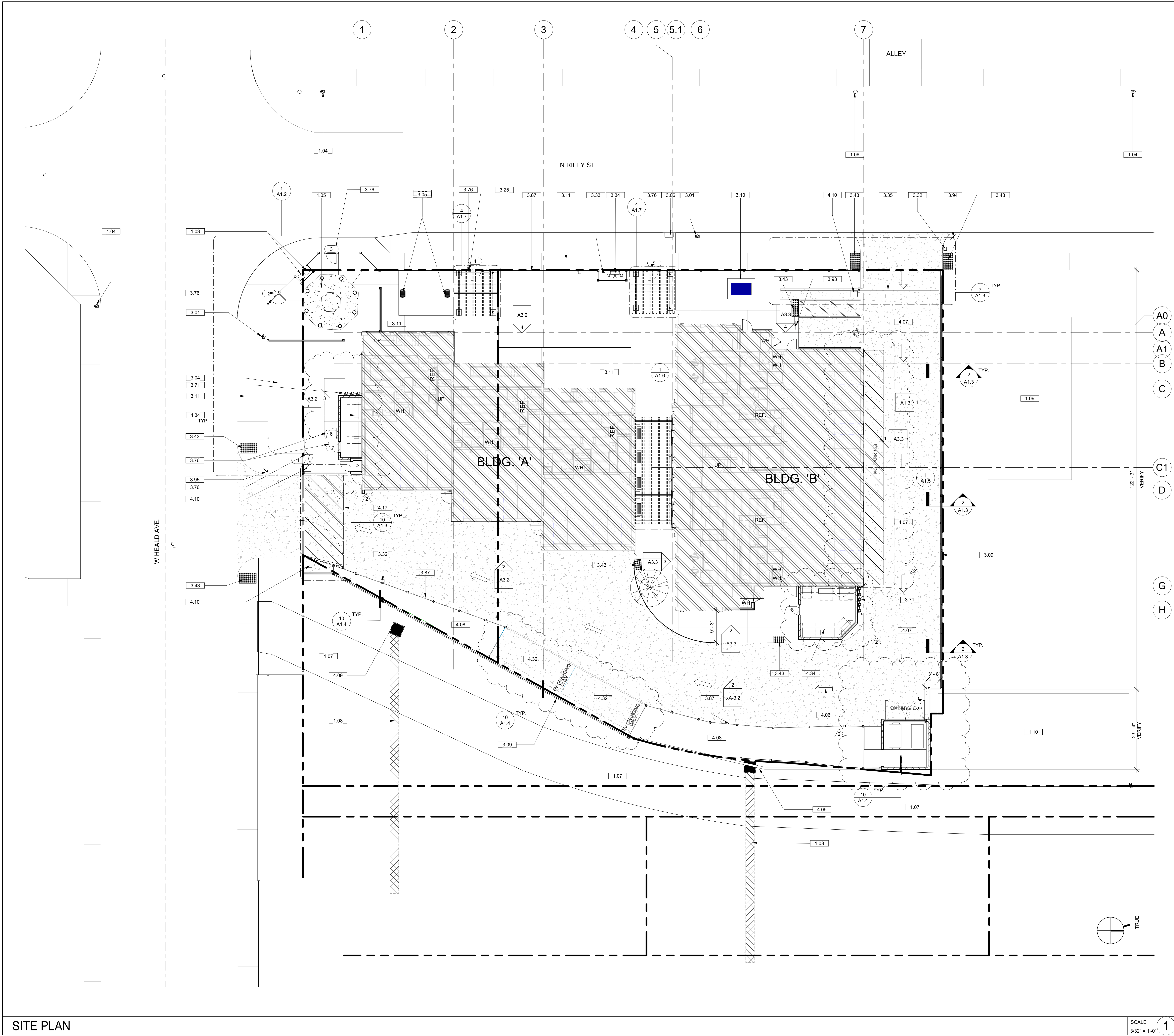
SHEET TITLE

SHEET NO.:

- THE CONTRACTOR MAY BE RELIEVED FROM MAINTENANCE WORK WHEN THE FINAL (60) CALENDAR DAY MAINTENANCE WORK HAS BEEN SATISFACTORILY COMPLETED TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.

12. CONTRACTOR SHALL USE ANY MEANS NECESSARY TO PROTECT ALL PLANTED AREAS FROM FOOT TRAFFIC INCLUDING BUT NOT LIMITED TO STAKES & WARNING TAPE.

SHEET TITLE



SITE PLAN

SCALE
3/32" = 1'-0"

KEY NOTE

1.03 (E) MONUMENT BLOCKS TO REMAIN, PROTECT. TYPICAL.

1.04 (E) FIRE HYDRANT TO REMAIN, PROTECT.

1.05 (E) HISTORICAL GAZEBO TO REMAIN, PROTECT.

1.06 (E) UTILITY POLE TO REMAIN, PROTECT.

1.07 (E) HISOTRIC RIVERWALK, PROTECT.

1.08 (E) CONCRETE DRAINS TO TEMESCAL WASH. VERIFY SEE CIVIL.

1.09 (E) HOUSE N.I.C.

1.10 (E) GARAGE N.I.C.

3.01 (N) FIRE HYDRANT. RELOCATE PER CIVIL.

3.04 PLAYGROUND RUBBER SOLID SURFCAE, (NIC).

3.05 BARBECUE GRILLS (NIC).

3.06 MAILBOX.

3.09 CMU WALL WITH FENCE. ELEVATE ALL CMU WALL WITH CIVIL DRWGS SEE DETAIL 2/A1.3.

3.10 SCE PAD MOUNTED TRANSFORMER.

3.11 4" CONCRETE SIDEWALK W/ EXPANSION JOINTS AT 30' O.C. AND SAWCUT CONTROL JOINTS AT 5' O.C.

3.25 ALUMAWOOD WALKWAY TRELLIS, SPANISH BROWN.

3.32 GATE ACCESS CONTROL, WITH KNOX BOX.

3.33 POST INDICATOR VALVE. SEE CIVIL.

3.34 DETECTOR CHECK SEE CIVIL.

3.35 ROLLING GATE SEE DETAIL 7/A1.3.

3.43 DETECTABLE WARNING-3" WIDE TRUNCATED DOMES PROVIDED PER C.B.C. FIGURE 11B-705.1, YELLOW COLOR.

3.71 GAS METER. SEE PLUMBING DWGS.

3.76 METAL PERSONAL GATE & FENCE.

3.87 6" HIGH ORNAMENTAL METAL FENCE. SEE DETAIL 1/A1.4.

3.93 ADA PARKING SIGN SEE DETAIL 2/A1.2.

3.94 PRIVATE PARKING ONLY SIGN.

3.95 NOT AN ENTRANCE EXIT ONLY SIGN. SEE DETAIL 4/A1.4.

4.06 OSHA YELLOW DIRECTIONAL ARROWS, 12" WIDE X 36" LONG (TYP.).

4.07 AC PAVING OVER CLASS 2 BASE, SEE CIVIL & GEOTECHNICAL REPORT.

4.08 DETENTION BASIN. SEE CIVIL (TYP.).

4.09 CONNECT DRAIN TO (E) 1.08. SEE CIVIL DWGS.

4.10 SWINGING GATE MOTOR.

4.17 OSHA YELLOW 4" STRIPES.

4.32 EV (ELECTRIC VEHICLE) CHARGING STATION WITH EV PARKING SIGN. SEE ELECTL DWGS.

4.34 CONDENSING UNITS.

TAG LEGEND

XX DOOR TAG

XX WINDOW TAG

NOTE: REFER TO SHEET A2.12 & A2.13 FOR DETAILS.

STK
ARCHITECTURE, INC.

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Phone 951.285.9115 Email: stk@stkar.com

CONSULTANTS:

PROJECT FOR:

CITY OF
LAKE ELSINORE
130 SOUTH MAIN ST.
LAKE ELSINORE, CA 92530

PROJECT NAME:

RILEY
APARTMENTS

200 N. RILEY ST.
UNITS 1-9
LAKE ELSINORE, CA 92530

ISSUE INFORMATION:

DATE:	INFORMATION:
09/01/2020	SCHEMATIC DESIGN
12/09/2020	CUP SET
05/2021	PLAN CHECK SET
08/03/2021	PLAN REVISION 1
04/22/2022	PLAN REVISION 2

REVISIONS

No	Date	Description
2	04/25/2022	Revision 2

SEAL:

REGISTERED ARCHITECT
No. C22977
REN 11-30-21
STATE OF CALIFORNIA

SHEET INFORMATION:

PROJECT NO.: 316-18-20
SCALE: As indicated
DATE: August 03, 2021

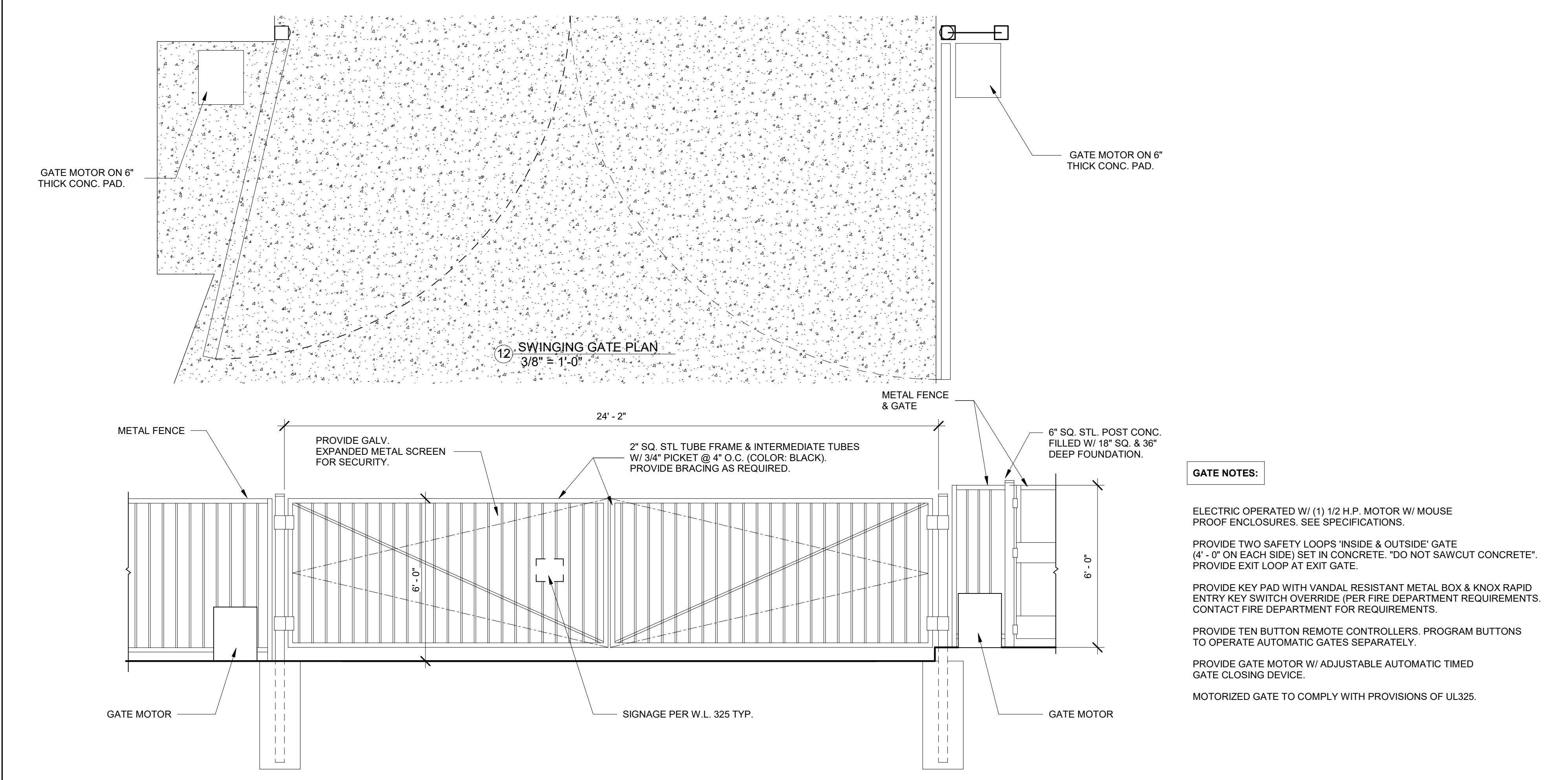
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SITE PLAN

SHEET NO.:

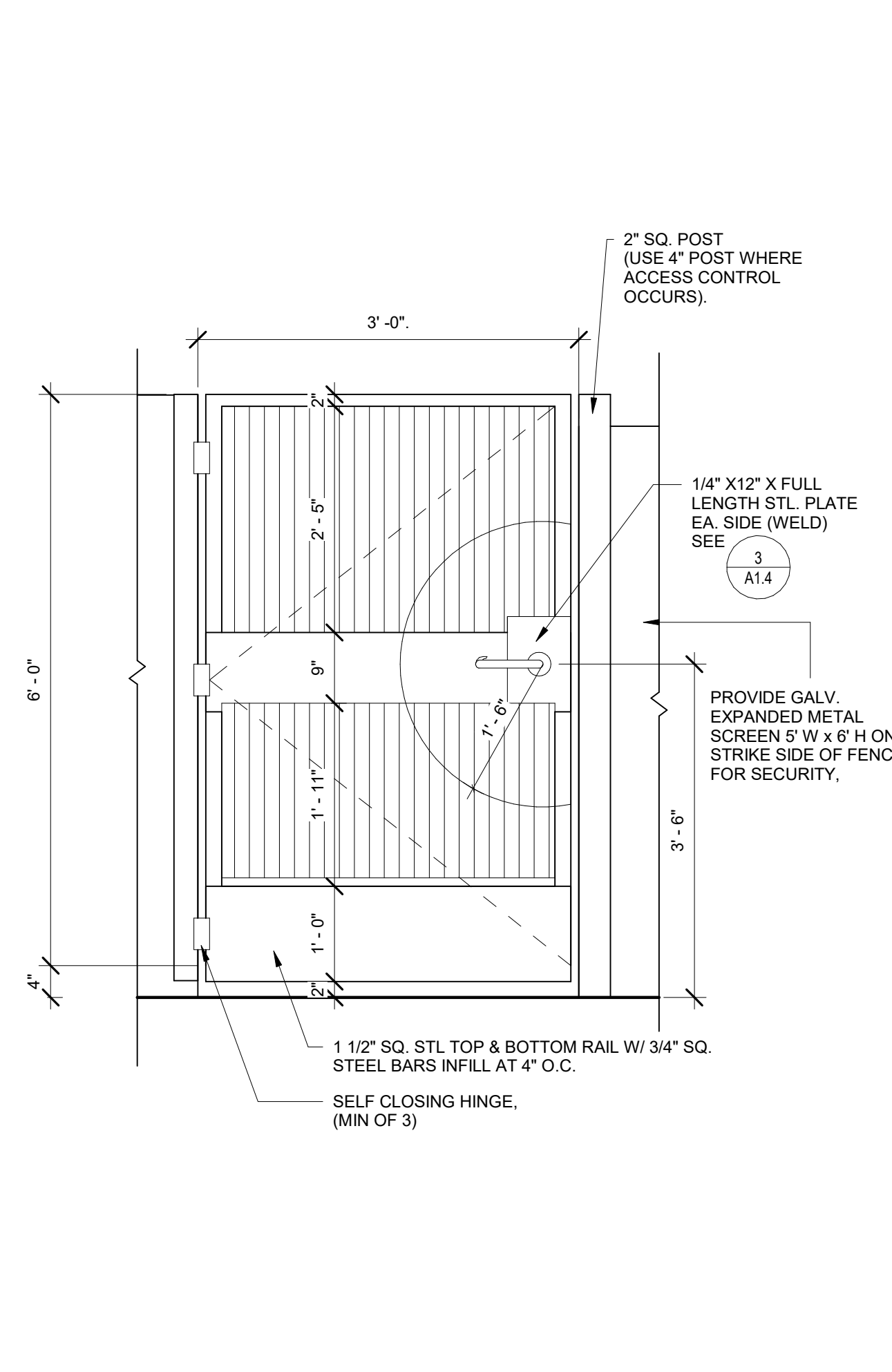
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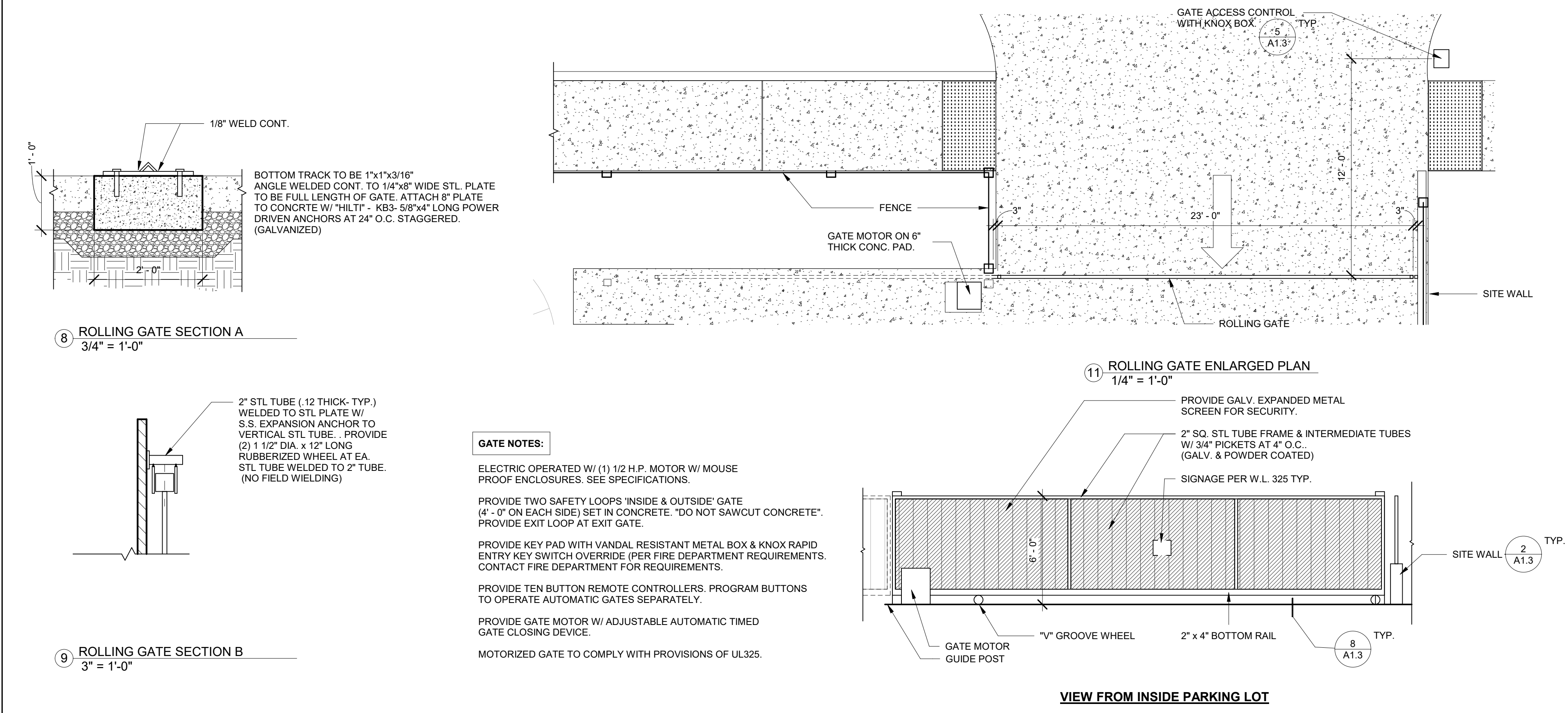
MOTORIZED SWINGING GATE

