

**TRAFFIC IMPACT FEE (TIF)
STREET IMPROVEMENT REIMBURSEMENT AGREEMENT**

THIS STREET IMPROVEMENT REIMBURSEMENT AGREEMENT (this "Agreement"), entered into this ____ day of _____, 2022, by and between the CITY OF LAKE ELSINORE, a municipal corporation, hereinafter referred to as the "City," and Meritage Homes of California, Inc., hereinafter referred to as the "Developer."

RECITALS

A. Developer is the owner of property located within the City, which property has received development approvals from the City including Tentative Tract Map approval TTM 37305,-1 (also referred to as Tracts 37305, 37305-1 Nichols Ranch), ("Project") as shown on Exhibit "A," attached hereto and incorporated herein by this reference (the "Property" or the "Tract(s)").

B. As a condition of the development approvals for the Property, including the Parcel Map approvals, the Developer is required to construct those public improvements identified on Exhibit "C" for funding under the "TIF," which is attached hereto and incorporated herein, consisting of street improvements for Nichols Road (individually, an "Improvement," collectively the "Improvements"); the design of the Improvements have or will be submitted directly to the City and the estimated cost of the Improvements are also set forth on Exhibit "C."

C. Of the improvements to be constructed by the Developer, Nichols Road widening is identified in the TIF Study and eligible for reimbursement as specified in the cost estimate assumptions identified in the 2002 TIF Study and Chapter 16.74 of the Lake Elsinore Municipal Code, Resolution 2002.22, Section 7 "Use of Fee."

D. The Developer intends to develop or have developed 168 Residential Units.

E City Ordinance No. 1081 adding Chapter 16.74 to the Lake Elsinore Municipal Code establishes a Traffic Infrastructure Fee to be paid prior to the issuance of a building permit for a residential dwelling unit for the City's arterial and collector street system (the "TIF"), and Section 16.74.120 specifically establishes a mechanism for providing credits and reimbursement to Developer for constructing and installing eligible public capital street improvements.

F. The Developer has requested that City enter into an agreement by the terms of which it can be reimbursed or receive credit from the TIF that the City has collected or will collect in the future for an amount that is not to exceed the amount specified in Exhibit "C" (the "Reimbursement Amount").

AGREEMENT

NOW, THEREFORE, for good and valuable consideration, the receipt of which is hereby acknowledged, and the mutual promises contained herein, it is agreed as follows:

Section 1. Purpose of the Agreement. Following execution of this Agreement, the Developer shall cause the Improvements to be designed, engineered, permitted and constructed and the City shall pay or credit the Developer the Reimbursement Amount, as defined in Section 5.

Section 2. Preparation and Approval of Plans and Specifications. The Developer has or shall cause plans and specification (the "Plans") to be prepared for the Improvements and obtain all of the permits ("Permits") required for construction of the Improvements. The Developer shall provide a copy of the Plans to the City Engineer and shall obtain the written approval of the Plans from City.

Section 3. Duty of Developer to Construct. The Developer shall construct or cause the Improvements to be constructed in accordance with the approved Plans and the specifications approved by the City Engineer. The Developer shall perform all of its obligations hereunder and shall conduct all operations with respect to the construction of the Improvements in a good, workmanlike and commercially reasonable manner, with the standard of diligence and care normally employed by duly qualified persons utilizing commercially reasonable efforts in the performance of comparable work and in accordance with generally accepted practices appropriate to the activities undertaken. The Developer shall not be relieved of its obligation to construct the Improvements and cause title to the Improvements to be conveyed to the City even if the Reimbursement Amount is less than the actual cost of the Improvements. Notwithstanding the foregoing, nothing set forth in this Agreement shall be construed to require the Developer to perform any work requiring a contractor's license, nor shall the Developer be deemed to be performing construction services pursuant to this Agreement.

Section 4. Acquisition of City Facilities. The Developer hereby agrees to convey to the City and the City hereby agrees to accept the Improvements and to pay to the Developer the Reimbursement Amount for the Improvements, subject to the terms and conditions hereof.

The Reimbursement Amount is to be paid solely from the TIFs collected or to be collected by the City and designated for the cost of construction of the Improvements and the City shall not be obligated to pay the Reimbursement Amount except from amounts held by the City for such purposes.

Section 5. Payment of the Reimbursement Amount. The Developer acknowledges that as of the date of this Agreement the City TIF obligation of the Project is \$ 229,992. This obligation currently ~~exceeds~~ [is less than] the estimated cost of the Improvements set forth in Exhibit "C": the combined engineer's estimated cost is \$ 1,626,410.76 of which \$ 229,992 is eligible towards TIF Credits. The Developer further acknowledges that this Agreement does not serve to estop the City from making further adjustments to the TIF, consistent with Chapter 16.74 and State law. Finally, the Developer acknowledges that the City Council may consider adjustments to the TIF. The parties agree that the dollar amount of any TIF credit to be earned by the Developer pursuant to this Agreement ("Credit") will be determined by the fee schedule and authorized TIF maximum budget for such Improvement in place at the time the City Engineer issues the Credit Notice. Additionally, the parties agree that certain components of Improvements can be separately identified, inspected and completed, and can be the subject of a Payment Request hereunder (a "Discrete Component").

(a) Upon recordation of a Notice of Completion for the Improvements and acceptance of the Improvements by the City Engineer or, alternatively, upon the determination by the City Engineer that a component of the Improvement is an acceptable Discrete Component, the Developer shall submit a billing to the City Engineer requesting determination of the actual cost of the Improvement or Discrete Component and the TIF Credit ("Payment Request"). The dollar amount of the earned TIF Credit is to equal the actual cost incurred by the Developer in constructing the Improvements or Discrete Component. The dollar amount of the earned TIF Credit may not exceed the dollar amount stated in Exhibit "C," as may be amended from time to

time under the City's TIF program as set forth in this Section 5. The Developer shall supply all documentation requested by the City Engineer in determining the actual construction cost of the Improvements or Discrete Component. The City Engineer shall use commercially reasonable efforts to determine the amount of the earned TIF Credit within thirty (30) calendar days of receipt of the bill submitted by the Developer.

(b) As of the effective date of this Agreement, the parties agree that Developer has completed certain Discrete Components and has submitted Payment Requests therefor. The City Engineer has determined the amount of the earned TIF Credit for such Discrete Components, all as set forth in Exhibit "C." Within 15 days of the effective date of this Agreement, the City Engineer shall provide Developer with the Credit Notice as set forth in subsection (c) below for such Discrete Components as set forth in Exhibit "C." Notwithstanding the foregoing, Developer may seek to designate additional components of Improvements as "Discrete Components" subject to the requirements set forth herein.

(c) The City Engineer will provide the Developer written notice (the "Credit Notice"), of the dollar amount of the earned TIF Credit. If the dollar amount of the earned TIF Credit exceeds the dollar amount of the TIF that would otherwise be due from the Developer (the "Fee Credit Excess"), the City Engineer will identify in the Notice that the TIF Credit Excess will generate either: (i) a cash reimbursement to the Developer if Developer has paid TIFs as provided in subsection (e) below or (ii) an earned TIF Credit to offset the City TIF required on another approved tract or parcel map to be developed by the Developer. Once completed, the Credit Notice is to be executed and dated by the City Engineer and the Developer.

(d) If the dollar amount of the earned TIF Credit is less than the City TIF that would be due from the Developer, the Credit Notice will so note. The amount of the TIF Credit to be applied with each City TIF payment on either a per unit or per acre basis will be identified.

(e) If one or more building permits are issued by City to Developer during a period in which developer does not have any available TIF Credits, then the Developer shall pay the full City TIF for each permit issued, and upon acceptance of any Improvements by the City Engineer, the City Engineer will note on the Credit Notice the full City TIF paid to date of acceptance and make the appropriate adjustment for the application of the earned TIF Credit consistent with subsection (c) above.

Section 6. Construction Requirements.

(a) The Developer shall require, and the specifications and contract documents shall require all contractors, subcontractors, vendors, equipment operators and owner operators, in each such case to the extent such individuals or entities are engaged to perform work on the Improvements, to pay at least general prevailing wage rates to all workers employed in the execution of the contract, to post a copy of the general prevailing wage rates at the job -site in a conspicuous place available to all employees and applicants for employment, and to otherwise comply with applicable provisions of the California Labor Code, the California Government Code and the California Public Contracts Code relating to general prevailing wage rates as required by the specifications approved by the City Engineer.

(b) The Developer shall require each contractor, subcontractor, vendor, equipment operator and owner operator, in each such case to the extent such individual or entity is engaged to perform work on the Improvements, to provide proof of insurance coverage satisfying the requirements of Section 11 hereof throughout the term of the construction of the Improvements.

Rather than requiring its contractors to provide such insurance, the Developer may elect to provide the same for the benefit of its contractors.

(c) The Developer shall comply, and shall cause each contractor, subcontractor, vendor, equipment operator and owner operator, in each such case to the extent such individual or entity is engaged to perform work on the Improvements, to comply with such other requirements relating to the construction of the Improvements as the City may impose by written notification delivered to the Developer, to the extent legally required as a result of changes in applicable federal, state or City laws, rules or procedures.

(d) The Developer shall require, and the specifications and bid and contract documents shall require, all contractors, subcontractors, vendors, equipment operators and owner operators, in each such case to the extent such individuals or entities are engaged to perform work on the Improvements, to submit certified weekly payroll records to the City Engineer promptly upon request.

The Developer shall provide proof to the City Engineer, at such intervals and in such form as the City Engineer may require, that the foregoing requirements have been satisfied as to the Improvements.

Section 7. Licenses and Permits. The Developer shall have secured (or shall have caused to be secured) any and all permits which may be required by the City or any other governmental agency affected by the construction of the Improvements. The Developer shall be responsible for paying all applicable fees and charges to the City to obtain any land use entitlements and permits that are necessary to construct the Improvements.

Section 8. Modifications to the Estimated Cost Stated in Exhibit "C." The cost of the Improvements shall not exceed the amounts shown in Exhibit "C" without a formal amendment to this Agreement. If during the course of construction of the Improvements, the Developer is presented with a change order or set of change orders that would increase the construction cost beyond 15 %, then the Developer must receive the approval of the City Engineer before approving the change order(s). In no instance shall the total construction costs, including any change orders, exceed the estimated costs shown in Exhibit "C" without a formal amendment to this Agreement. Upon approving the change order, the City Engineer will cause a formal amendment to this Agreement to be prepared, if necessary. Failure to comply with this provision will result in the City not reimbursing or crediting the Developer for any change orders.