SCALE 3/8" = 1'-0" 10



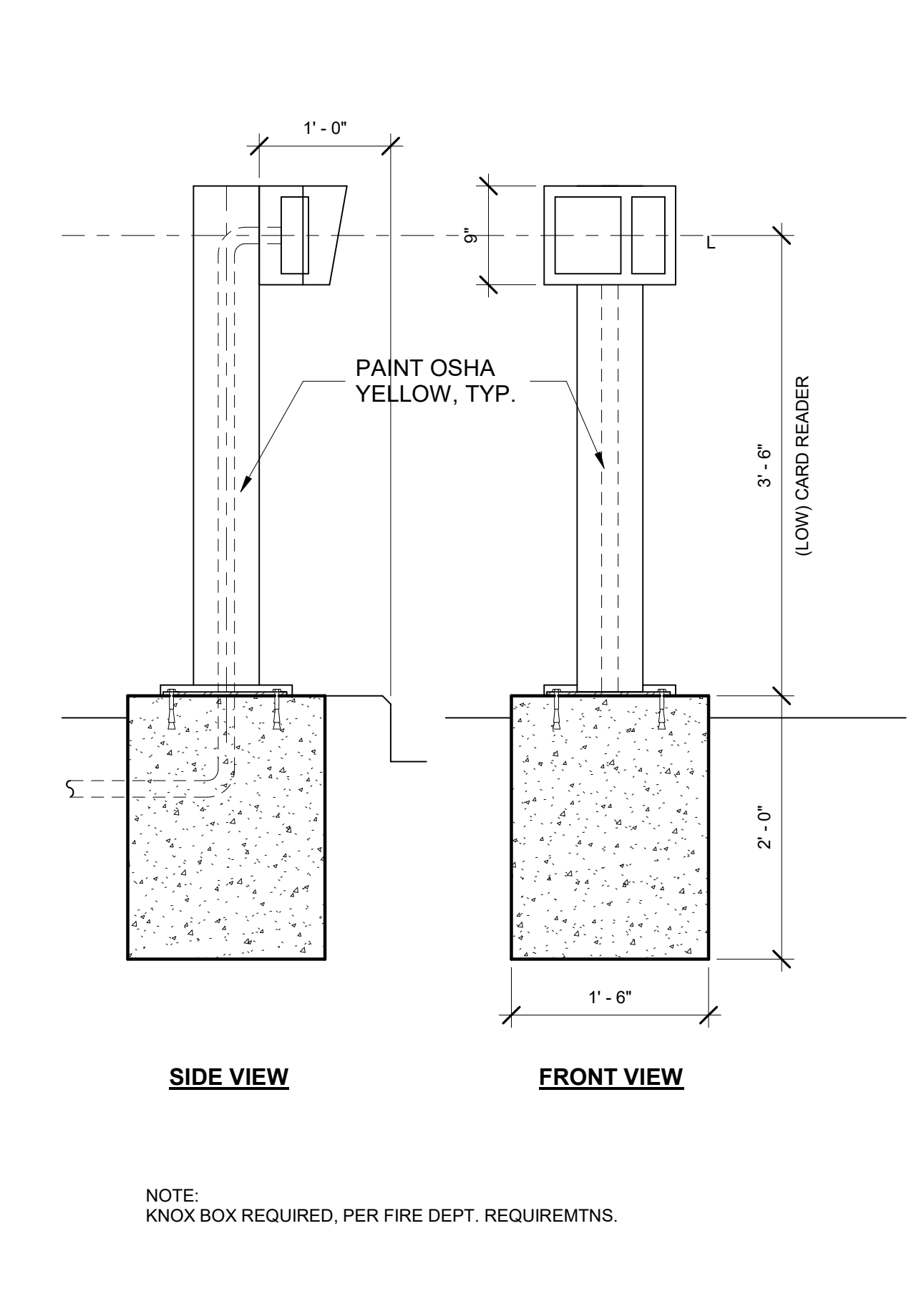
PERSONNEL GATE

SCALE 3/4" = 1'-0" 6



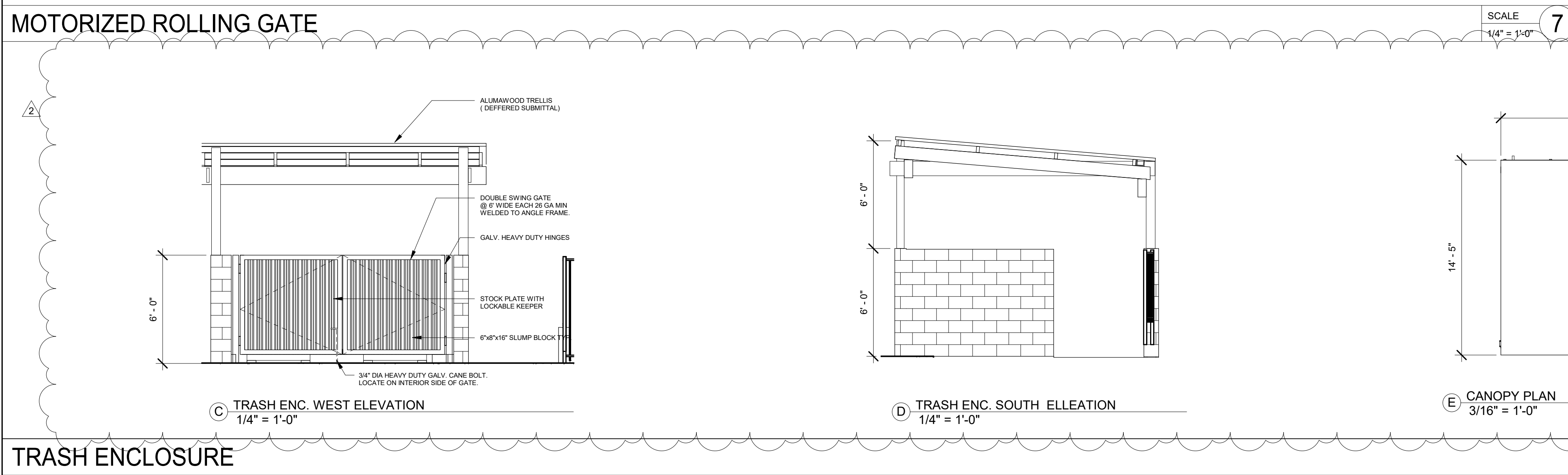
MOTORIZED ROLLING GATE

SCALE 1/4" = 1'-0" 7



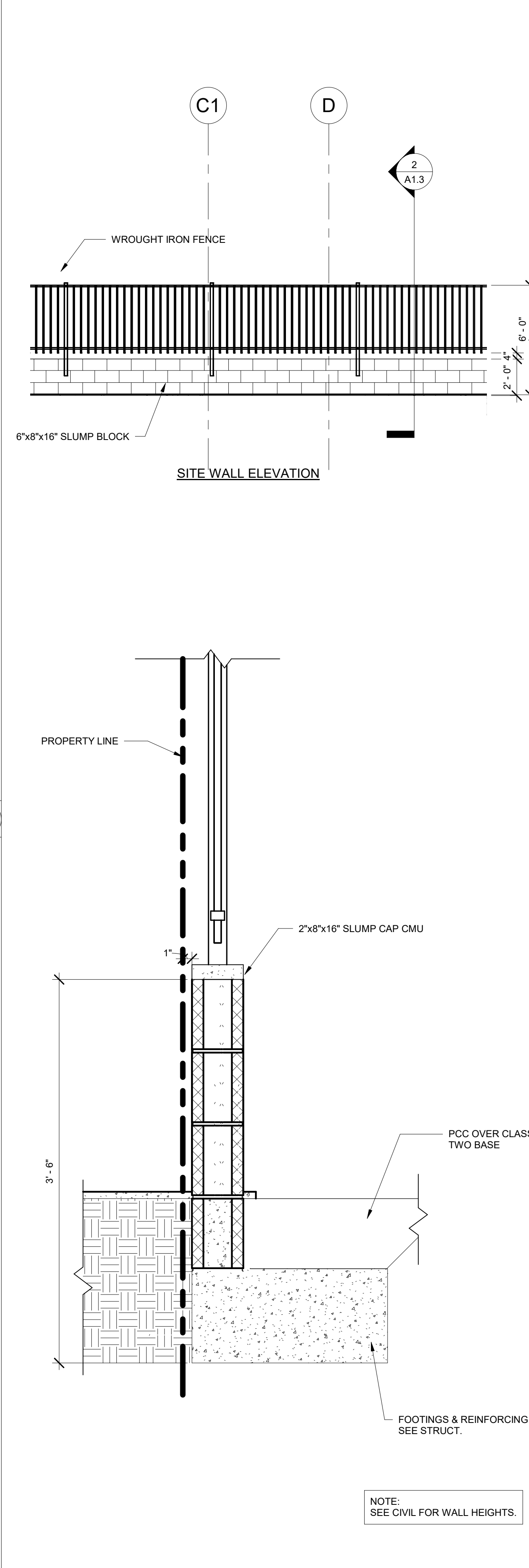
GATE CONTROL PEDESTAL

SCALE 1" = 1'-0" 5



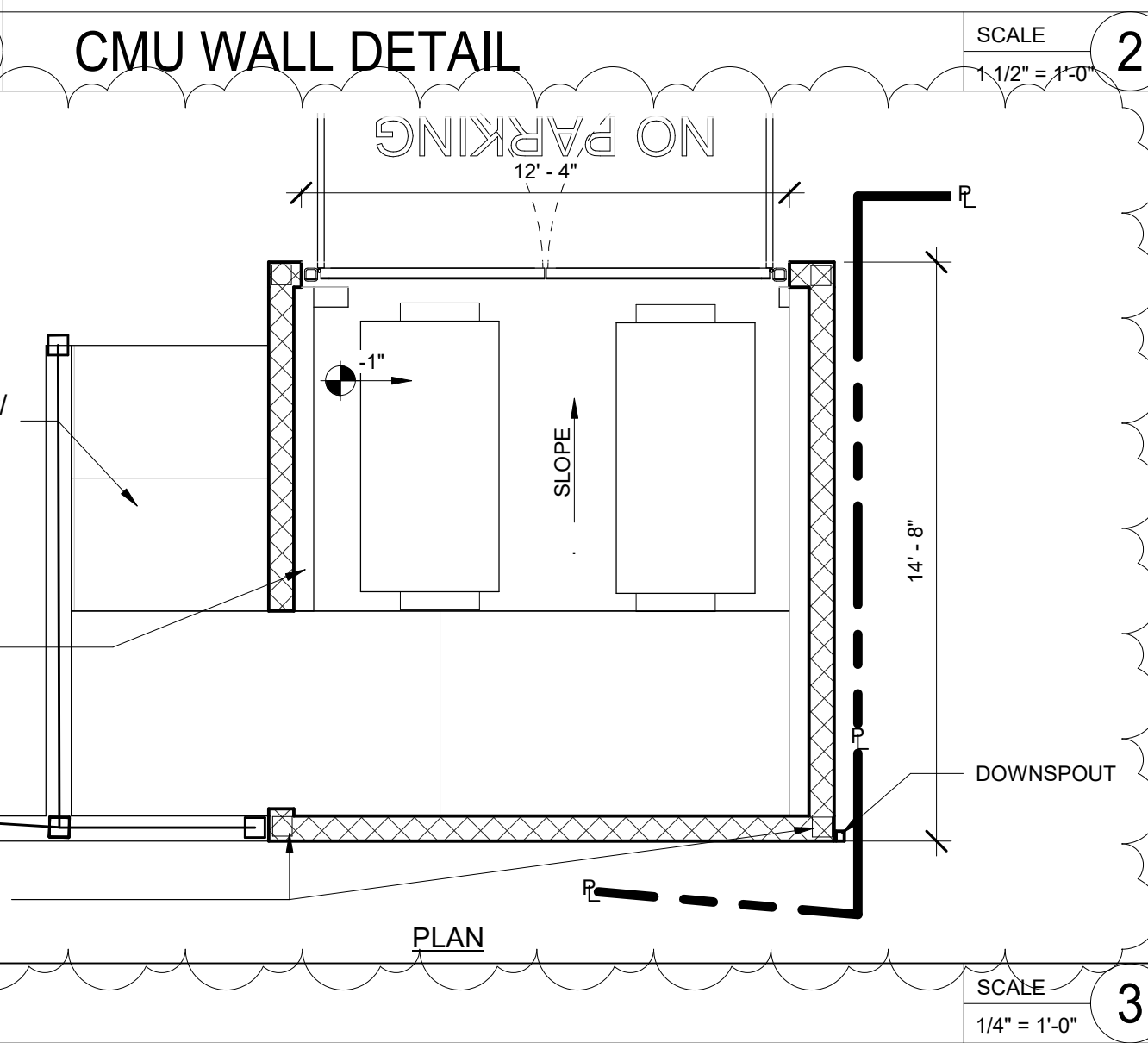
TRASH ENCLOSURE

SCALE 1/4" = 1'-0" 3



CMU WALL DETAIL

SCALE 1 1/2" = 1'-0" 2



TRASH ENCLOSURE

SCALE 1/4" = 1'-0" 3

CONSULTANTS:

PROJECT FOR:
CITY OF LAKE ELSNORE
130 SOUTH MAIN ST.
LAKE ELSNORE, CA 92530

PROJECT NAME:

RILEY APARTMENTS

200 N. RILEY ST.
UNITS 1-9
LAKE ELSNORE, CA 92530

ISSUE INFORMATION:

DATE:	INFORMATION:
09/01/2020	SCHEMATIC DESIGN
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08/03/2021	PLAN REVISION 1
04/22/2022	PLAN REVISION 2

REVISIONS

No.	Date	Description
2	04/25/2022	Revision 2

SEAL:



SHEET INFORMATION:

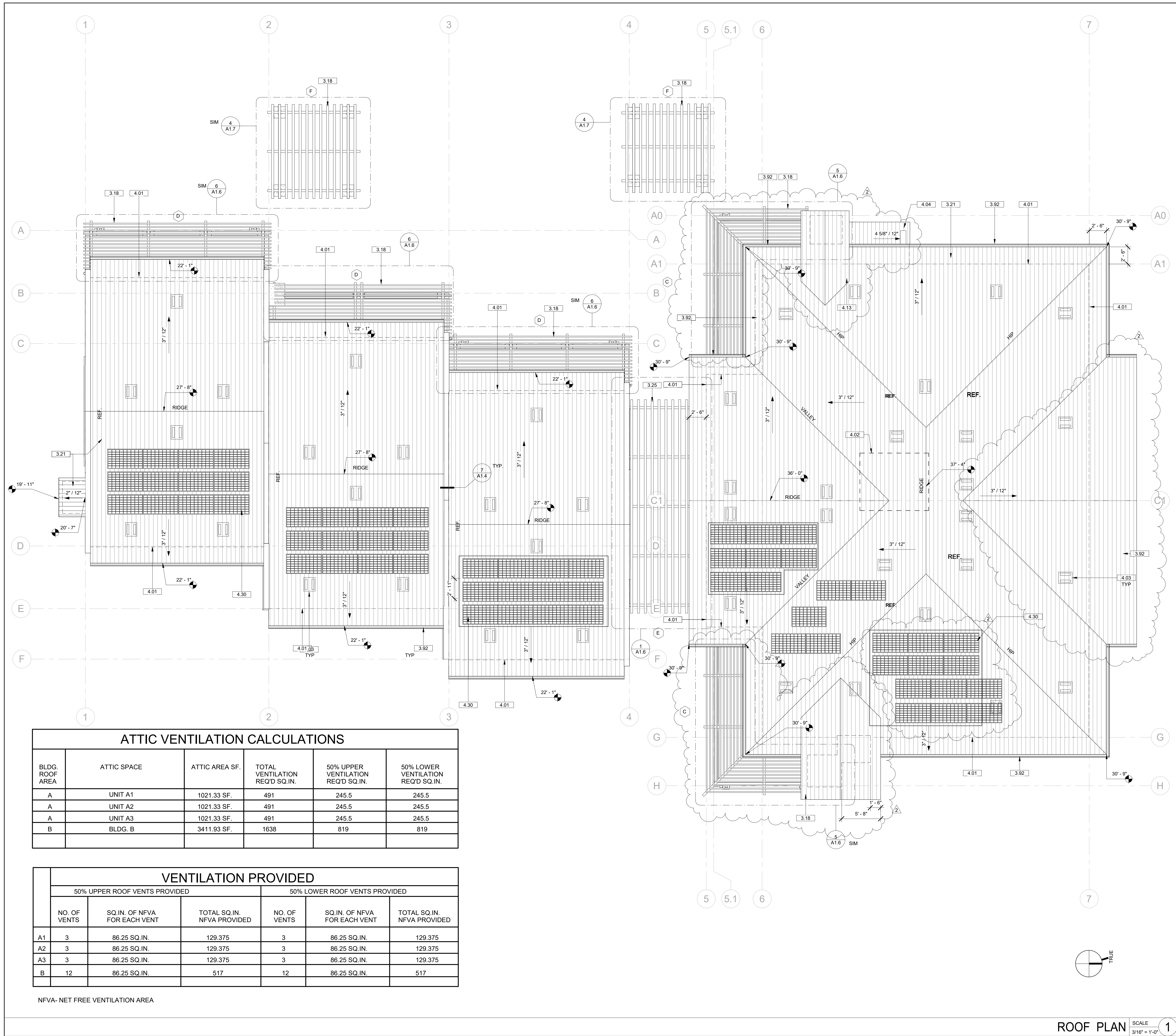
PROJECT NO.: 316-18-20
SCALE: As indicated
DATE: August 03, 2021

SHEET TITLE:

SITE DETAILS

SHEET NO.:

A1.3



ATTIC VENTILATION CALCULATIONS

BLDG. ROOF AREA	ATTIC SPACE	ATTIC AREA SF.	TOTAL VENTILATION REQ'D SQ.IN.	50% UPPER VENTILATION REQ'D SQ.IN.	50% LOWER VENTILATION REQ'D SQ.IN.
A	UNIT A1	1021.33 SF.	491	245.5	245.5
A	UNIT A2	1021.33 SF.	491	245.5	245.5
A	UNIT A3	1021.33 SF.	491	245.5	245.5
B	BLDG. B	3411.93 SF.	1638	819	819

VENTILATION PROVIDED

	50% UPPER ROOF VENTS PROVIDED			50% LOWER ROOF VENTS PROVIDED		
	NO. OF VENTS	SQ.IN. OF NFVA FOR EACH VENT	TOTAL SQ.IN. NFVA PROVIDED	NO. OF VENTS	SQ.IN. OF NFVA FOR EACH VENT	TOTAL SQ.IN. NFVA PROVIDED
A1	3	86.25 SQ.IN.	129.375	3	86.25 SQ.IN.	129.375
A2	3	86.25 SQ.IN.	129.375	3	86.25 SQ.IN.	129.375
A3	3	86.25 SQ.IN.	129.375	3	86.25 SQ.IN.	129.375
B	12	86.25 SQ.IN.	517	12	86.25 SQ.IN.	517

NFVA- NET FREE VENTILATION AREA

KEY NOTE

- 3.18 ALUMAWOOD TRELLIS SPANISH BROWN (DEFERRED SUBMITTAL).
- 3.21 EAGLE ROOFING TILE MALIBU COLLECTION, ALBAQUERQUE BLEND MANUFACTURER NO. SCM 8830.
- 3.92 RAIN GUTTER
- 4.01 DASHED LINE INDICATES EXTERIOR WALL LINE BELOW.
- 4.02 DASHED LINE INDICATES ELEVATOR BELOW.
- 4.03 ATTIC VENT. PAINT. SEE ATTIC VENTILATION CALCULATION
- 4.04 CEMENT PLASTER SLOPED WALL. FIELD PAINT LA HABRA X-81 OATMEAL.
- 4.13 ROOF CRICKET (2X FRAMING AND PLYWOOD).
- 4.30 PHOTOVOLTAIC SYSTEM. DEFERRED SUBMITTAL.



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130 SOUTH MAIN ST.
LAKE ELSINORE, CA 92530

PROJECT NAME:

RILEY
APARTMENTS

200 N. RILEY ST.
UNITS 1-9
LAKE ELSINORE, CA 92530

ISSUE INFORMATION:

DATE:	INFORMATION:
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08/03/2021	PLAN REVISION 1
04/22/2022	PLAN REVISION 2

REVISIONS

No	Date	Description
1	7/12/2021	Revision 1
2	04/25/2022	Revision 2

SEAL:



SHEET INFORMATION:

PROJECT NO.: 316-18-20
SCALE: As indicated
DATE: August 03, 2021

SHEET TITLE:

ROOF PLAN

SHEET NO.:

A2.10

ROOF PLAN SCALE 3/16" = 1'-0" 1

PLAN CHECK SET RESUBMITTAL



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Phone 951.285.3115 Email: gtk@gtkarc.com

CONSULTANTS:

PROJECT FOR:
CITY OF
LAKE ELSINORE
130 SOUTH MAIN ST.
LAKE ELSINORE, CA 92530

PROJECT NAME:

RILEY
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04/22/2022	PLAN REVISION 2

REVISIONS

No.	Date	Description

SEAL:



SHEET INFORMATION:

PROJECT NO.: 316-18-20
SCALE: 3/8" = 1'-0"
DATE: August 03, 2021

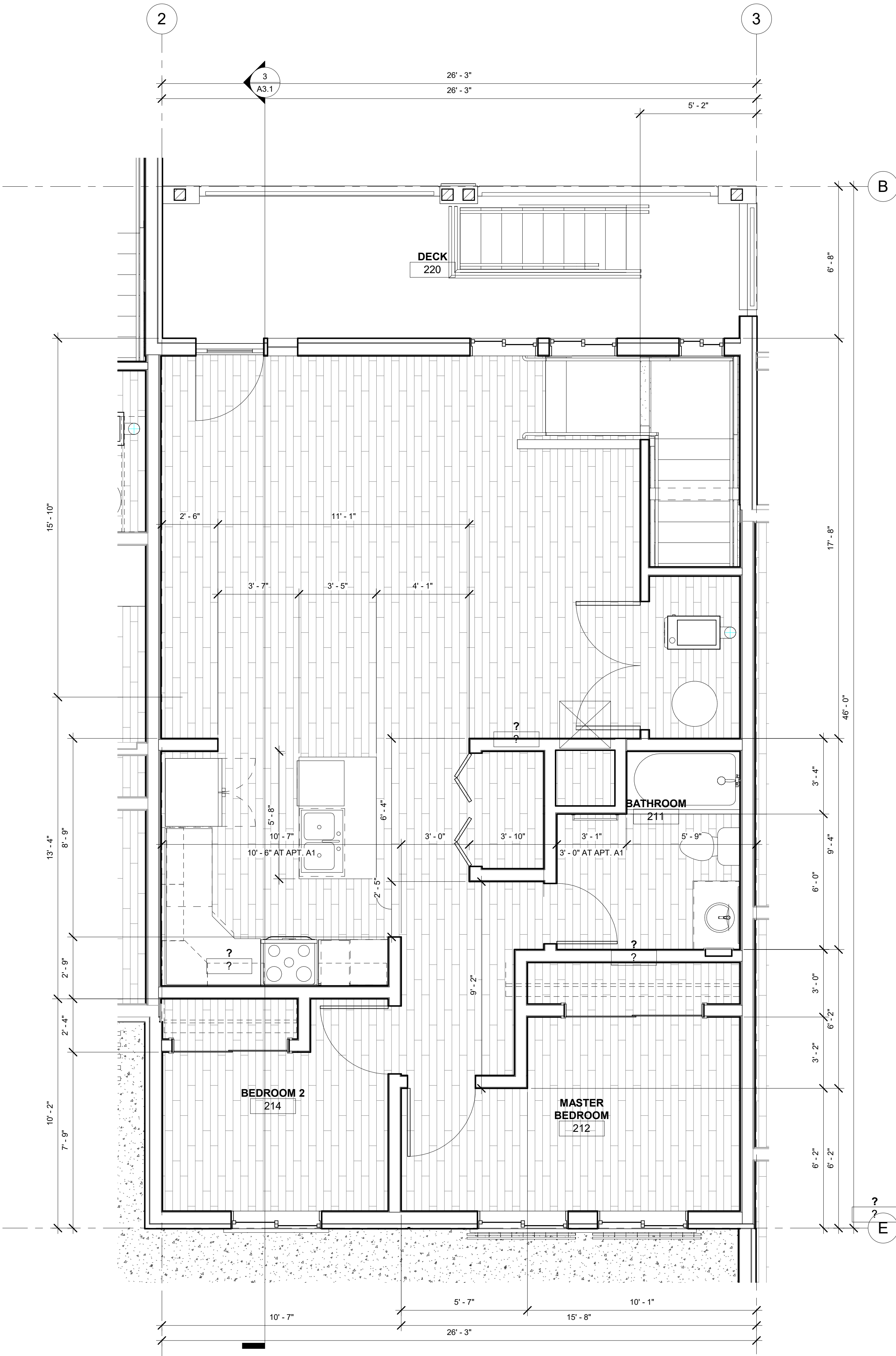
SHEET TITLE:

ENLARGED
PLANS
-APARTMENT
A1 (A2& A3 SIM.)