Section 9. Inspection; Completion of Construction. The City Engineer shall have responsibility for providing inspection of the work of construction of the Improvements to ensure that the work of construction is accomplished in accordance with the Plans and specifications approved by the City Engineer. City personnel shall have access to the site of the work construction at all reasonable times for the purpose of accomplishing such inspection.

No later than ten business days after receiving notification from the City that the Improvements has been constructed in accordance with the Plans, the Developer shall forthwith file with the Lake Elsinore City Clerk a Notice of Completion pursuant to the provisions of Section 3093 of the California Civil Code.

Section 10. Maintenance of Facilities; Warranties. The Developer shall maintain the Improvements in good and safe condition until their acceptance by the City. Prior to the acceptance of the Improvements, the Developer shall be responsible for maintaining the

Improvements in proper operating condition and shall perform such maintenance as the City Engineer reasonably determines to be necessary. As of the date of acceptance of the Improvements, the Developer shall assign to the City all of the Developer's rights in any warranties, guarantees, maintenance obligations or other evidence of contingent obligations of third persons with respect to the Improvements.

Section 11. Insurance Requirements. Without limiting or diminishing the Developer's obligation to indemnify or hold the City harmless, the Developer shall procure and maintain or cause to be maintained, at its sole cost and expense, the following insurance coverages during the term of this Agreement.

(a) Commercial General Liability: Developer shall maintain commercial general liability insurance coverage, including but not limited to, premises liability, contractual liability, products and completed operations, explosion, collages, use of cranes, and other heavy equipment and underground hazards, personal and advertising injury covering claims which may arise from or out of Developer's performance of its obligations hereunder ("Policy"). The Policy shall name by endorsement the City and its special districts, respective directors, officers, Board of Supervisors, elected officials, employees, agents or representatives as Additional Insureds. The Policy's limit of liability shall not be less than \$1,000,000 per occurrence combined single limit. If such insurance Policy contains a general aggregate limit, it shall apply separately to this Agreement or be no less than two (2) times the occurrence limit.

(b) Vehicle Liability: Developer shall maintain liability insurance for all owned, non-owned or hired vehicles in an amount not less than \$1,000,000 per occurrence combined single limit. If such insurance contains a general aggregate limit, it shall apply separately to this Agreement or be no less than two (2) times the occurrence limit. Policy shall name by endorsement the City, its special districts, their respective directors, officers, Board of Supervisors, elected officials, employees, agents or representatives as Additional Insureds.

(c) Worker's Compensation Insurance: Developer shall maintain Workers' Compensation Insurance (Coverage A) as prescribed by the laws of the State of California.

Section 12. Ownership of Facilities. Notwithstanding the fact that a portion or all of the Improvements may be constructed in dedicated rights-of-way or on property that has been or will be dedicated to the City, the Improvements shall be and remain the property of the Developer until acceptable title thereto is conveyed to the City as provided herein. Such ownership by the Developer shall likewise not be affected by any agreement that the Developer may have entered into or may enter into with the City pursuant to the provisions of the Subdivision Map Act, Section 66410 et seq. of the Code, and the provisions of this Section shall control.

Section 13. Representations, Warranties and Covenants of the Developer. The Developer makes the following representations, warranties and covenants for the benefit of the City, as of the date hereof and as of the date of the Payment Request is delivered to the City hereunder:

(a) Organization. The Developer represents and warrants that the Developer is a California corporation duly organized and validly existing under the laws of the State of California, is in good standing under the laws of the State, and has the power and authority to own its properties and assets and to carry on its business as now being conducted and as now contemplated.

(b) Authority. The Developer represents and warrants that the Developer has the power and authority to enter into this Agreement, and has taken all action necessary to cause this Agreement to be executed and delivered, and this Agreement has been duly and validly executed and delivered on behalf of the Developer.

(c) Binding Obligation. The Developer represents and warrants that this Agreement is a valid and binding obligation of the Developer and is enforceable against the Developer in accordance with its terms, subject to bankruptcy, insolvency, reorganization or other similar laws affecting the enforcement of creditors' rights in general and by general equity principles.

(d) Completion of Improvements. The Developer covenants that it will use its reasonable and diligent efforts to do all things that may be lawfully required of it in order to cause the Improvements to be completed in accordance with this Agreement.

(e) Compliance with Laws. The Developer covenants that, while the Improvements are owned by the Developer or required pursuant to this Agreement to be maintained by the Developer, it will not commit, suffer or permit any of its agents, employees or contractors to commit any act to be done in, upon or to the Improvements in violation in any material respect of any law, ordinance, rule, regulation or order of any governmental authority or any covenant, condition or restriction now or hereafter affecting the Property or the Improvements.

(f) Payment Requests. The Developer represents and warrants that it will diligently follow all procedures set forth in this Agreement with respect to Payment Requests.

(g) Financial Records. Until the final acceptance of the Improvements, the Developer covenants to maintain proper books of record and account for the Improvements and all costs related thereto. The Developer covenants that such accounting books will be maintained in accordance with generally accepted accounting principles and will be available for inspection by the City and the City Engineer, at any reasonable time during regular business hours on two business days' prior written notice, subject to mutually acceptable arrangements regarding the confidentiality of proprietary data.

(h) Permits. The Developer covenants that it will obtain all governmental or other permits required to proceed with the construction of the Improvements and that it will pay all fees relating thereto. The Developer and the City mutually represent and warrant to each other that to their actual knowledge, as of the date hereof, there is no material legal impediment to the Developer's proceeding with and completing the construction of the Improvements or to the development of the Property as contemplated by the Developer.

(i) Environmental Matters. The Developer represents and warrants that it has complied with, has caused compliance with, or will cause compliance with, the California Environmental Quality Act ("CEQA") as required for the construction of the Improvements and its conveyance to the City.

Section 14. Representations, Warranties and Covenants of City. City makes the following representations, warranties and covenants for the benefit of the Developer:

(a) Authority. City represents and warrants that City has the power and authority to enter into this Agreement and has taken all action necessary to cause this Agreement to be executed and delivered, and this Agreement has been duly and validly executed and delivered on behalf of the City.

(b) Binding Obligation. City represents and warrants that this Agreement is a valid and binding obligation of City and is enforceable against City in accordance with its terms, subject to bankruptcy, insolvency, reorganization or other similar laws affecting the enforcement of creditors' rights in general and by general equity principles.

(c) Completion of the Improvements. The City covenants that it will use its reasonable and diligent efforts to expeditiously take all actions that may be lawfully required of it in issuing permits, processing and approving plans and specifications and inspecting the Improvements in accordance with this Agreement.

(d) Payment Requests. City represents and warrants that it will diligently follow all procedures set forth in this Agreement with respect to each payment request and payment of the Reimbursement Amount.

Section 15. Indemnification. The Developer agrees to protect, indemnify, defend and hold the City, and its respective officers, employees and agents, and each of them, harmless from and against any and all claims, losses, expenses, suits, actions, decrees, judgments, awards, attorney's fees, and court costs which the City, or its respective officers, employees and agents, or any combination thereof, may suffer or which may be sought against or recovered or obtained from the City, or its respective officers, employees or agents, or any combination thereof, as a result of or by reason of or arising out of or in consequence of:

(a) the acquisition, construction, or installation of the Improvements;

(b) the untruth or inaccuracy of any representation or warranty made by the Developer in this Agreement or in any certifications delivered by the Developer hereunder; or

(c) any act or omission of the Developer or any of its subcontractors, or their respective officers, employees or agents, in connection with the Improvements. If the Developer fails to do so, the City shall have the right, but not the obligation, to defend the same and charge all of the direct or incidental costs of such defense, including any attorneys' fees or court costs, to and recover the same from the Developer. The parties acknowledge and agree that the Developer shall be released from the indemnity obligation set forth herein upon the acceptance of the Improvements by the City.

Section 16. Developer as a Private Developer. In performing under this Agreement, it is mutually understood that the Developer is acting as a private developer, and not as an agent of the City. The City shall have no responsibility for payment to any contractor, subcontractor or supplier of the Developer. Accordingly, this Agreement does not constitute a debt or liability of the City. Other than as provided in Section 5, the City shall not be obligated to advance any of its own funds or any other costs incurred in connection with the Project. No member, official or employee of the City shall be personally liable to the Developer, or any successor in interest, in the event of any default or breach by the City or for any amount which may become due to the Developer or its successors, or on any obligations under the terms of this Agreement.

Section 17. Other Agreements. Nothing contained herein shall be construed as affecting the City's or the Developer's respective duty to perform its respective obligations under other agreements, land use regulations or subdivision requirements relating to the development of the Property, which obligations are and shall remain independent of the Developer's rights and obligations, and the City's rights and obligations, under this Agreement; provided, however, that the Developer shall use its reasonable and diligent efforts to perform each and every covenant to

be performed by it under any lien or encumbrance, instrument, declaration, covenant, condition, restriction, license, order, or other agreement, the nonperformance of which could reasonably be expected to materially and adversely affect the design, acquisition, construction and installation of the Improvements.

Section 18. Binding on Successors and Assigns. Neither this Agreement nor the duties and obligations of the Developer hereunder may be assigned to any person or legal entity other than an affiliate of the Developer without the written consent of the City, which consent shall not be unreasonably withheld or delayed. Neither this Agreement nor the duties and obligations of the City hereunder may be assigned to any person or legal entity, without the written consent of the Developer, which consent shall not be unreasonably withheld or delayed. The agreements and covenants included herein shall be binding on and inure to the benefit of any partners, permitted assigns, and successors -in- interest of the parties hereto.

Section 19. Amendments. This Agreement can only be amended by an instrument in writing executed and delivered by the City and the Developer.

Section 20. Waivers. No waiver of, or consent with respect to, any provision of this Agreement by a party hereto shall in any event be effective unless the same shall be in writing and signed by such party, and then such waiver or consent shall be effective only in the specific instance and for the specific purpose for which it was given.

Section 21. No Third Party Beneficiaries. No person or entity, other than the City, shall be deemed to be a third party beneficiary hereof, and nothing in this Agreement (either express or implied) is intended to confer upon any person or entity, other than the City and the Developer (and their respective successors and assigns), any rights, remedies, obligations or liabilities under or by reason of this Agreement.

Section 22. Notices. Any written notice, statement, demand, consent approval, authorization, offer, designation, request or other communication to be given hereunder shall be given to the party entitled thereto at its address set forth below, or at such other address as such party may provide to the other party in writing from time to time, namely:

City: City of Lake Elsinore
Attn: City Manager
130 South Main Street
Lake Elsinore, CA 92539

Developer: Meritage Homes of California, Inc.
5 Peters Canyon Road, Suite 310
Irvine, CA 92606
Attn: Efrem Joelson

With a copy to: Meritage Homes
8800 East Raintree Drive, Suite 300
Scottsdale, Arizona 85260
Attention: CA Regional Counsel

Each such notice, statement, demand, consent, approval, authorization, offer, designation, request or other communication hereunder shall be deemed delivered to the party to whom it is addressed (a) if personally served or delivered, upon delivery, (b) if given by electronic

communication, whether by telex, telegram or telecopy, upon the sender's receipt of an appropriate answerback or other written acknowledgment, (c) if given by registered or certified mail, return receipt requested, deposited with the United States mail postage prepaid, 72 hours after such notice is deposited with the United States mail, (d) if given by overnight courier, with courier charges prepaid, 24 hours after delivery to said overnight courier, or (e) if given by any other means, upon delivery at the address specified in this Section.

Section 23. Jurisdiction and Venue. City and the Developer (a) agrees that any suit action or other legal proceeding arising out of or relating to this Agreement shall be brought in state or local court in the County of Riverside or in the Courts of the United States of America in the district in which the City is located, (b) consents to the jurisdiction of each such court in any suit, action or proceeding, and (c) waives any objection that it may have to the laying of venue or any suit, action or proceeding in any of such courts and any claim that any such suit, action or proceeding has been brought in an inconvenient forum. Each of the City and the Developer agrees that a final and non - appealable judgment in any such action or proceeding shall be conclusive and may be enforced in other jurisdictions by suit on the judgment or in any other manner provided by law.

Section 24. Attorneys' Fees. If any action is instituted to interpret or enforce any of the provisions of this Agreement, the prevailing party in such action shall be entitled to recover from the other party thereto reasonable attorney's fees and costs of such suit (including both prejudgment and post judgment fees and costs) as determined by the court as part of the judgment.

Section 25. Governing Law. This Agreement and any dispute arising hereunder shall be governed by and interpreted in accordance with the laws of the State of California.

Section 26. Usage of Words. As used herein, the singular of any word includes the plural, and terms in the masculine gender shall include the feminine.

Section 27. Counterparts. This Agreement may be executed in counterparts, each of which shall be deemed an original.

[Signatures On Next Page]

IN WITNESS WHEREOF, the parties have executed this Agreement as of the respective dates set forth below.

“CITY”

CITY OF LAKE ELSINORE, a municipal corporation

Date: _____, 2022

By: _____
Jason P. Simpson, City Manager

ATTEST:

CITY CLERK

Candice Alvarez, City Clerk

APPROVED AS TO FORM:

LEIBOLD McCLENDON & MANN, P.C.

Barbara Leibold, City Attorney

“DEVELOPER”

MERITAGE HOMES OF CALIFORNIA,
INC., a California Corporation

Date: _____, 2022

By: _____
Name: _____
Its: _____

LIST OF EXHIBITS

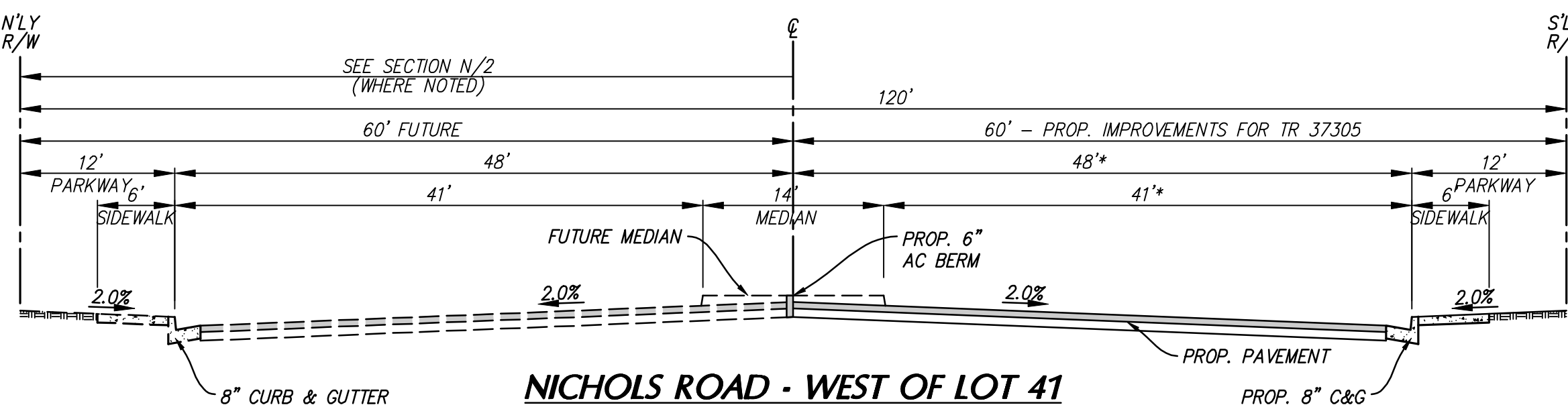
**EXHIBIT "A"
(MAP)**

EASEMENT NOTES:

2. EASEMENT(S) FOR DITCHES AND PIPELINES, IN FAVOR OF THE TEMESCAL WATER COMPANY, RECORDED ON AUGUST 9, 1895 PER A DOCUMENT RECORDED IN BOOK 33, PAGE 364 OF DEEDS.
- NOT PLOTTED - INDETERMINATE FROM RECORD.
5. AGREEMENT TO ESTABLISH COVENANTS AND EQUITABLE SERVITUDES BETWEEN ADJOINING LANDOWNERS, PER A DOCUMENT RECORDED ON DECEMBER 21, 1981 AS INSTRUMENT NO. 234928 OF OFFICIAL RECORDS.
- NOT PLOTTED - INDETERMINATE FROM RECORD.
6. AN IRREVOCABLE OFFER TO DEDICATE AN EASEMENT FOR DRAINAGE AND SLOPE PURPOSES, IN FAVOR OF THE COUNTY OF RIVERSIDE, RECORDED ON JANUARY 11, 1983, PER INSTRUMENT NO. 5623 OF OFFICIAL RECORDS.
8. RESERVATION OF EASEMENTS AND RIGHTS NECESSARY TO MAINTAIN, OPERATE, REPLACE, REMOVE, OR REVIEW IN-PLACE PUBLIC UTILITY FACILITIES, RECORDED ON FEBRUARY 6, 2013 PER THE VACATION OF A PORTION OF NICHOLS ROAD RECORDED AS INSTRUMENT NO. 2013-00657 OF OFFICIAL RECORDS.
- TO BE VACATED / ABANDONED PER PARCEL MAP 37465.
9. EASEMENT FOR PUBLIC RIGHTS OF WAY AND PUBLIC UTILITY PURPOSES, IN FAVOR OF THE CITY OF LAKE ELSINORE, RECORDED ON MARCH 6, 2013 PER INSTRUMENT NO. 2013-0109930 OF OFFICIAL RECORDS.
11. EASEMENT FOR FUTURE CALTRANS WIDENING / IN FAVOR OF THE CITY OF LAKE ELSINORE, RECORDED ON DECEMBER 20, 2015 PER INSTRUMENT NO. 2015-0589006.
- 17, 28. EASEMENT FOR POLE LINES AND / OR CONDUITS, IN FAVOR OF SOUTHERN CALIFORNIA EDISON COMPANY, RECORDED ON DECEMBER 31, 1968 PER INSTRUMENT NO. 127429 OF OFFICIAL RECORDS.
29. EASEMENT FOR ROAD AND UTILITY PURPOSES, IN FAVOR OF MARY ELIZABETH CUMMINGS, RECORDED ON NOVEMBER 16, 1966 PER INSTRUMENT NO. 111314 OF OFFICIAL RECORDS.
- A. EASEMENT FOR PUBLIC ROAD PURPOSES PER PARCEL MAP NO. 37465 THIS EASEMENT IS TO BE VACATED BY THE CITY OF LAKE ELSINORE, INCLUDING ANY UTILITY RIGHTS, UPON COMPLETION OF THE NEW NICHOLS ROAD IMPROVEMENTS REQUIRED PER. TTM 37305.

LEGEND/ABBREVIATIONS

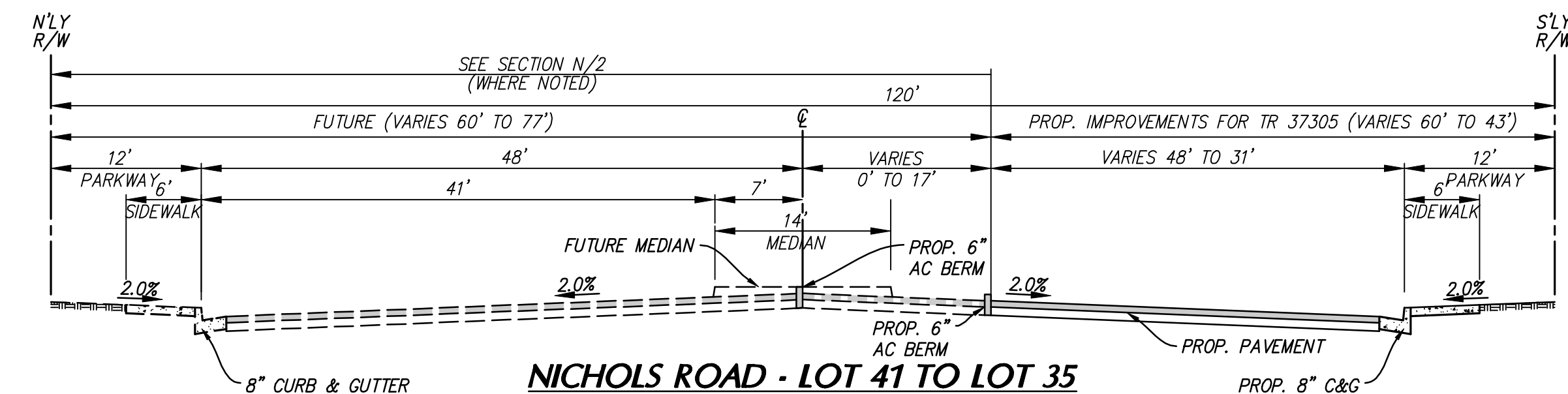
A.C.	ASPHALT CONCRETE	---	CENTERLINE
AC.	ACRE	---	PROPERTY LINE
A.B.	AGGREGATE BASE	---	RIGHT OF WAY
BC	BEGIN. OF CURVE	---	PROPOSED LOTLINE
CB	CATCH BASIN	---	PROPOSED WATER
C/L, CL, &	CENTER LINE	---	PROPOSED STORM DRAIN
C&G	CURB AND GUTTER	---	PROPOSED SEWER
CY	CUBIC YARD	---	PROPOSED RECYCLE WATER
D/L	DAYLIGHT	---	STREET GRADE & FLOW DIRECTION
DWY	DRIVEWAY	---	PROPOSED CONTOUR
E.A., EA	EACH	---	EXISTING CONTOUR
EC	END OF CURVE	---	TOP OF SLOPE
EP	END OF PAVEMENT	---	TOE OF SLOPE
EG	EXISTING GROUND	---	
EX., EXIST.	EXISTING	---	
FH	FIRE HYDRANT	---	
FG	FINISH GRADE	---	
FL	FLOWLINE	---	
FM	FORGE MAIN	---	
FS	FINISHED SURFACE	---	
GB	GRADE BREAK	---	
HP, L.F.	HIGH POINT	---	
LN	LINEAL FEET	---	
LP	LANDSCAPE	---	
LS	LANDSCAPE	---	
MAX	MAXIMUM	---	
MIN	MINIMUM	---	
MH	MANHOLE	---	
N.A.P.	NOT-A-PART	---	
NTS	NOT TO SCALE	---	
P/L	PROPERTY LINE	---	
PROP.	PROPOSED	---	
R/W, RW	RIGHT OF WAY	---	
R	RADIUS	---	
SCE	SOUTHERN CALIFORNIA EDISON	---	
SD	STORM DRAIN	---	
S	SEWER	---	
SIM.	SIMILAR	---	
SF, S.F.	SQUARE FEET	---	
SW	SEWER	---	
TC	TOP OF CURB	---	
TYP.	TYPICAL	---	
VC	VERTICAL CURVE	---	
W	WATER	---	