SHEET NO.:

A2.15

PLAN CHECK SET RESUBMITTAL



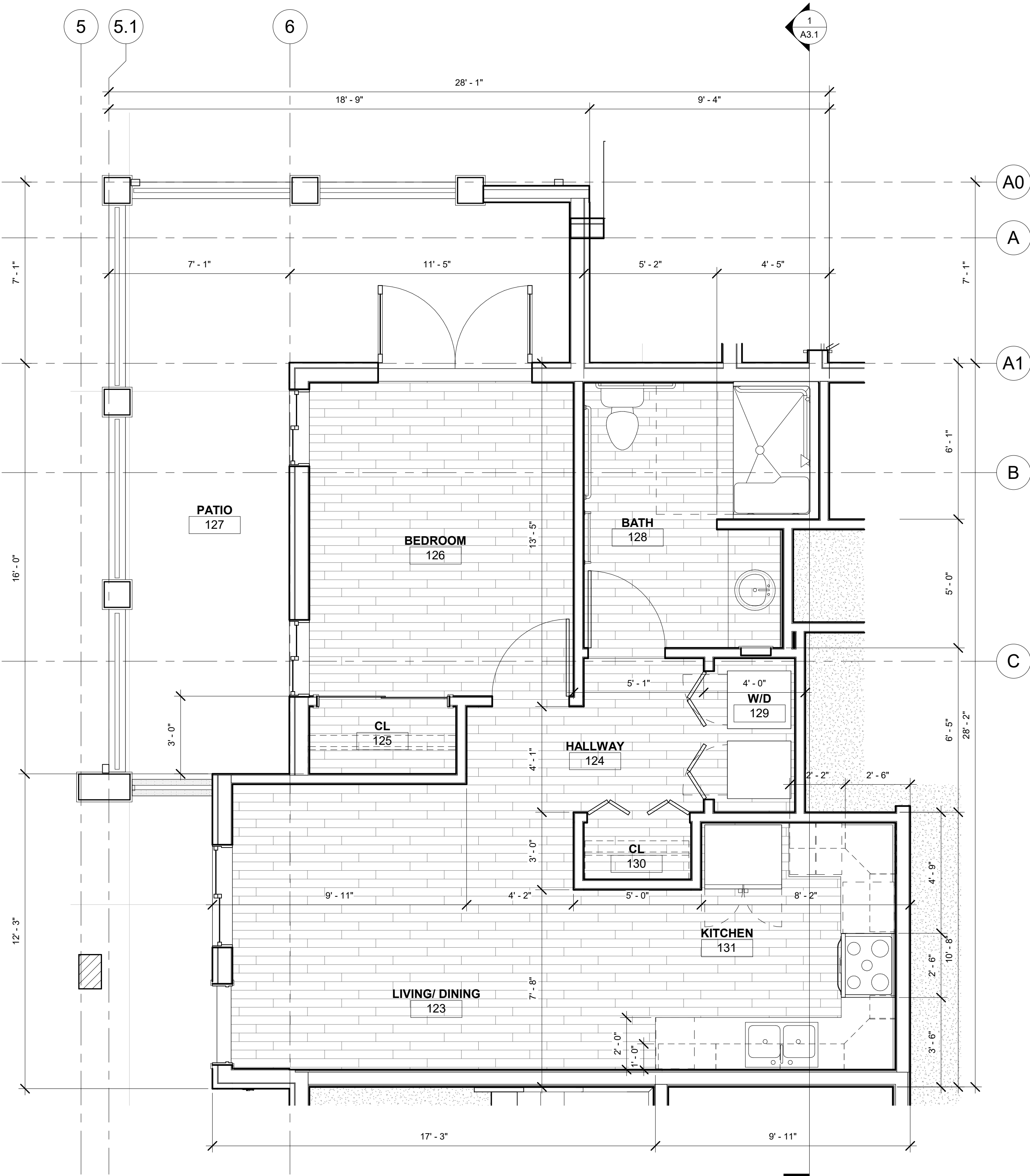
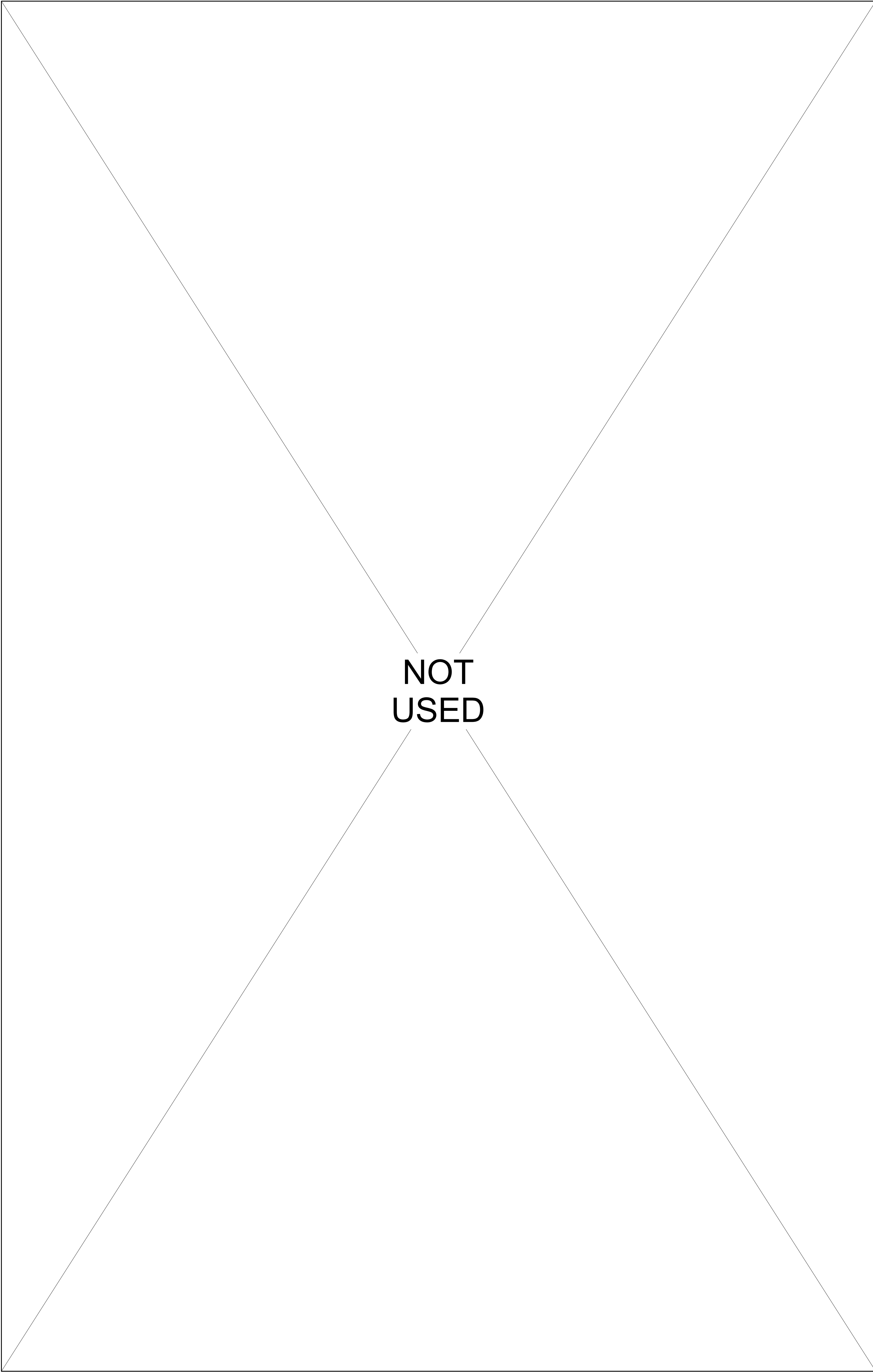
LEVEL 2- APARTMENT 201A (202A & 203A SIM.)

SCALE
3/8" = 1'-0"

LEVEL 1- APARTMENT 101A (102A & 103A SIM.)

SCALE
3/8" = 1'-0"

1



LEVEL 1- BLDG.B ADA APARTMENT 101B (102B SIM.)

ADA UNIT 1



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CONSULTANTS:

PROJECT FOR:
CITY OF LAKE ELSINORE
130 SOUTH MAIN ST.
LAKE ELSIONRE, CA 92530

PROJECT NAME:
RILEY APARTMENTS

200 N. RILEY ST.
UNITS 1-9
LAKE ELSINORE, CA 92530

ISSUE INFORMATION:	
DATE:	INFORMATION:
09/01/2020	SCHEMATIC DESIGN
12/09/2020	CUP SET
05/2021	PLAN CHECK SET
08/03/2021	PLAN REVISION 1
04/22/2022	PLAN REVISION 2

REVISIONS		
No	Date	Description
1	7/12/2021	Revision 1

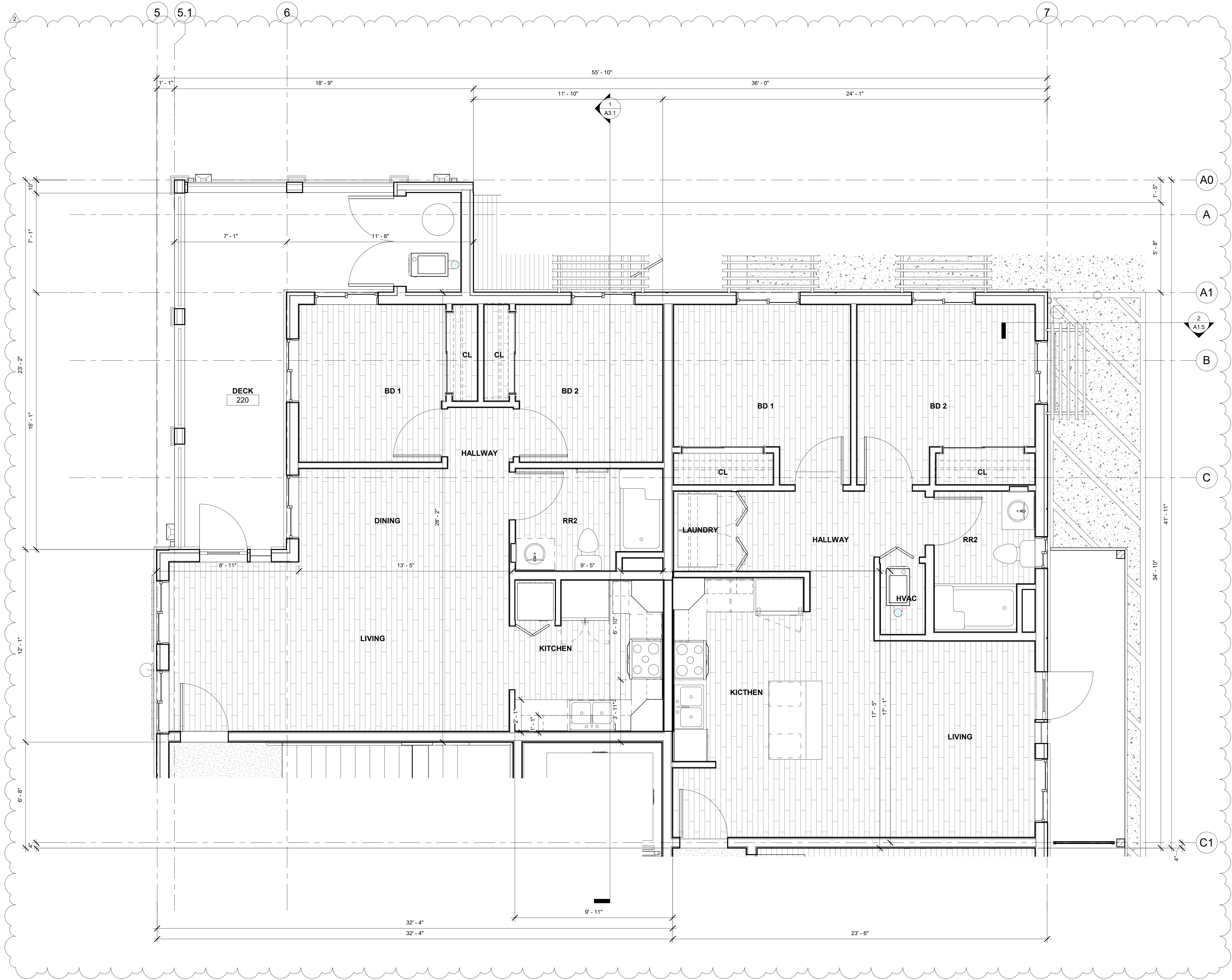


SHEET INFORMATION:
PROJECT NO.: 316-18-20
SCALE: 3/8" = 1'-0"
DATE: August 03, 2021

SHEET TITLE:
ENLARGED PLANS - APARTMENT 101B (102B SIM.)

SHEET NO.:
A2.16

PLAN CHECK SET RESUBMITTAL



KEY NOTE



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CONSULTANTS:

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CITY OF LAKE ELSINORE
130 SOUTH MAIN ST.
LAKE ELSINORE, CA 92530

PROJECT NAME:
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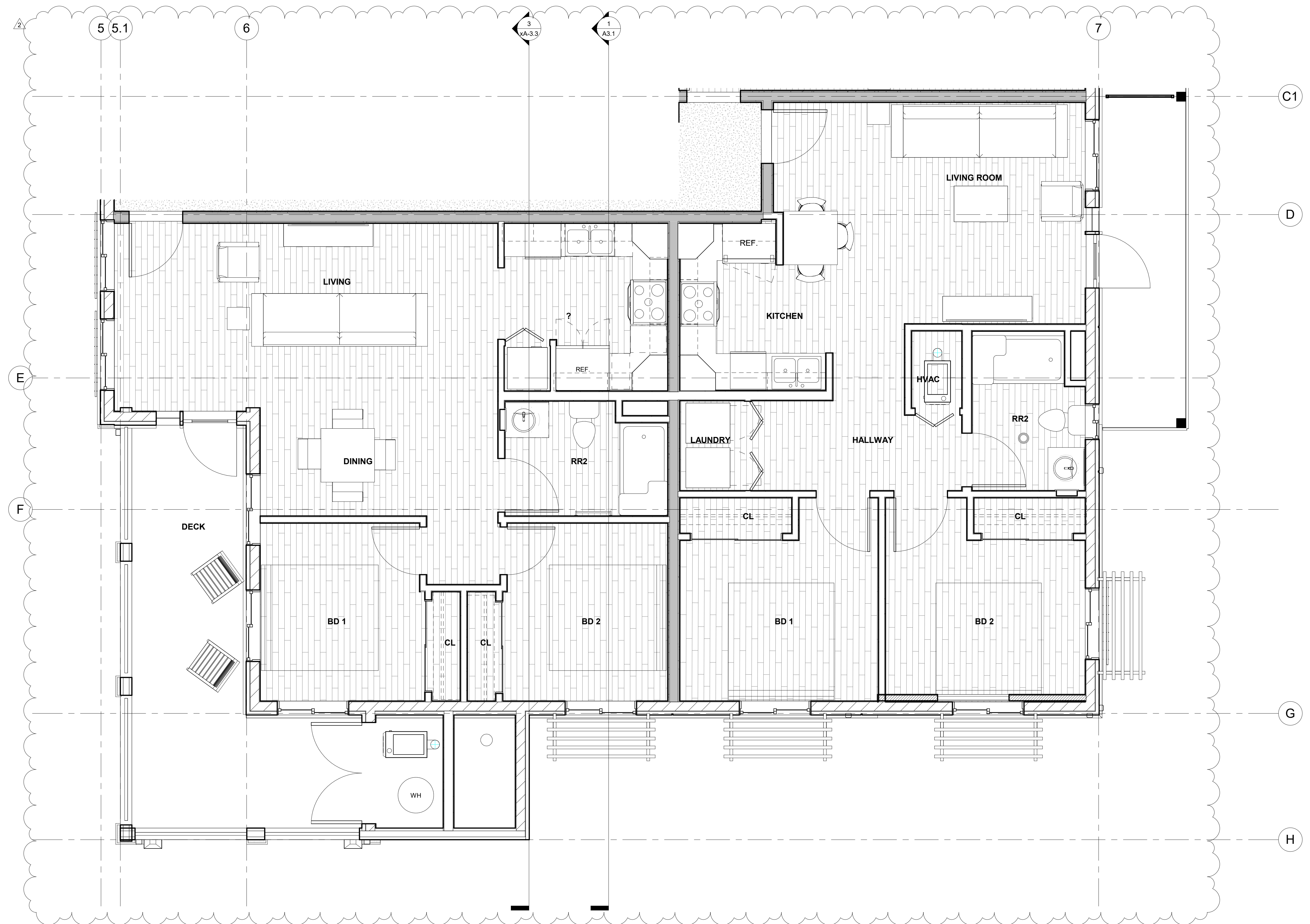
REVISIONS		
No	Date	Description
1	7/12/2021	Revision 1
2	04/25/2022	Revision 2



SHEET INFORMATION:
PROJECT NO.: 316-18-20
SCALE: 3/8" = 1'-0"
DATE: August 03, 2021

SHEET TITLE:
ENL. PLANS - APARTMENT 201B (301B-302B SIM.)