NICHOLS ROAD - WEST OF LOT 41

NTS
CITY OF LAKE ELSINORE STD. NO. 100C
URBAN ARTERIAL

* NOTE: A 14' WIDE RIGHT TURN ONLY LANE WILL BE PROVIDED ON THE SOUTH SIDE OF NICHOLS ROAD APPROACHING THE ENTRANCE TO THE COMMERCIAL SITE (LOT 169)



NICHOLS ROAD - LOT 41 TO LOT 35

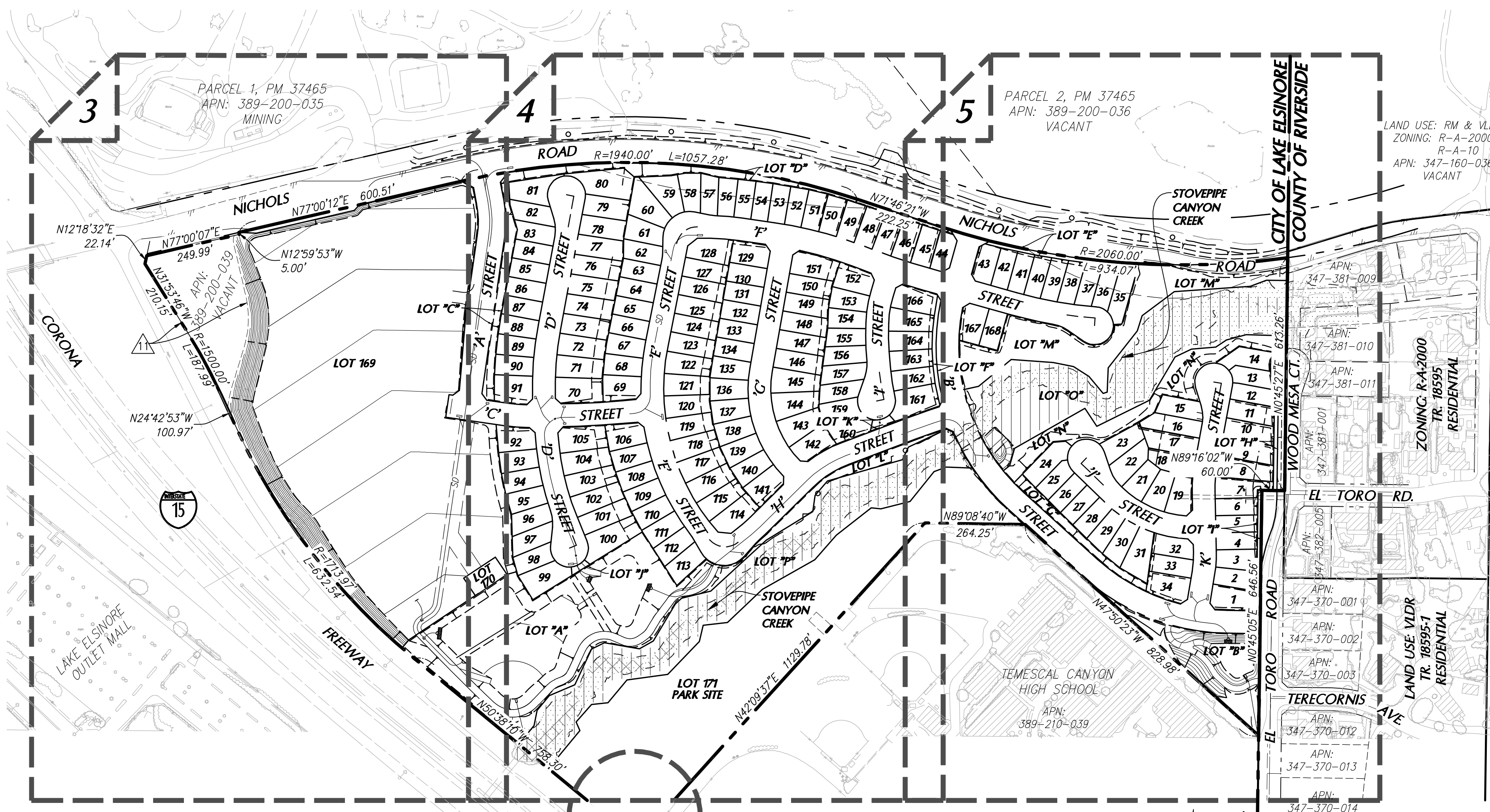
NTS
CITY OF LAKE ELSINORE STD. NO. 100C
URBAN ARTERIAL

EARTHWORK QUANTITIES

CUT:	198,000 CY
FILL:	217,000 CY
IMPORT/EXPORT:	56,200 CY

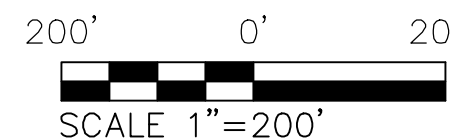
CUT AND FILL QUANTITIES SHOWN ARE RAW ESTIMATES. IMPORT QUANTITY INCLUDES ESTIMATED AMOUNTS FOR SHRINKAGE, SUBSIDENCE, OVER-EXCAVATION QUANTITIES. ALL VALUES TO BE VERIFIED WITH FINAL DESIGN

TENTATIVE TRACT MAP NO. 37305
IN THE CITY OF LAKE ELSINORE

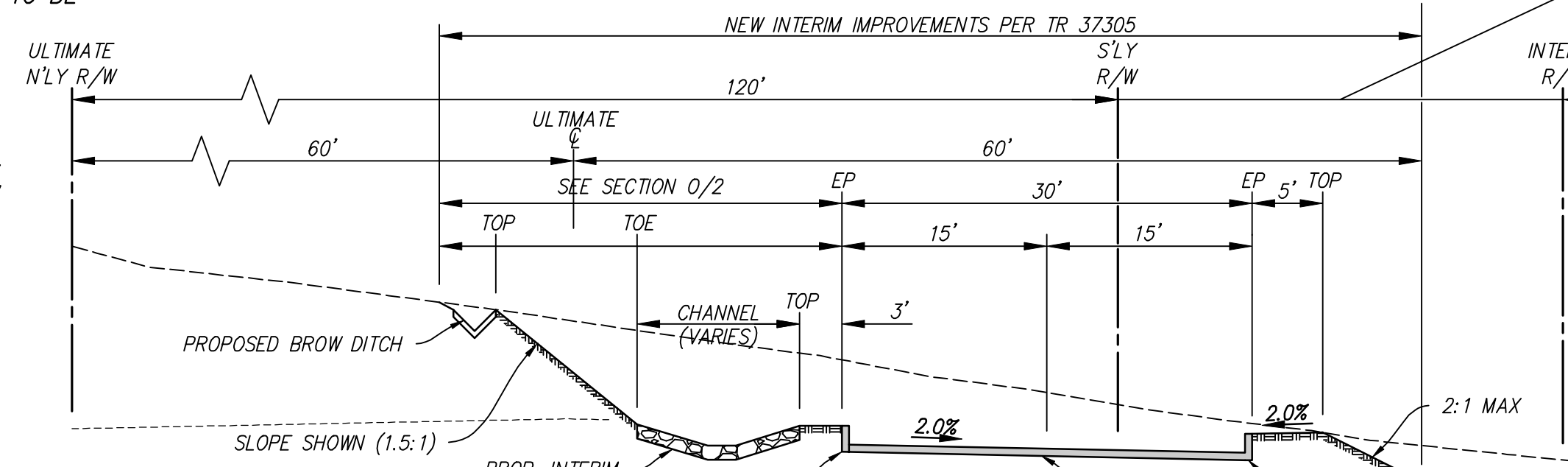


SEE SHEET 3
DETAIL "A"

INDEX MAP

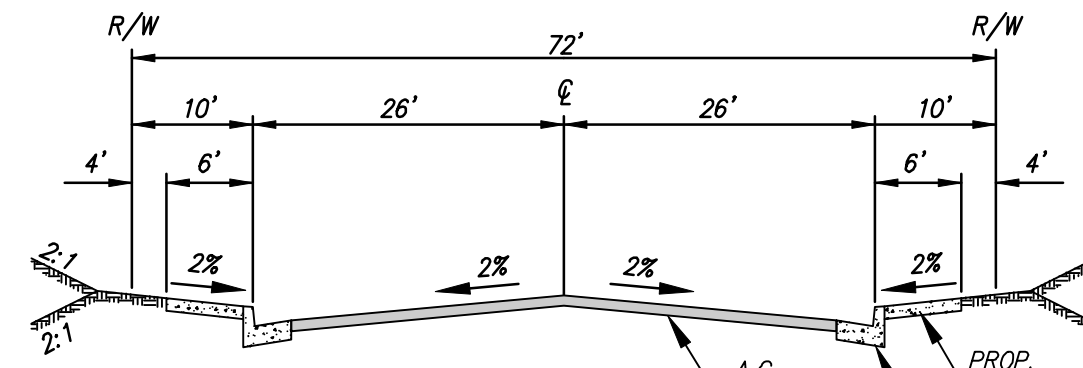


TEMPORARY ROADWAY EASEMENT PER PM 37465 TO BE VACATED ONCE NEW INTERIM IMPROVEMENTS SHOWN HEREON ARE ACCEPTED BY THE CITY OF LAKE ELSINORE (WIDTH VARIES)



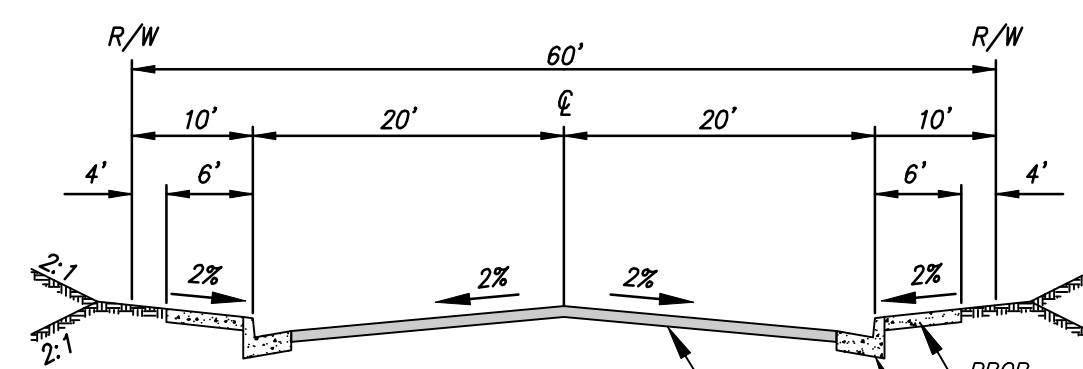
INTERIM NICHOLS ROAD - EAST OF LOT 41

NTS



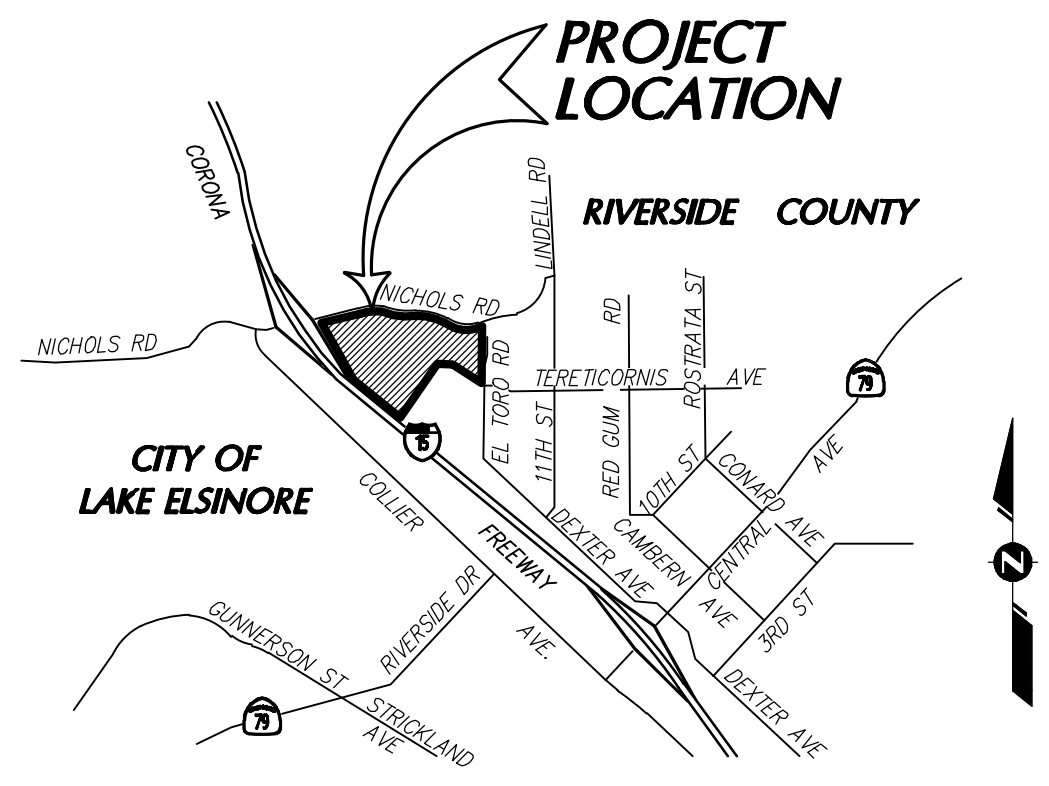
MODIFIED LOCAL STREET

NTS
MODIFIED CITY OF LAKE ELSINORE STD. DWG. 108
NOTE: NO PARKING ALLOWED ON "A" STREET



LOCAL STREET

NTS
"B", "C", "D", "E", "F", "G", "H", "I", "J", "K", "L", "M", "N", "O", "P", "Q", "R", "S", "T", "U", "V", "W", "X", "Y", "Z" STREETS
CITY OF LAKE ELSINORE STD. DWG. 108
NOTE: NO PARKING ALLOWED ON "B" STREET



VICINITY MAP

NOT TO SCALE
THOMAS GUIDE, PAGE 836, GRID B7, 2006
SAN BERNARDINO & RIVERSIDE COUNTY EDITION

GENERAL NOTES

- ASSESSORS' PARCEL NUMBERS: 389-200-038, 389-200-039; 389-210-008; 389-210-032; 389-210-034; 389-210-036, & PORTIONS OF CURRENT APNS: 289-200-035 & 289-200-036
- APPROXIMATE AREA
GROSS = 73.97 ACRES
NET = 72.50 ACRES
EXCLUDES CALTRANS WIDENING EASEMENT (11)
- EXISTING GENERAL PLAN DESIGNATION: SPECIFIC PLAN (SP) - ALBERHILL RANCH AND GENERAL COMMERCIAL (GC)
- PROPOSED GENERAL PLAN DESIGNATION: SPECIFIC PLAN (SP) - NICHOLS SOUTH
- EXISTING ZONING: SPECIFIC PLAN (SP) - ALBERHILL RANCH AND COMMERCIAL MIXED USE (CMU)
- PROPOSED ZONING: SPECIFIC PLAN (SP) - NICHOLS SOUTH
- TOTAL LOTS:
SINGLE FAMILY LOTS 1-168 22.74 AC
COMMERCIAL LOTS 169-170 14.22 AC (15.68 AC GROSS)
SEWER LIFT STATION LOT 170 0.13 AC
PARK SITE LOT 171 6.49 AC
PUBLIC STREETS (A-J) 10 LOTS 12.49 AC
LETTERED LOTS (SEE TABLE ON SHEET 2) 16 LOTS 16.43 AC
- RESIDENTIAL LOT SIZE DATA
AVERAGE LOT SIZE = 5,896 SF
MINIMUM LOT SIZE = 4,549 SF
MAXIMUM LOT SIZE = 9,468 SF
- PROPOSED GROSS DENSITY RESIDENTIAL: 168 DU / 36.20 AC = 4.64 DU/AC
- EXISTING LAND USE: VACANT
- ADJACENT LAND USES:
WEST: FREEWAY (INTERSTATE 15)
SOUTH: TEMESCAL CANYON HIGH SCHOOL
EAST: EXISTING RESIDENTIAL
NORTH: MINING AND VACANT
- PROPOSED USES:
RESIDENTIAL LOTS 1-168
COMMERCIAL LOT 169
SEWER LIFT STATION LOT 170
PARK SITE LOT 171
LANDSCAPE LOTS (MAINT. BY HOA) LOTS "A" THROUGH "K"
OPEN SPACE/LS LOT LOTS "L" THROUGH "N"
OPEN SPACE LOTS "O" AND "P"
- PUBLIC STREETS: ALL STREETS SHOWN HEREON SHALL BE PUBLIC STREETS.
- OPEN SPACE LOTS: ALL OPEN SPACE LOTS SHALL BE MAINTAINED BY THE H.O.A.
- BUILDING SETBACKS: PER NICHOLS SOUTH SPECIFIC PLAN
- THOMAS GUIDE: PAGE 836, GRIDS B-7 & C-7, 2007 SAN BERNARDINO & RIVERSIDE EDITION
- GEOLOGICAL HAZARDS: PER THE SOILS REPORT BY CHJ/TERRACON THERE ARE NOT ACTIVE FAULTS WITHIN THE SITE AND THE SITE IS NOT SUBJECT TO LIQUEFACTION OR OTHER GEOLOGICAL HAZARDS.
- FLOODPLAIN: PORTIONS OF THE SITE ARE WITHIN A MAPPED FLOOD PLAIN - ZONE "A" PER FEMA FIRM PANEL 202B OF 3805, MAP NO. 06065C208G. A CLOWR AND A LOMR WILL BE REQUIRED WITH THIS DEVELOPMENT TO RE-ESTABLISH THE LIMITS OF THIS FLOODPLAIN FOR STOVEPIPE CANYON CREEK TO MATCH EXISTING AND PROPOSED CONDITIONS.
- PHASING: THREE FINAL MAPS ARE PROPOSED

LEGAL DESCRIPTION

BEING A SUBDIVISION OF PARCELS 3 AND PARCEL 4 OF PARCEL MAP NO. 37465 IN THE CITY OF LAKE ELSINORE, COUNTY OF RIVERSIDE, STATE OF CALIFORNIA.

PUBLIC UTILITIES / SERVICES

SCHOOL DISTRICT:	LAKE ELSINORE UNIFIED SCHOOL DISTRICT (951) 253-7000
ELECTRIC:	SOUTHERN CALIFORNIA EDISON COMPANY (800) 655-4555
GAS:	SOUTHERN CALIFORNIA GAS COMPANY (800) 427-2200
WATER & SEWER:	ELSINORE VALLEY MUNICIPAL WATER DISTRICT (951) 674-3146
TELEPHONE:	VERIZON (800) 483-3000
CABLE:	TIME WARNER (888) 892-2253

INDEX OF SHEETS

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	SECTIONS
3	TENTATIVE TRACT MAP
4	TENTATIVE TRACT MAP
5	TENTATIVE TRACT MAP

OWNER/DEVELOPER

NICHOLS ROAD PARTNERS, LLC
P.O. BOX 77850
CORONA, CA 92677
PHONE: (951) 277-3900



357 N. SHERIDAN STREET
SUITE 117
CORONA, CALIFORNIA 92680
TEL. (951) 279-1800
FAX (951) 279-4360

CITY OF LAKE ELSINORE

TENTATIVE TRACT MAP
NO. 37305

SHEET NO.