SHEET NO.:
A2.17



KEY NOTE



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CONSULTANTS:

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CITY OF
LAKE ELSINORE
130 SOUTH MAIN ST.
LAKE ELSINORE, CA 92530

PROJECT NAME:

RILEY
APARTMENTS

200 N. RILEY ST.
UNITS 1-9
LAKE ELSINORE, CA 92530

ISSUE INFORMATION:	
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04/22/2022	PLAN REVISION 2

REVISIONS		
No	Date	Description
2	04/25/2022	Revision 2



SHEET INFORMATION:
PROJECT NO.: 316-18-20
SCALE: 3/8" = 1'-0"
DATE: August 03, 2021

ENL. PLANS
-APARTMENT
203B & 204B
(303B & 304B
SIM.)

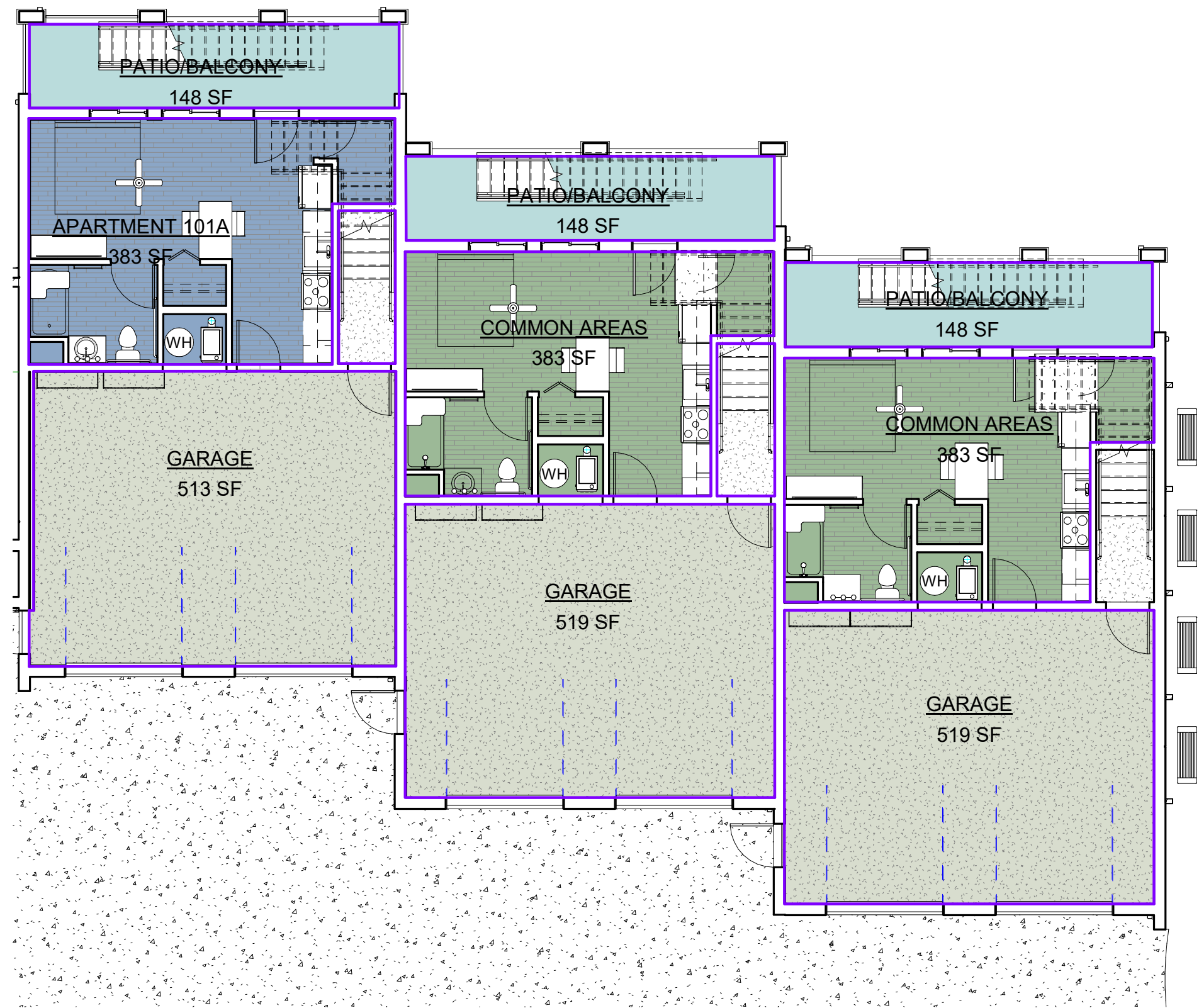
SHEET NO.:

A2.18

BUILDING A	
Name	Area
LEVEL 1	
PATIO/BALCONY	148 SF
APARTMENT 101A	383 SF
GARAGE	513 SF
LEVEL 2	
PATIO/BALCONY	150 SF
APARTMENT 201A	964 SF

Rentable Area Legend

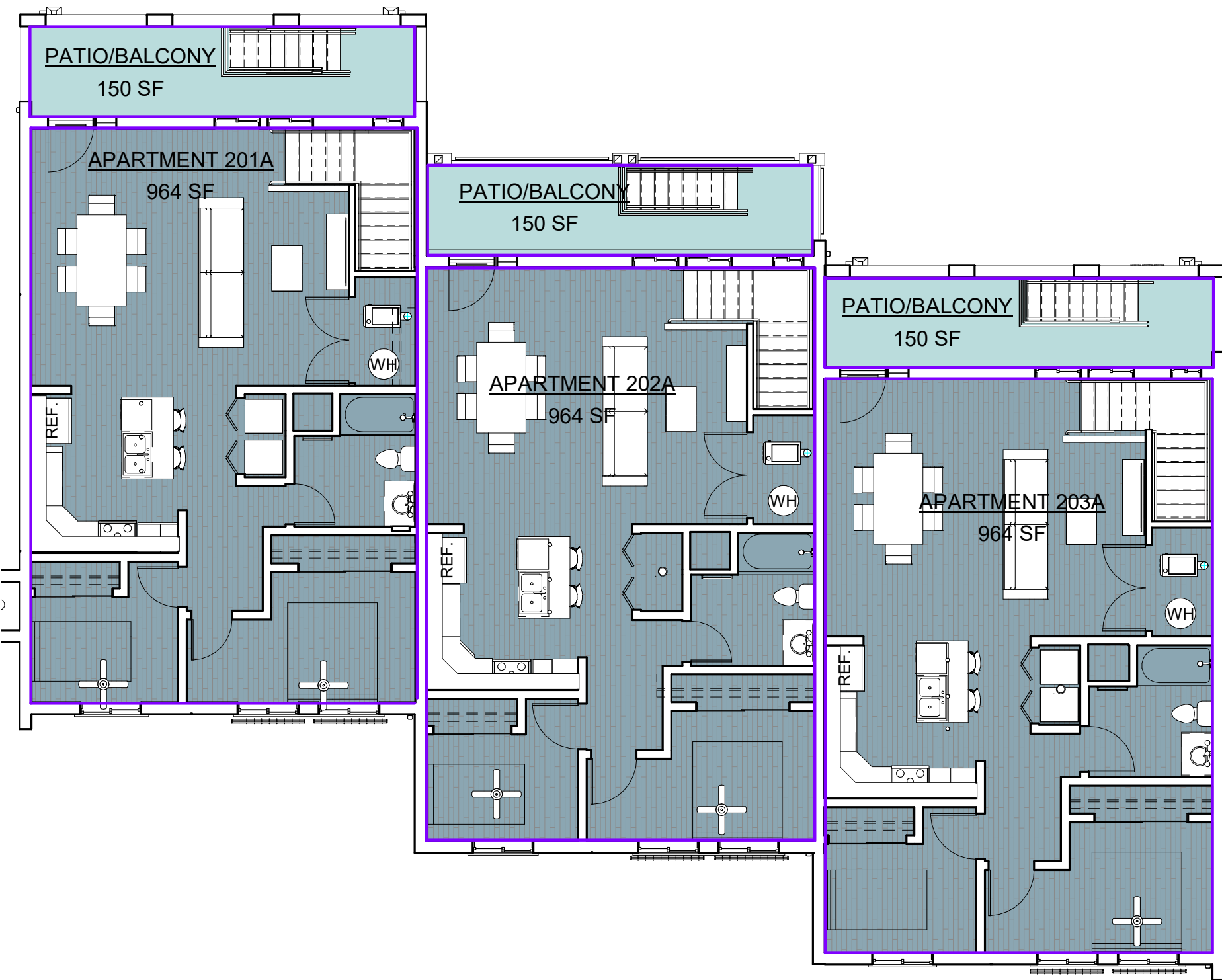
- APARTMENT 101A
- COMMON AREAS
- GARAGE
- PATIO/BALCONY



BLDG A- LEVEL 1 SCALE 1/8" = 1'-0" 1

Rentable Area Legend

- APARTMENT 201A
- APARTMENT 202A
- APARTMENT 203A
- PATIO/BALCONY

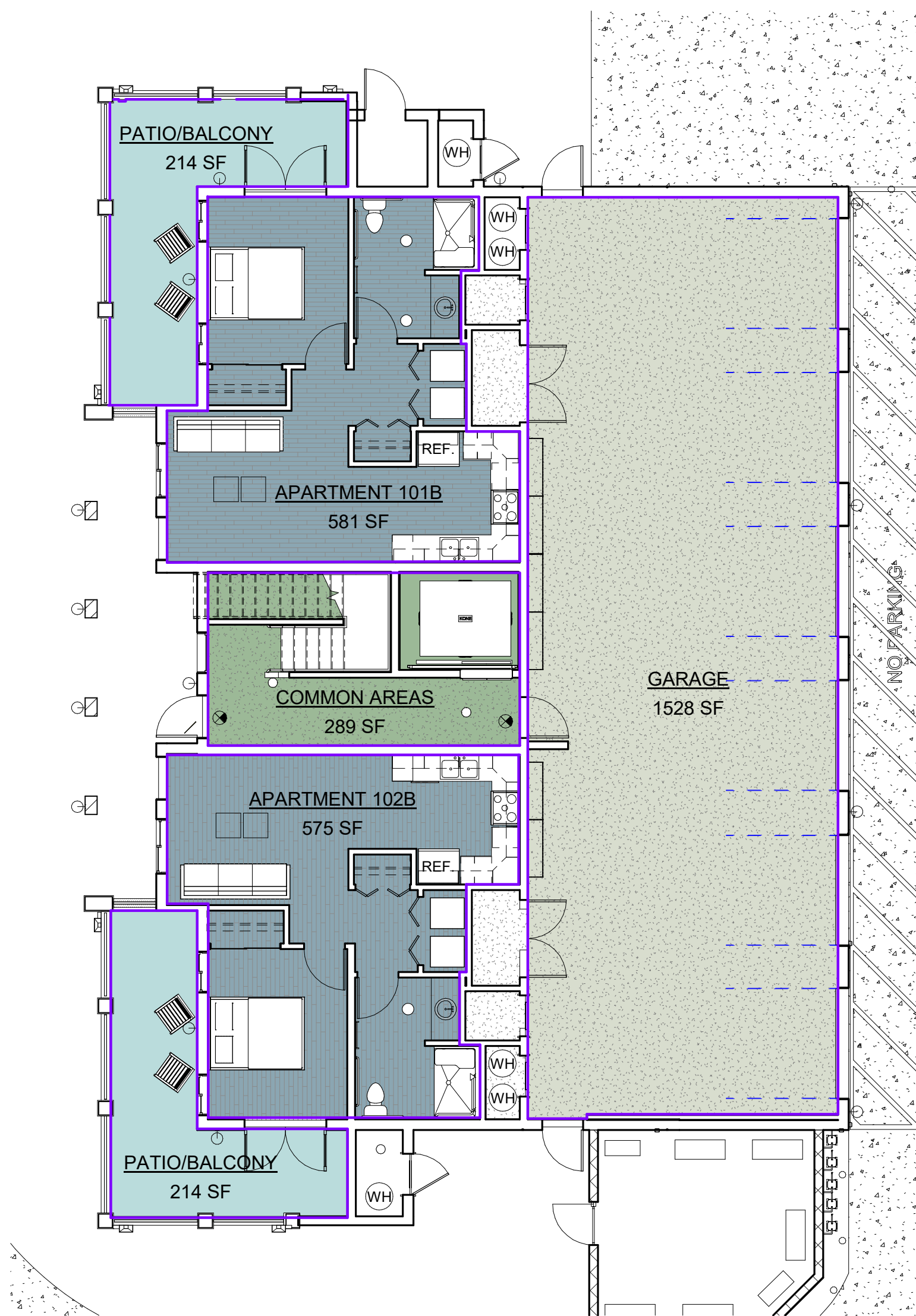


BLDG A- LEVEL 2 SCALE 1/8" = 1'-0" 2

BUILDING B	
Name	Area
LEVEL 1	
PATIO/BALCONY	214 SF
COMMON AREAS	289 SF
APARTMENT 101B	581 SF
GARAGE	1528 SF
LEVEL 2 (LEVEL 3 SIMILAR)	
COMMON AREAS	427 SF
PATIO/BALCONY	214 SF
APARTMENT 201B	697 SF
APARTMENT 202B	763 SF
APARTMENT 203B	719 SF
PATIO/BALCONY	105 SF
PATIO/BALCONY	105 SF