1

OF 5 SHEETS

**EXHIBIT `B”
RESERVED**

EXHIBIT "C"
IMPROVEMENTS

**CITY OF LAKE ELSINORE
STREET IMPROVEMENTS
ENGINEER'S ESTIMATE**

PROJECT: Nichols Road Improvement Plans				DATE: 08/26/20	
LOCATION: Nichols Road & I-15 Freeway					
ITEM NO.	QUANTITY	UNIT	DESCRIPTION OF ITEM	UNIT COST	TOTAL COST
1		LF	6" CURB AND GUTTER	\$10.00	\$
2	2,200	LF	8" CURB AND GUTTER	\$12.00	\$ 26,400
3	20	LF	6" TO 8" PCC CURB TRANSITION	\$10.00	\$ 200
4	385	LF	8" CURB AND GUTTER MODIFIED	\$12.00	\$ 4,620
5	13,300	SF	4" SIDEWALK	\$6.00	\$ 79,800
6		EA	WHEELCHAIR RAMP	\$1,500.00	\$
7		EA	6" DRIVEWAY (RESIDENTIAL)	\$960.00	\$
8		EA	6" DRIVEWAY (COMMERCIAL)	\$1,680.00	\$
9	1	EA	30' 6" DRIVEWAY APPROACH	\$2,400.00	\$ 2,400
10		SF	CROSS GUTTER	\$10.00	\$
11		LF	4' WIDE ALLEY GUTTER	\$32.00	\$
12	2	EA	P.C.C. GUTTER DEPRESSION	\$1,000	\$ 2,000
13	20,515	CY	ROUGH GRADING	\$20.00	\$ 410,300
14	182,500	SF	CLASS II AGGREGATE BASE	\$0.93	\$ 169,725
15		SF	2-1/2" ASPHALT CONCRETE	\$1.35	\$
16		SF	3" ASPHALT CONCRETE	\$1.62	\$
17	182,500	SF	5-1/2" ASPHALT CONCRETE	\$2.16	\$ 394,200
18	650	SF	ASPHALT CONCRETE OVERLAY	\$0.90	\$ 585
19	2,675	LF	6" ASPHALT CONCRETE CURB	\$8.00	\$ 21,400
20		LF	6" ASPHALT CONCRETE DIKE	\$8.00	\$
21		LF	8" ASPHALT CONCRETE DIKE	\$10.00	\$
22		LF	2" X 4" REDWOOD HEADER	\$3.00	\$
23		EA	STREET TREES	\$100.00	\$
24		EA	RELOCATE TREES (PALM)	\$1,500.00	\$
25		EA	TREE REMOVALS 6" DIAMETER & LARGER	\$500.00	\$
26		LF	6' DECORATIVE WALL	\$30.00	\$
27		LF	6' RETAINING WALL	\$60.00	\$
28		SF	CONCRETE BLOCK WALL	\$9.00	\$
29	2,000	LF	REMOVE AND RELOCATE CHAIN LINK FENCE W/ 2 GATES	\$15.00	\$ 30,000
30		CY	EXTRA EARTHWORK	\$9.50	\$
31		EA	TRAFFIC AND WARNING SIGNS	\$250.00	\$
32		LF	GUARDRAIL BARRICADES	\$40.00	\$
33		EA	STREET NAME SIGNS	\$275.00	\$
34		EA	STOP SIGNS	\$250.00	\$
35		EA	GUIDEMARKER	\$60.00	\$
36		LF	STRIPING	\$0.30	\$
37		EA	ADJUST TRAFFIC SIGNAL GRADE BOX	\$500.00	\$
38		EA	RESIDENTIAL LIGHT STANDARD 1000 A	\$5,000.00	\$
39	11	EA	ARTERIAL HIGHWAY LIGHT STANDARD 1001 A	\$5,000.00	\$ 55,000
40	650	SF	SAWCUT EXISTING PAVEMENT	\$1.00	\$ 650
41	650	SF	GRIND ASPHALT CONCRETE	\$0.60	\$ 390
42	85,600	SF	REMOVE ASPHALT CONCRETE	\$0.60	\$ 51,360
43		LF	REMOVE CURB & GUTTER	\$18.00	\$
44	1	EA	DRAINAGE STRUCTURE (MINOR) (OVERSIDE DRAIN)	\$1,500.00	\$ 1,500
45	3,200	LF	REMOVE FENCE	\$3.00	\$ 9,600
46	220	CY	3" THICK CONCRETE DITCH	\$300.00	\$ 66,000
47	1	EA	DRAINAGE STRUCTURE (MAJOR) (FILTERRA STR)	\$10,000.00	\$ 10,000
48	800	LF	6"/6" DOUBLE YELLOW LINE	\$0.30	\$ 800.30
49	5,730	LF	6"/6" DOUBLE YELLOW LINE MEDIAN	\$0.30	\$ 1,719

50	3,345	LF	INSTALL 6" RIGHT EDGELINE	\$0.30	\$ 1,003.50
51	1,530	LF	INSTALL 6" DASHED WHITE LANE LINE	\$0.30	\$ 459
52	300	LF	INSTALL 6" SOLID WHITE LANE LINE LEAD IN W/RPM	\$0.30	\$ 90
53	300	LF	INSTALL 8" SOLID WHITE CHANNELIZING LANE	\$0.30	\$ 90
54	125	LF	INSTALL 12" WHITE LIMIT LINE	\$0.30	\$ 37.50
55	1,200	LF	INSTALL 6" WHITE BIKE LANE LINE	\$0.30	\$ 360
56	150	LF	INSTALL 6" WHITE DASHED BIKE LANE LINE	\$0.30	\$ 45
57	1,860	LF	INSTALL 8" WHITE LINE FOR CHEVRON AREA	\$0.30	\$ 558
58	1	EA	INSTALL THERMOPLASTIC "YIELD" PAVEMENT LEGEND	\$75.00	\$ 75.00
59	3	EA	INSTALL THERMOPLASTIC "BIKE" PAVEMENT LEGEND	\$50.00	\$ 150.00
60	3	EA	INSTALL THERMOPLASTIC "LINE" PAVEMENT LEGEND	\$50.00	\$ 150.00
61	3	EA	INSTALL PAVEMENT MARKING "BIKE LANE ARROW"	\$50.00	\$ 150.00
62	11	EA	INSTALL PAVEMENT MARKING "TYPE IV ARROW"	\$50.00	\$ 550.00
63	2	EA	INSTALL PAVEMENT MARKING "TYPE VI ARROW"	\$50.00	\$ 100
64	6	EA	INSTALL THERMOPLASTIC "AHEAD" PAVEMENT LEGEND	\$75.00	\$ 450.00
65	6	EA	INSTALL THERMOPLASTIC "STOP" PAVEMENT LEGEND	\$75.00	\$ 450.00
66	1	EA	INSTALL PAVEMENT MARKING "TYPE I ARROW"	\$50.00	\$ 50.00
67	3	EA	INSTALL THERMOPLASTIC "SIGNAL" PAVEMENT LEGEND	\$75.00	\$ 225.00
68	13	EA	INSTALL NEW TRAFFIC SIGN	\$250.00	\$ 3,250
69	6	EA	INSTALL TRAFFIC SIGN BANDED TO ST LIGHT	\$100.00	\$ 600
70	11	EA	REMOVE AND RELOCATE EXISTING SIGN	\$250.00	\$ 2,750
71	13	EA	REMOVE EXISTING SIGN	\$200.00	\$ 2,600
72	10	EA	INSTALL "BLUE DOT" TYPE I PAVEMENT MARKER REFERENCE NICHOLS ROAD S&S PLANS	\$20.00	\$ 200
73	23	EA	ADJUST WATER VALVE TO GRADE	\$100.00	\$ 2300

PAGE 2 OF 2

SUBTOTAL	\$ 1,355,342.3
20% CONTINGENCY (X \$0.20)	\$ 271,068.46
TOTAL SHEET 1	\$ -
TOTAL SHEET 1	\$ -
TOTAL SHEET 2 (+)	\$ -
GRAND TOTAL	\$ 1,626,410.76

- NOTE TO CONTRACTORS: THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. APPROVAL OF THESE PLANS BY THE CITY OF LAKE ELSINORE DOES NOT CONSTITUTE A REPRESENTATION AS TO THE ACCURACY OR COMPLETENESS OF THE LOCATION, NOR THE EXISTENCE OR NON-EXISTENCE OF ANY UNDERGROUND UTILITY, PIPE OR STRUCTURE WITHIN THE LIMITS OF THE PROJECT. THE CONTRACTOR IS REQUIRED TO TAKE ALL DUE PRECAUTIONARY MEASURES FOR THE PROTECTION OF ALL UTILITIES, PIPES OR STRUCTURES, WHETHER SHOWN ON THESE PLANS OR NOT. ANY UTILITY(ES) DAMAGED DURING THE PERFORMANCE OF THE WORK SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE GOVERNING AGENCY BY THE CONTRACTOR AT HIS EXPENSE.
2. ALL WORK SHALL CONFORM TO CITY CODES, STANDARD SPECIFICATIONS FOR PUBLIC WORKS (LATEST EDITION), AND STANDARD DRAWING OF THE COUNTY OF RIVERSIDE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE FAMILIAR WITH THESE STANDARDS AND CODES AT ALL TIMES.
3. THE CONTRACTOR SHALL NOTIFY THE CITY PUBLIC WORKS INSPECTOR, FORTY-EIGHT (48) HOURS PRIOR TO BEGINNING ANY WORK. CALL FOR INSPECTION AT (951) 674-3124 EXTENSION 247, BETWEEN THE HOURS OF 9:00 AM AND 4:00 PM, MONDAY THROUGH THURSDAY.
4. CONTRACTOR SHALL MAINTAIN TRAFFIC CONTROL IN ACCORDANCE WITH CALTRANS TRAFFIC MANUAL AND WATCH MANUAL AT ALL TIMES DURING CONSTRUCTION, AS APPROVED BY CITY ENGINEER OR HIS REPRESENTATIVE. FAILURE TO DO SO SHALL REQUIRE IMMEDIATE WORK STOPPAGE.
5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE A DEPENDABLE REPRESENTATIVE AT THE JOB SITE, AT ALL TIMES DURING CONSTRUCTION.
6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ARRANGE FOR THE NECESSARY RELOCATION OF ANY UTILITIES. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES INVOLVED, AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL ALSO CONTACT UNDERGROUND SERVICE ALERT (U.S.A.) AT 1-800-422-4133, AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO BEGINNING WORK.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEARING OF THE PROPOSED WORK AREA AND RELOCATION AND COST OF ALL EXISTING UTILITIES. SUBDIVIDER MUST INFORM THE CITY OF LAKE ELSINORE OF CONSTRUCTION SCHEDULE, PRIOR TO BEGINNING OF CONSTRUCTION.
8. ALL UNDERGROUND FACILITIES WITH LATERALS INCLUDING BUT NOT LIMITED TO SEWER, WATER, TELEPHONE, ELECTRICITY, GAS AND DRAINAGE FACILITIES, SHALL BE IN PLACE PRIOR TO PAVING THE STREET SECTION.
9. ALL STREET SECTIONS ARE TENTATIVE. ADDITIONAL SOIL TESTS WILL BE TAKEN AFTER ROUGH GRADING, TO DETERMINE THE EXACT SECTION REQUIRED. SECTION THICKNESSES SHOWN ARE FOR BONDING PURPOSES ONLY.
10. ALL EXISTING UNDERGROUND UTILITIES AND STRUCTURES MUST BE POTHOLED AND ELEVATIONS VERIFIED PRIOR TO CONSTRUCTION. THE ENGINEER OF RECORD SHALL BE NOTIFIED ON ANY NECESSARY REVISIONS TO THE APPROVED PLANS. THE REVISIONS SHALL BE IN THE FORM OF "AS BUILT" PLANS SUBMITTED TO THE CITY ENGINEER FOR APPROVAL PRIOR TO THE FINAL ACCEPTANCE OF THE PROJECT.
11. ALL EXISTING MONUMENTATION DISTURBED OR DESTROYED DURING CONSTRUCTION SHALL BE REPLACED TO CITY STANDARDS, AS APPROVED BY THE CITY ENGINEER. CENTERLINE TIES ARE TO BE FURNISHED TO THE CITY ENGINEER UPON COMPLETION OF THE PROJECT AND BEFORE ACCEPTANCE IS GRANTED.
12. AN ENCROACHMENT PERMIT SHALL BE REQUIRED FOR ALL CONSTRUCTION WORK DONE WITHIN PUBLIC RIGHTS-OF-WAY. BEFORE ISSUANCE OF SAID PERMIT, THE CONTRACTOR/DEVELOPER MUST PROVIDE THE CITY ENGINEER WITH CERTIFICATE OF INSURANCE AND REQUIRED BONDING FOR PUBLIC IMPROVEMENTS. THE ENCROACHMENT PERMIT MUST BE PRESENT AT THE JOB SITE DURING THE TOTAL TIME OF PROJECT CONSTRUCTION ALONG WITH AN APPROVED SET OF IMPROVEMENT PLANS.
13. IF AN ENCROACHMENT PERMIT IS REQUIRED THROUGHOUT THE DISTRICT NO. 8 OFFICE OF CALTRANS, PLEASE MAKE REFERENCE TO THIS FACT IN THE "GENERAL NOTES" SECTION OF THE IMPROVEMENT PLANS.

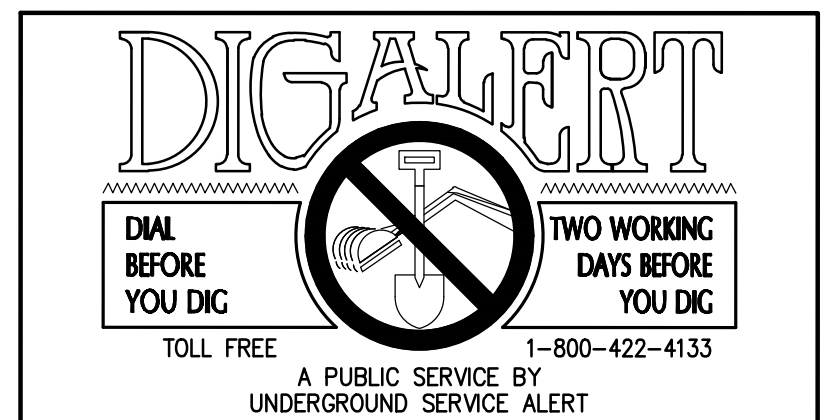
THE BASIS OF BEARING FOR THIS SURVEY IS DERIVED FROM AN ONLINE POSITIONING USER SERVICE (OPUS) SOLUTION USING THE CALIFORNIA STATE PLANE COORDINATE SYSTEM, CCSR3, ZONE 6, BASED LOCALLY ON CONTINUOUSLY OPERATING REFERENCE STATIONS (CORS) "CNMP", "P474", AND "SBSC", NAD_83(2011) EPOCH 2010.00 AS SHOWN HEREON. ALL BEARINGS SHOWN ON THIS MAP ARE GRID BEARINGS AND NOT MAGNETIC BEARINGS. BEARING OBSERVATIONS MAY SHOW DIFFERENCES FROM THE BEARINGS SHOWN ON THIS MAP. BEARINGS SHOWN ARE GROUND DISTANCES UNLESS SPECIFIED OTHERWISE. GRID DISTANCES MAY BE OBTAINED BY MULTIPLYING THE GROUND DISTANCE BY A COMBINATION FACTOR OF 0.99990935. CALCULATIONS ARE MADE AT CONTROL POINT "99" WITH COORDINATES OF N:2200064.438 E:6222480.222 (GRID) USING AN ELEVATION OF 1462.062 (NGVD29).

ALL PROPOSED STREETS ARE PUBLIC RIGHT-OF-WAYS.


CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES AT LEAST 48 HOURS IN ADVANCE OF STARTING CONSTRUCTION OR EXCAVATION:

RIVERSIDE PERMIT SECTION	(951) 955-6790
RIVERSIDE COUNTY TRANSPORTATION	(951) 955-6880
DEPARTMENT - CONSTRUCTION SECTION:	
SPECTRUM	(951) 406-1690
FRONTIER	(800) 366-7801
ELSINORE VALLEY MUNICIPAL WATER DISTRICT:	(951) 674-3146
RIVERSIDE COUNTY FLOOD CONTROL DISTRICT:	(951) 955-1200
SOUTHERN CALIFORNIA GAS CO.:	(800) 427-2200
SOUTHERN CALIFORNIA EDISON CO.:	(800) 655-4555
UNDERGROUND SERVICE ALERT (USA):	(800) 422-4133 OR 811

BENCH MARK: BM B-95-61
FROM THE APPROXIMATE INTERSECTION OF COLLIER AVENUE AND
NICHOLS ROAD 175 FEET SOUTHEASTERLY ALONG COLLIER AND 38
FEET NORTHEASTERLY TO BENCHMARK. 10 FEET SOUTHERLY OF A
LIGHT STANDARD AND 10 FEET SOUTHERLY OF END OF CURB. SET
CHISELED SQUARE ON NORTHEASTERLY CURB.
ELEVATION: 1271.76' (NGVD 29')



NOTE: COUNTY APPROVAL FOR WORK WITHIN COUNTY OF RIVERSIDE JURISDICTION ONLY. ANY WORK WITHIN COUNTY JURISDICTION SHALL REQUIRE AN ENCROACHMENT PERMIT.

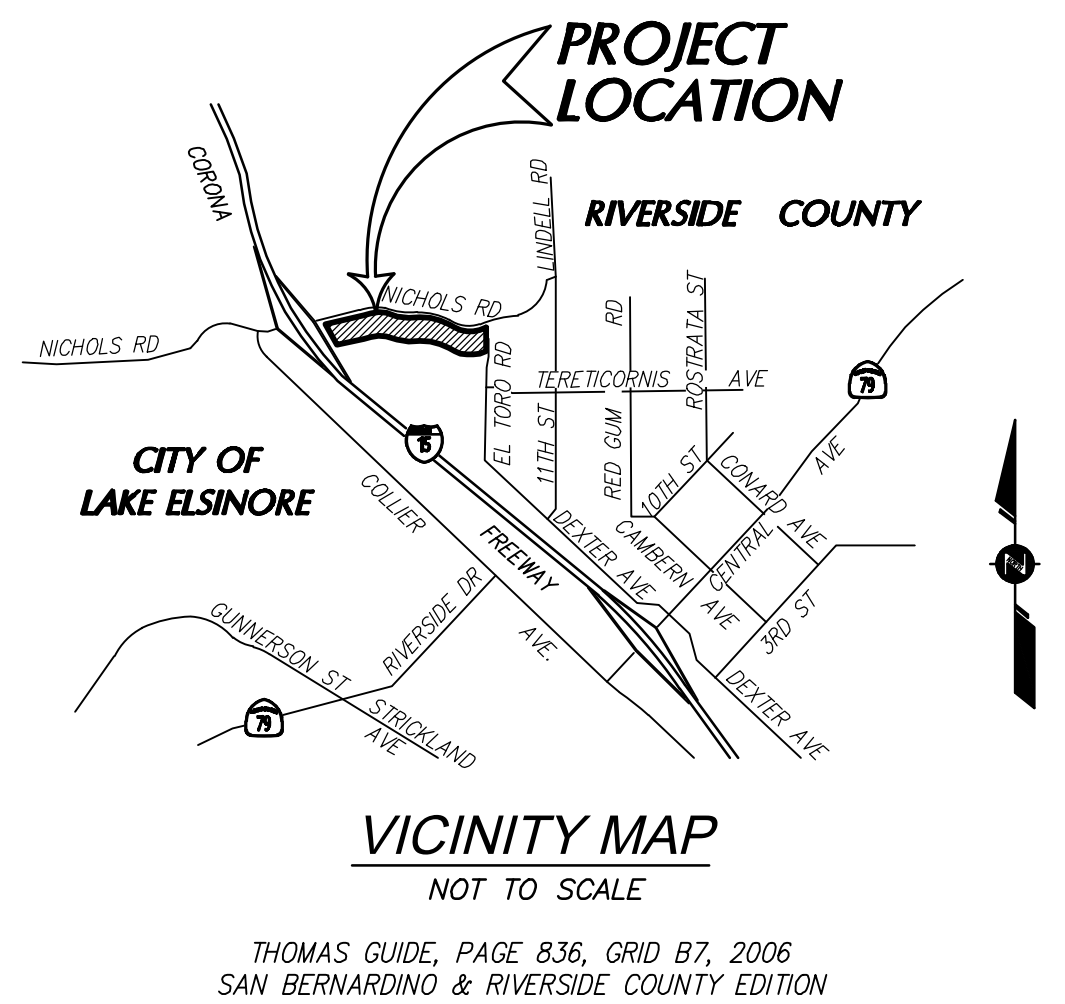
MARK	REVISIONS	APPR.	DATE
	ADDED ENVIRONMENTAL IMPACT REPORT MITIGATION MEASURE NOTES, CROSSED OUT REFERENCE TO TRAFFIC SIGNAL PLAN	RH	02/02/21

"THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS, AND A PERMIT MAY BE ISSUED."