Rentable Area Legend

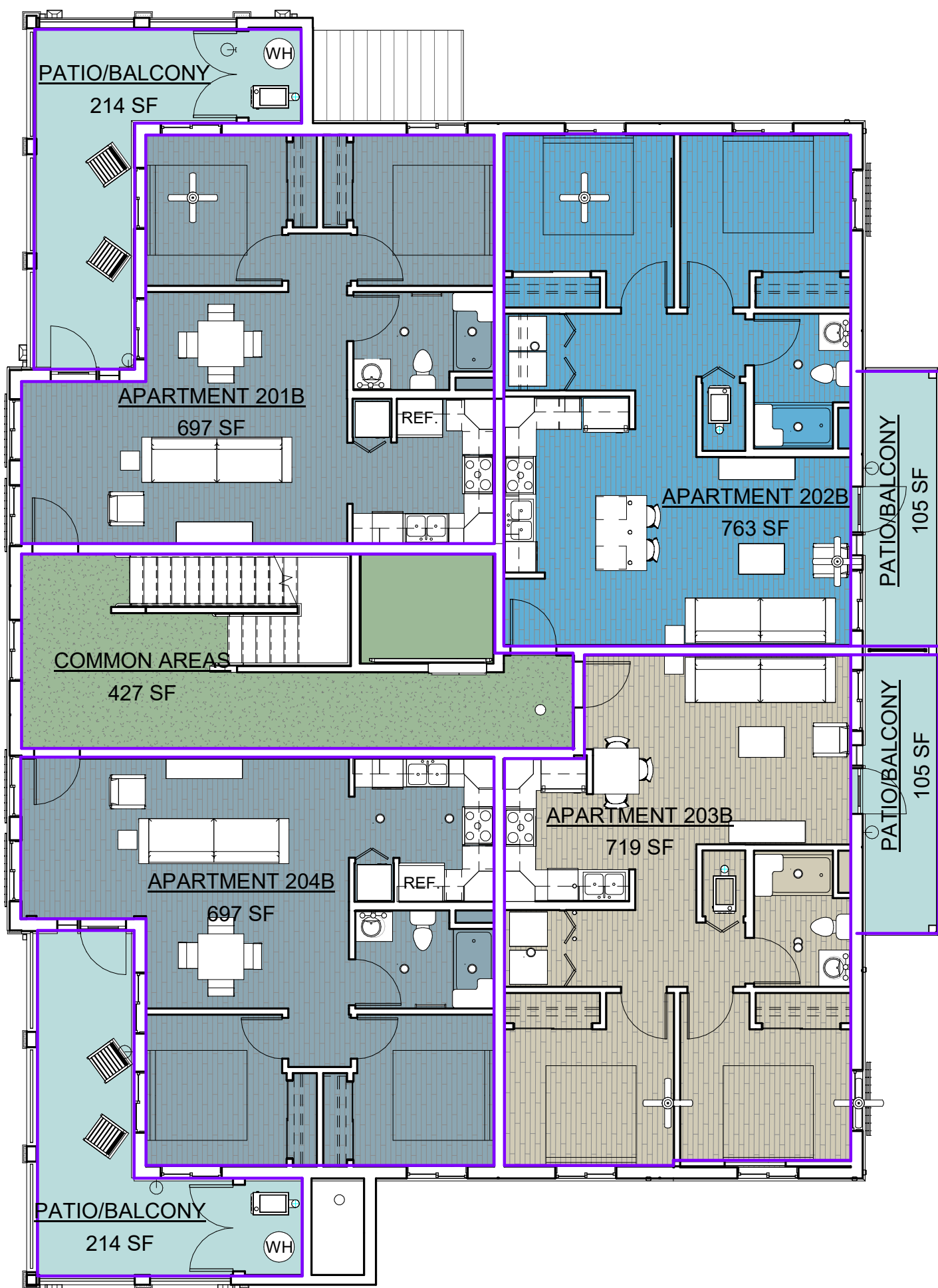
- APARTMENT 101B
- APARTMENT 102B
- COMMON AREAS
- GARAGE
- PATIO/BALCONY



BLDG B - LEVEL 1 SCALE 1/8" = 1'-0" 3

Rentable Area Legend

- APARTMENT 201B
- APARTMENT 202B
- APARTMENT 203B
- APARTMENT 204B
- COMMON AREAS
- PATIO/BALCONY



BLDG B - LEVEL 2 & 3 (LEVEL 3 - SIMILAR T LEVEL 2) SCALE 1/8" = 1'-0" 4

BUILDING A

LEVEL 1 (3) APARTMENTS - 101A, 102A, 103A (1 BD, 1 BA EA)

APARTMENT- ADA ADAPTABLE PATIO	384 SF
PATIO	148 SF

LEVEL 2 (3) APARTMENTS 201A, 202A, 203 A (2BD, 1BA EA)

APARTMENT	953 SF
PATIO / BALCONY	150 SF
(2) GARAGE PARKING SPACES 1EA	507 SF

BUILDING A OVERALL TOTAL: 6,198 SF

BUILDING B (LEVEL 1)

(2) APARTMENTS 101B & 102B (1 BD, 1 BA EA) (1) EXT. PARKING SPACE EA)

APARTMENT - ADA UNITS PATIO	581 SF
PATIO	214 SF
COMMON/ SERVICE AREAS	289 SF
BUILDING B GARAGE	1,528 SF

BUILDING B LEVEL 1 TOTAL: 3,602 SF

BUILDING B (LEVEL 2)

(2) APARTMENTS 201B, 202B, & 203B (2 BD, 1 BA EA) (1) GARAGE PARKING SPACE EA)

APARTMENT:	697 SF
PATIO	214 SF
202B PATIO	763 SF
203B PATIO	105 SF
204B PATIO	719 SF
204B PATIO	105 SF
COMMON/ SERVICE AREAS	427 SF

BUILDING B LEVEL 2 TOTAL: 3,786 SF

BUILDING B (LEVEL 3)

(2) APARTMENTS 201B, 202B, & 203B (2 BD, 1 BA EA) (1) GARAGE PARKING SPACE EA)

APARTMENT:	697 SF
PATIO	227 SF
202B PATIO	763 SF
203B PATIO	105 SF
204B PATIO	719 SF
204B PATIO	105 SF
COMMON/ SERVICE AREAS	427 SF

BUILDING B LEVEL 3 TOTAL: 3,786 SF

BUILDING B OVERALL TOTAL: 11,174 SF

BUILDING A & B OVERALL TOTAL: 17,372 SF



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CONSULTANTS:

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CITY OF LAKE ELSINORE
130 SOUTH MAIN ST.
LAKE ELSINORE, CA 92530

PROJECT NAME:

RILEY APARTMENTS

200 N. RILEY ST.
UNITS 1-9
LAKE ELSINORE, CA 92530

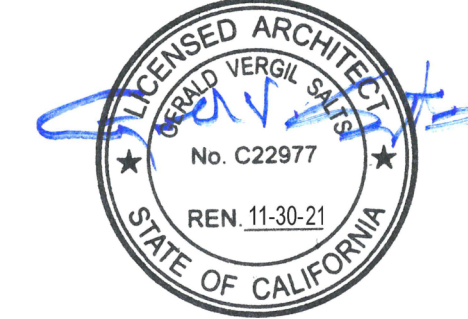
ISSUE INFORMATION:

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REVISIONS

No.	Date	Description

SEAL:



SHEET INFORMATION:

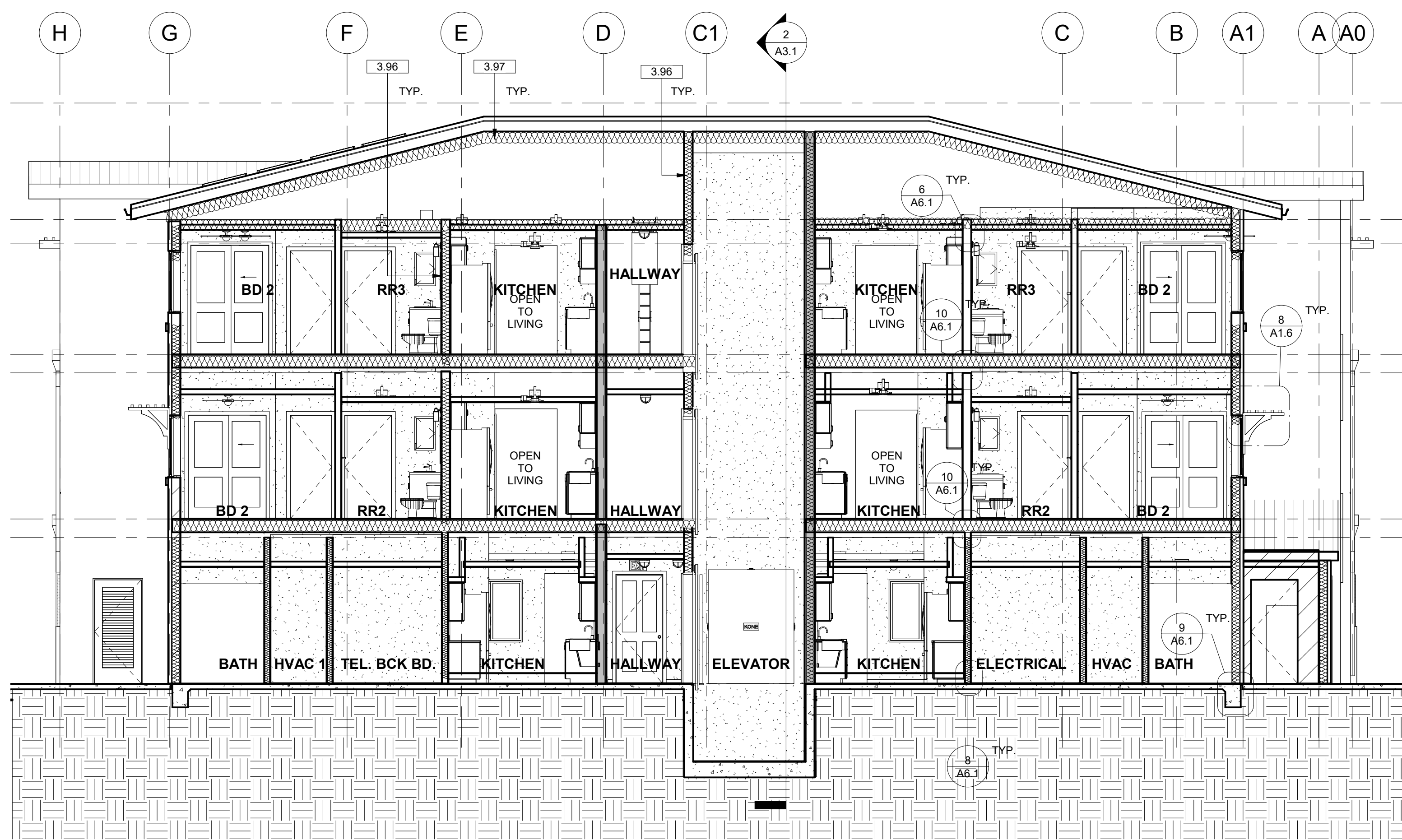
PROJECT NO.: 316-18-20
SCALE: 1/8" = 1'-0"
DATE: August 03, 2021

SHEET TITLE:

APARTMENT TYPES

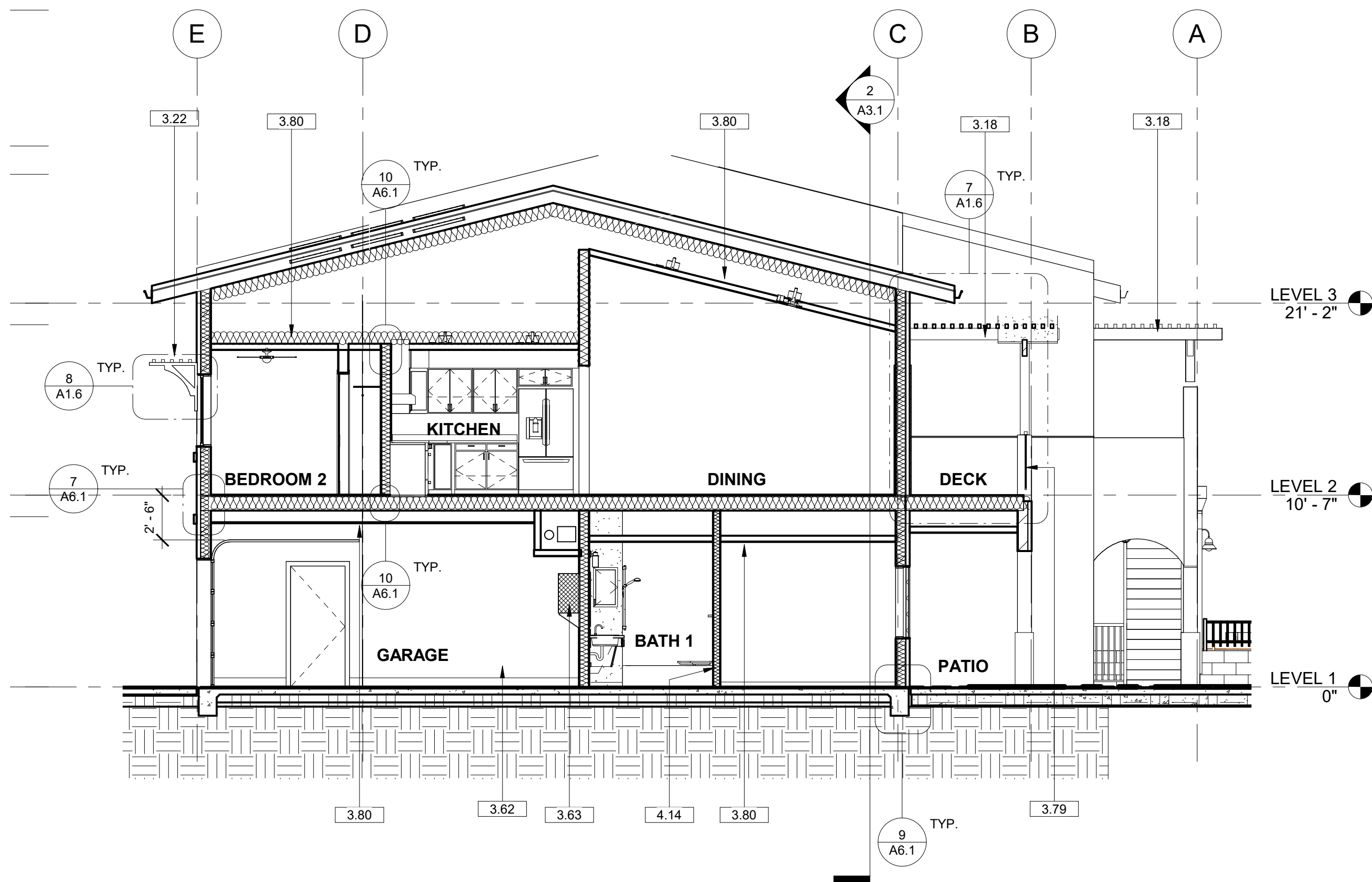
SHEET NO.:

A2.19



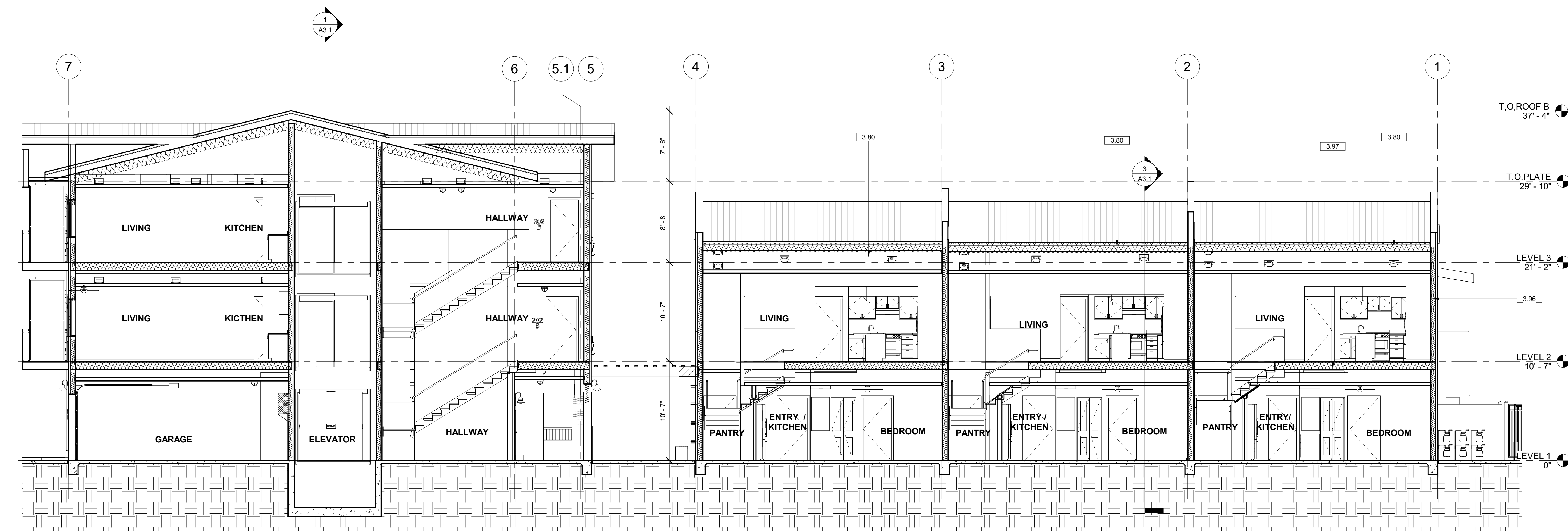
BLDG. B NORTH / SOUTH SECTION

SCALE
3/16" = 1'-0" 1



BLDG. A NORTH / SOUTH SECTION

SCALE
3/16" = 1'-0" 3



BLDG. A & B WEST / EAST SECTION

SCALE
3/16" = 1'-0" 2

KEY NOTE

- 3.18 ALUMAWOOD TRELLIS SPANISH BROWN (DEFERRED SUBMITTAL).
- 3.22 ALUMAWOOD TRELLIS WINDOW VISOR.
- 3.62 6" CONCRETE CURB.
- 3.63 GARAGE WIRE MESH WALL MOUNTED STORAGE LOCKERS.
- 3.79 METAL GUARDRAIL.
- 3.80 2x WOOD STUD FRAMING CEILING WITH GYP. BD.
- 3.96 R21 BATT INSULATION.
- 3.97 R38 BATT INSULATION.
- 4.14 BATT SOUND INSULATION, ALL INTERIOR WALLS (TYP).



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REVISIONS

No.	Date	Description

SEAL:



SHEET INFORMATION:

PROJECT NO.: 316-18-20
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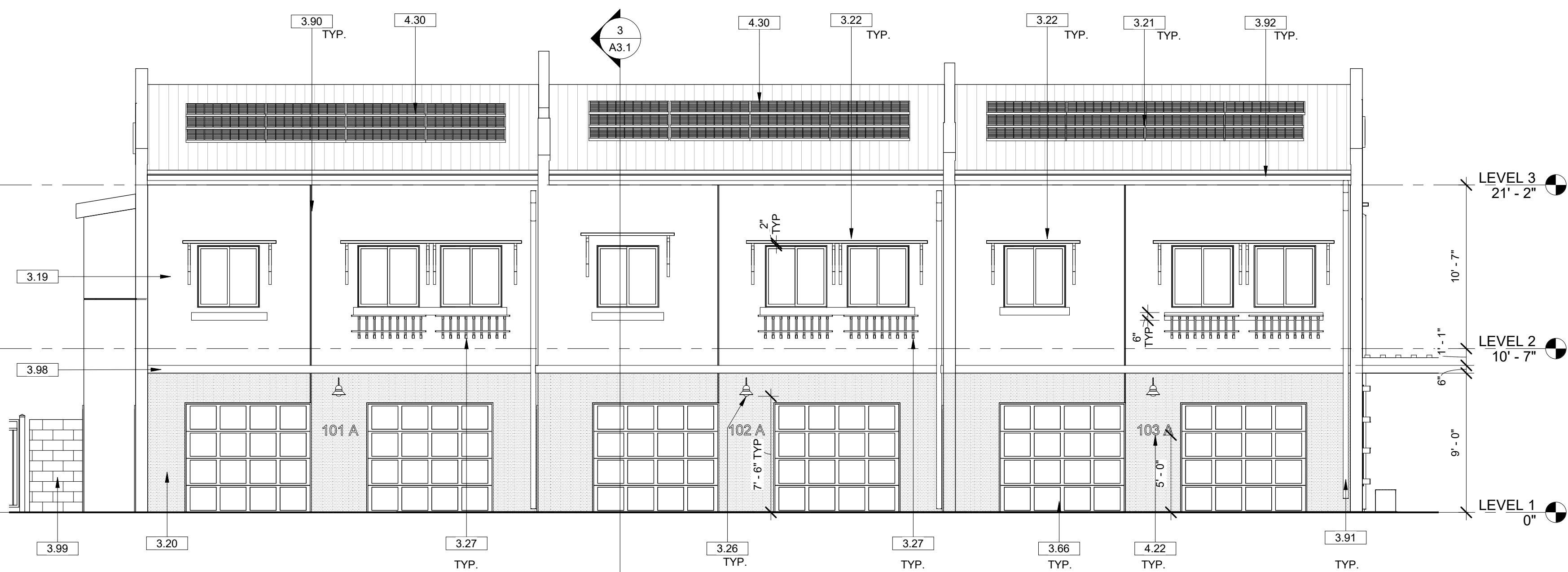
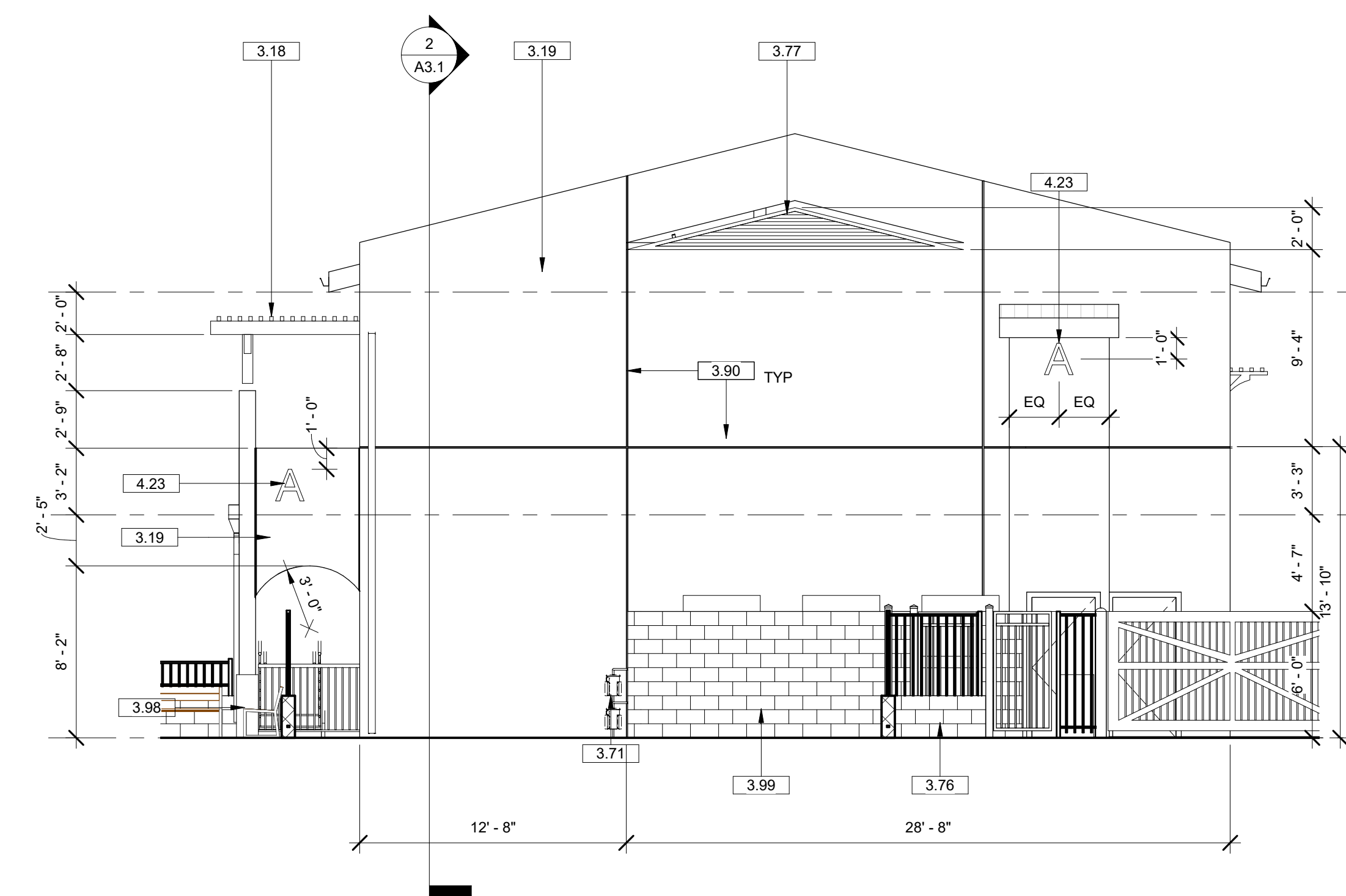
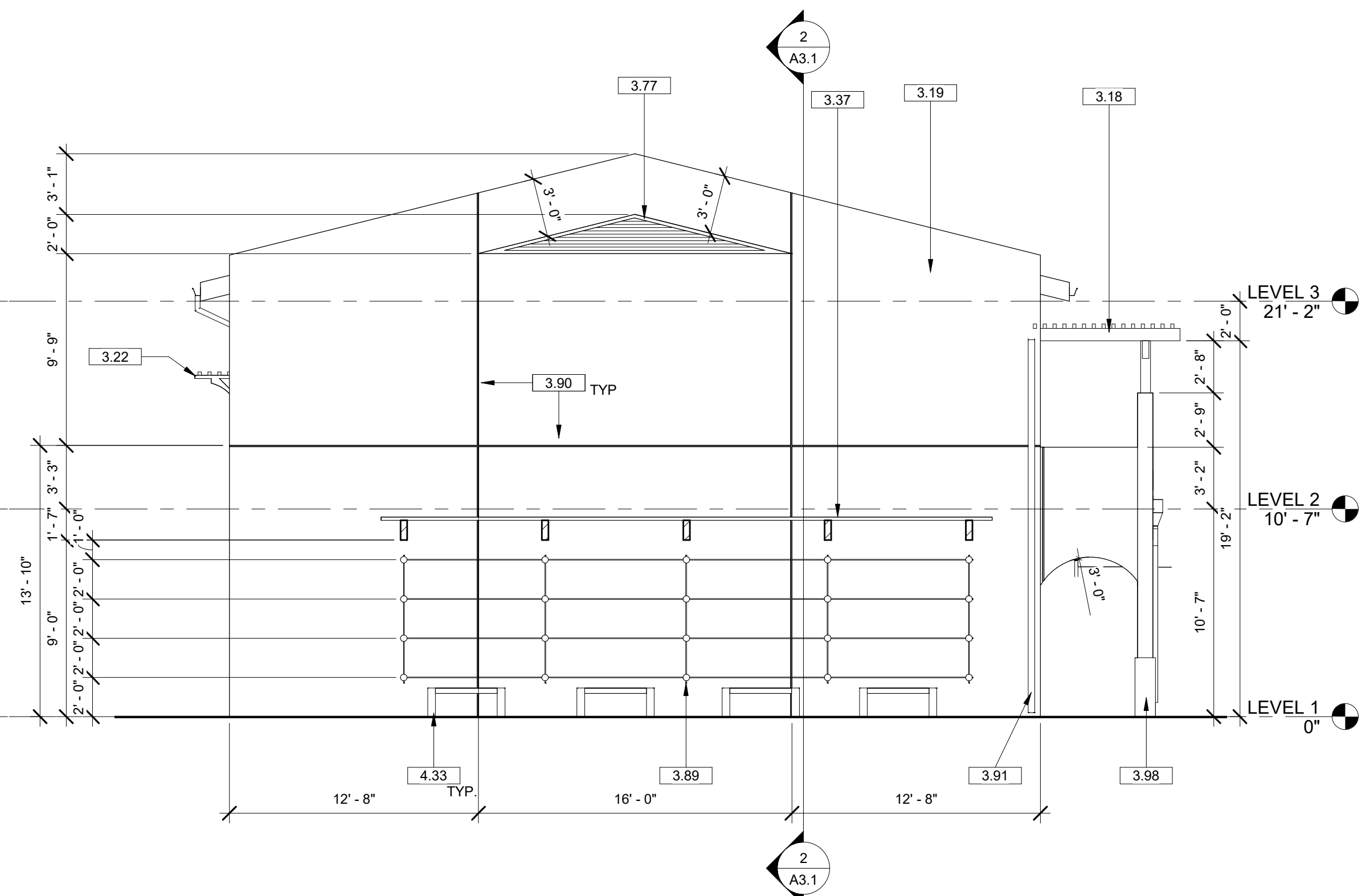
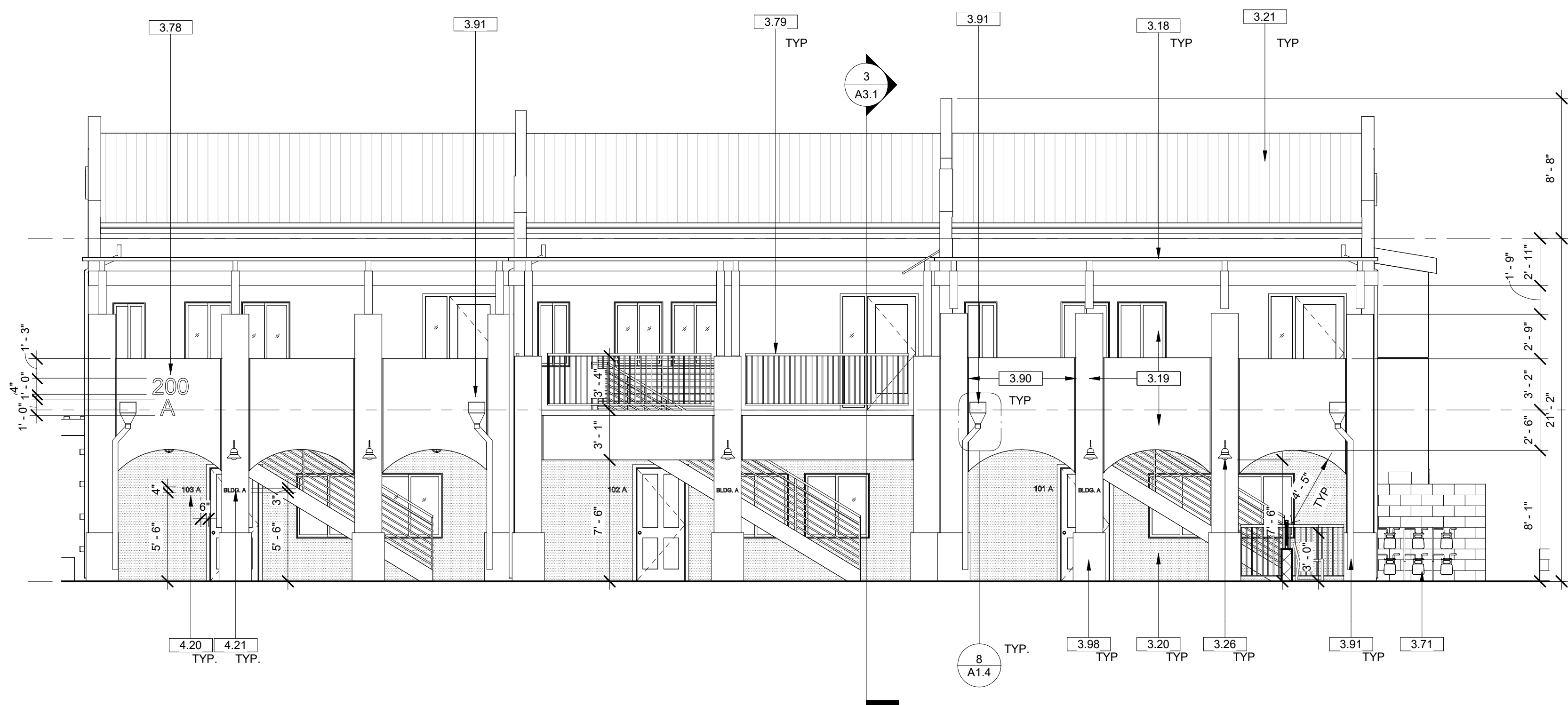
SHEET TITLE:

OVERALL BUILDING SECTIONS

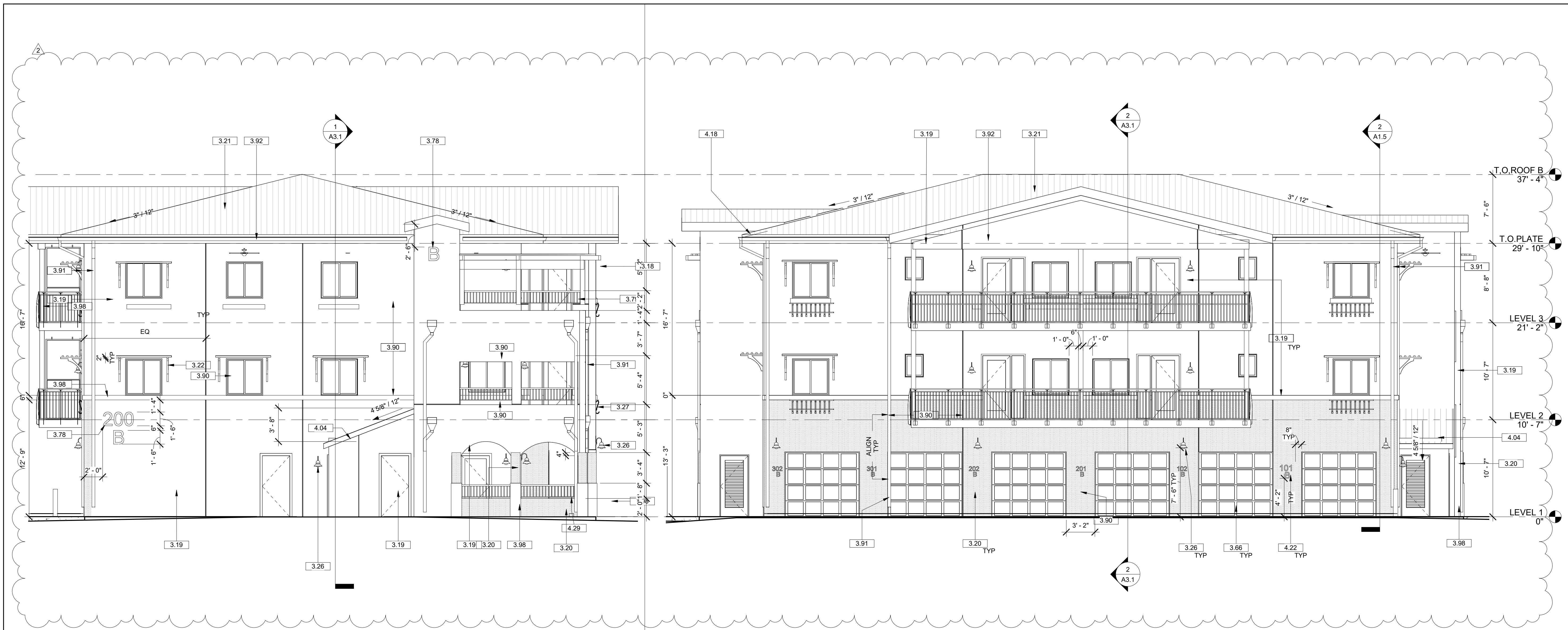
SHEET NO.:

A3.1

PLAN CHECK SET RESUBMITTAL



PLAN CHECK SET RESUBMITTAL



BLDG. B WEST ELEVATION

SCALE
3/16" = 1'-0"

4

BLDG. B NORTH ELEVATION

SCALE
3/16" = 1'-0"

1



BLDG. B SOUTH ELEVATION

SCALE
3/16" = 1'-0"

3

BLDG. B EAST ELEVATION

SCALE
3/16" = 1'-0"

2

KEY NOTE

- 3.18 ALUMAWOOD TRELLIS SPANISH BROWN (DEFERRED SUBMITTAL).
- 3.19 CEMENT PLASTER WALL, FIELD PAINT LA HABRA X-81 OATMEAL.
- 3.20 CEMENT PLASTER WALL, BASE ACCENT PAINT LA HABRA X-820 SILVERADO.
- 3.21 EAGLE ROOFING TILE MALIBU COLLECTION, ALBAQUERQUE BLEND MANUFACTURER NO. SCM 8830.
- 3.22 ALUMAWOOD TRELLIS WINDOW VISOR.
- 3.26 GOOSENECK WALL LIGHTS, SEE ELECTRICAL.
- 3.27 EURO CLASSIC HAYRACK PLANTER & NATURAL COCO LINER.
- 3.37 ALUMINUM PLANT TRELLIS.
- 3.44 BOLLARD PAINTED OSHA YELLOW WITH REFLECTIVE TAPE, SEE DETAIL 5/A1.4.
- 3.66 GARAGE DOOR.
- 3.78 ADDRESS CAST METAL LETTER SIGN 12"HIGH WITH BRAILE.
- 3.79 METAL GUARDRAIL.
- 3.90 EXPANSION JOINT.
- 3.91 DOWNSPOUT & SCUPPER.
- 3.92 RAIN GUTTER.
- 3.98 CEMENT PLASTER TRIM AND COLUMN BASE ACCENT PAINT LA HABRA X-434 FALLBROOK.
- 4.04 CEMENT PLASTER SLOPED WALL, FIELD PAINT LA HABRA X-81 OATMEAL.
- 4.18 4" HIGH FLASHING.
- 4.22 CAST METAL LETTER SIGN 6"HIGH.
- 4.24 KNOX BOX.
- 4.29 CURB OPENING FOR DRAINAGE 4"H X 6"W.
- 4.30 PHOTOVOLTAIC SYSTEM, DEFERRED SUBMITTAL.



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CONSULTANTS:

PROJECT FOR:

CITY OF
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130 SOUTH MAIN ST.
LAKE ELSINORE, CA 92530

PROJECT NAME:

RILEY
APARTMENTS

200 N. RILEY ST.
UNITS 1-9
LAKE ELSINORE, CA 92530

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REVISIONS

No	Date	Description
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2	04/25/2022	Revision 2

SEAL:



SHEET INFORMATION:

PROJECT NO.: 316-18-20
SCALE: 3/16" = 1'-0"
DATE: August 03, 2021

SHEET TITLE:

EXTERIOR
ELEVATIONS
BLDG B

SHEET NO.:

A3.3

PLAN CHECK SET RESUBMITTAL



3D View 6 | SCALE 4



3D View 5 | SCALE 3



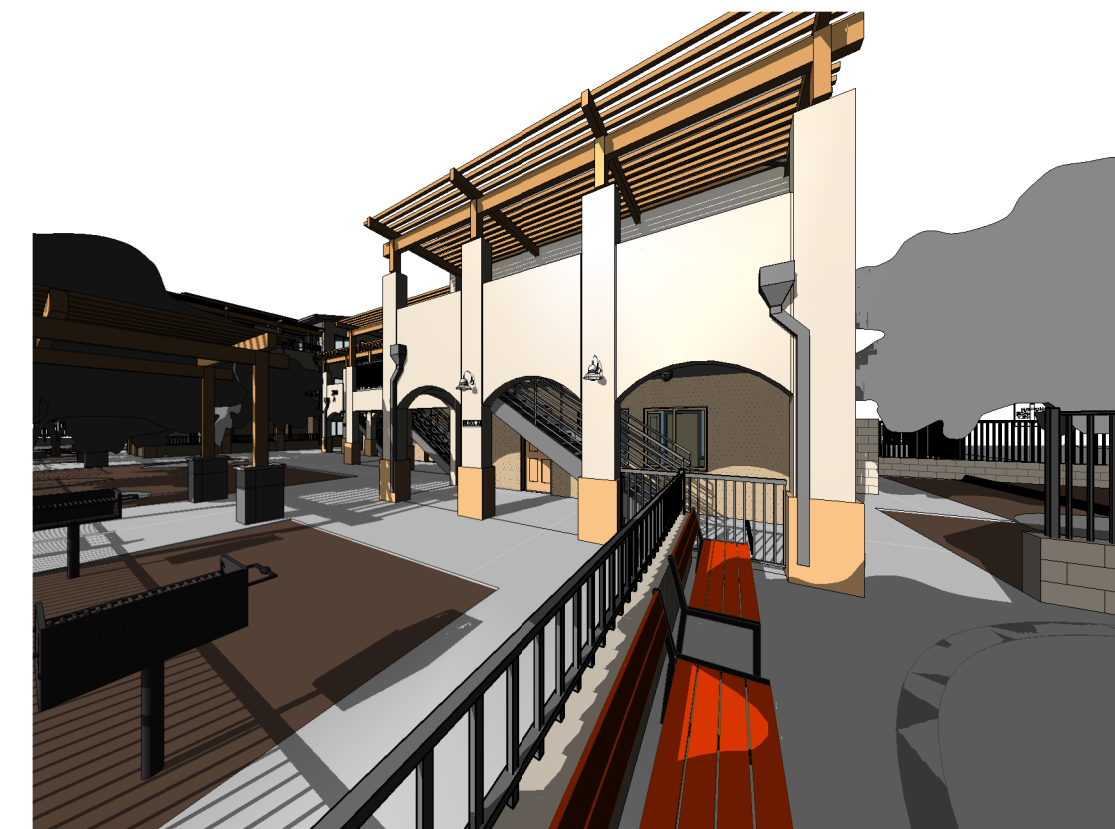
3D View 4 | SCALE 2



3D View 3 | SCALE 1



3D View 10 | SCALE 8



3D View 8 | SCALE 6



3D View 7 | SCALE 5

BUILDING A - PERSPECTIVES



3D View 13 | SCALE 11



3D View 12 | SCALE 10



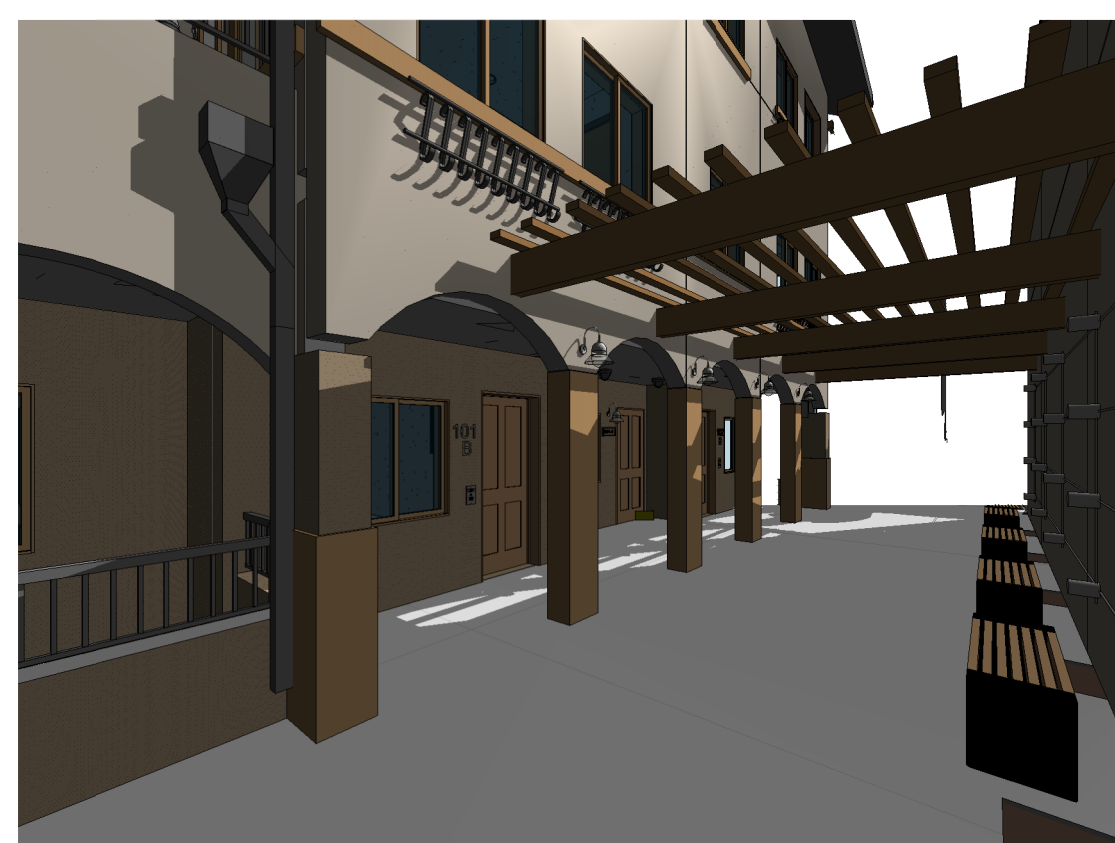
3D View 11 | SCALE 9



3D View 9 | SCALE 7



3D View 17 | SCALE 15



3D View 16 | SCALE 14



3D View 15 | SCALE 13



3D View 14 | SCALE 12

BUILDING B - PERSPECTIVES



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SEAL:



SHEET INFORMATION:

PROJECT NO.: 316-18-20
SCALE:
DATE: August 03, 2021

SHEET TITLE:

PERSPECTIVES

SHEET NO.:

A9.1

PLAN CHECK SET RESUBMITTAL