REMON HABIB, RCE NO. 83156
CITY ENGINEER
CITY OF LAKE ELSINORE

10-16-2020
DATE

1. DURING ANY NIGHTTIME CONSTRUCTION ACTIVITIES, ALL LIGHTING SHALL DIRECT LIGHTING AWAY FROM THE PRESERVED ON-SITE DRAINAGE AND ASSOCIATED MS4P HABITAT.
2. THE SOILS ENGINEERING INVESTIGATION DATED OCTOBER 22, 2019, PREPARED BY MCKINSTRUCK, INC. SHALL BE CONSIDERED A PART OF THIS PLAN AND SHALL BE IN COMPLIANCE.
3. PRIOR TO THE INITIATION OF GRADING PERMITS OR IMPROVEMENT PLANS AFFECTING NICHOLS ROAD AND/OR EL TORO ROAD/WOOD MEESA CREEK, THE PROJECT APPLICANT SHALL PREPARE AND THE CITY OF LAKE ELSINORE SHALL REVIEW AND APPROVE A TEMPORARY TRAFFIC CONTROL PLAN. THE TEMPORARY TRAFFIC CONTROL PLAN SHALL COMPLY WITH THE APPLICABLE REQUIREMENTS OF THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.



NICHOLS ROAD PARTNERS, LLC
P.O. BOX 77850
CORONA, CA 92877
PHONE: (951) 277-3900

K&A ENGINEERING, INC.
357 N. SHERIDAN STREET, SUITE 117
CORONA, CA 92880
PHONE: (951) 279-1800

GEOTEK, INC.
1548 NORTH MAPLE STREET
CORONA, CA. 92880
CONTACT: ANNA M. SCOTT
(951)-710-1160

AC, AC.	ASPHALT CONCRETE	LP	LOW POINT
ACRE	ACRE	LT	LEFT
A.B.	AGGREGATE BASE	MAX	MAXIMUM
AP	ANGULAR POINT	MOC	MIDDLE OF CURVE
BC	BEGIN OF CURVE	MIN	MINIMUM
BCV	BEGIN OF CURVE RETURN	MH	MANHOLE
BVC	BEGIN OF VERTICAL CURVE	MVC	MIDDLE OF VERTICAL CURVE
CB	CATCH BASIN	NTS	NOT TO SCALE
C/L, CL, ☐	CENTER LINE	O.C.	ON CURVE
CFS	CUBIC FEET PER SECOND	O.S.	OPEN SPACE
C&G	CURB AND GUTTER	PCC	POINT OF COMPOUND CURVE
DWY	DRIVEWAY	P/L	PROPERTY LINE
E.A., EA	EACH	POR	PORTION
EC	END OF CURVE	RCW	REINFORCED CONCRETE PIPE
ECR	END OF CURD RETURN	PP	POWER POLE
ELEV	ELEVATION	PROP.	PROPOSED
EP	END OF PAVEMENT	PM	PARCEL MAP
EG	EXISTING GROUND	PVI	POINT OF VERTICAL
EVC	END OF VERTICAL CURVE	RT	RIGHT
EX., EXIST.	EXISTING	R/W, RW	RIGHT OF WAY
FG	FINISH GRADE	SCE	SOUTHERN CALIFORNIA EDISON
FL	FLOWLINE	SD	STORM DRAIN
FM	FORCE MAIN	S, SS	SEWER
FS	FINISHED SURFACE	SF, S.F.	SQUARE FEET
G	GAS	STA	STATION
GB	GRADE BREAK	SW	SIDEWALK
HP	HIGH POINT	T, TAN	TANGENT
INT	INTERSECTION	T.I.	TANGENT INTERSECTION
JT	JOINT TRENCH	TOP	TOP OF CURB
L	LENGTH	TY.P.	TYPICAL
L.F., LF	LINEAL FEET	VC	VERTICAL CURVE
LN	LANE	W	WATER
		WB	WATER QUALITY

1	PROTECT IN PLACE	-	-
2	PROTECT IN PLACE UNTIL RELOCATED BY OTHERS	-	-
3	TO BE REMOVED AND RELOCATED (FENCE)	2,000	LF

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	SECTIONS
3	DETAILS
4	NICHOLS RD. STA. 10+00 TO 17+50
5	NICHOLS RD. STA. 17+50 TO 25+50
6	NICHOLS RD. STA. 25+50 TO 35+00
7	NICHOLS RD. STA. 35+00 TO 45+00
8	NICHOLS ROAD TRANSITION ROAD

ERSC 10/08/2020 MB MS4362 IP#190029 ENG-2019-00476

	<i>CITY OF LAKE ELSINORE</i>	SHEET NO.
DATE _____	<i>STREET IMPROVEMENT PLAN FOR TRACT 37305 NICHOLS ROAD</i>	1
DATE _____		OF 8
	<i>TITLE SHEET</i>	FILE NO. 20-098

1	CONSTRUCT 5-1/2" A.C. OVER 6" A.B. CL. II PER TYPICAL SECTION ON SHEET 2. (FINAL PAVEMENT SECTION TO BE DETERMINED PER SOILS ENGINEER DURING CONSTRUCTION)	182,500	SF
2	CONSTRUCT 8" TYPE 'B' CURB & GUTTER PER CITY OF LAKE ELSINORE STD. NO. 201	2,200	LF
2A	CONSTRUCT 8" TYPE 'B' CURB & GUTTER PER CITY OF LAKE ELSINORE STD. NO. 201 AS MODIFIED PER DETAIL ON SHEET 3	385	LF
3	CONSTRUCT SIDEWALK PER CITY OF LAKE ELSINORE STD. NO. 210, 4" THICKNESS	13,300	SF
4	CONSTRUCT GUTTER DEPRESSION FOR CURB OPENING CATCH BASIN CASE PER PLAN PER RIVERSIDE COUNTY STD. NO. 311	1	EA
4A	CONSTRUCT MODIFIED GUTTER DEPRESSION FOR FILTERA INTERNAL BYPASS CURB OPENING PER PLAN PER RIVERSIDE COUNTY STD. NO. 311, PER DETAIL ON SHEET 3	1	EA
5	CONSTRUCT STREET LIGHT PER SEPARATE PLAN	11	EA
6	CONSTRUCT COMMERCIAL DRIVEWAY APPROACH PER CITY OF LAKE ELSINORE STD. NO. 118A (WIDTH 30')	1	EA
7	CONSTRUCT FILTERRA INTERNAL BYPASS CURB (SEE SHEET 3 FOR DETAIL)	1	EA
8	CONSTRUCT 6" AC CURB PER CITY OF LAKE ELSINORE STD. NO. 207 & DETAIL ON SHEET 3	2675	LF
9	ADJUST TO GRADE	23	EA
10	REMOVE EXISTING AC PAVEMENT	85,600	SF
11	SAWCUT & JOIN EXISTING PAVEMENT PER RIVERSIDE COUNTY STDS. & DETAIL ON SHEET 3	650	SF
12	REMOVE AND RELOCATE SIGN PER SIGNING & STRIPING PLAN	30	EA
13	CONSTRUCT TRAPEZOIDAL CONCRETE DITCH PER DETAIL ON SHEET 3	1,696	LF
14	REMOVE EXISTING FENCE	3,200	LF
15	REMOVE & RELOCATE GATE (BY OTHERS)	2	EA
16	CONSTRUCT CURB TRANSITION PER DETAIL ON SHEET 3	20	LF
17	CONSTRUCT OVERSIDE DRAIN PER CALTRANS STD. NO. D87D & DETAIL ON SHEET 3	1	EA

PREPARED BY:



Keith G. Osborn
R.C.E. No. 36996

357 N. SHERIDAN STREET
SUITE 117
CORONA, CALIFORNIA 92880
TEL. (951) 279-1800
FAX (951) 279-4380

08/17/2020
DATE

SEAL

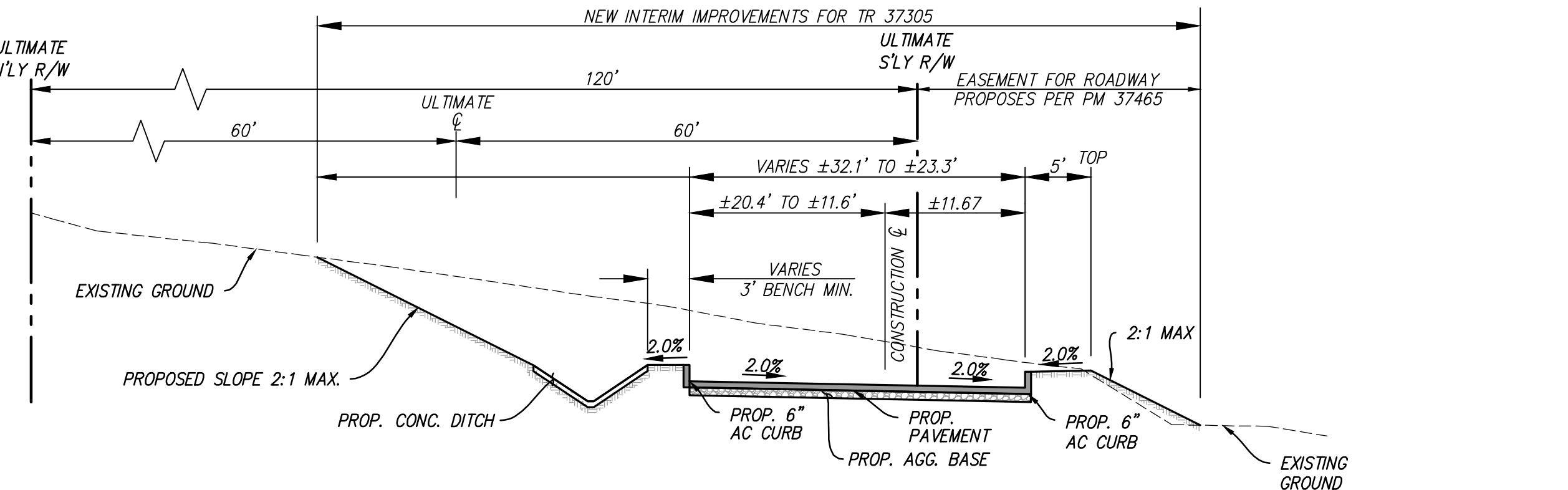
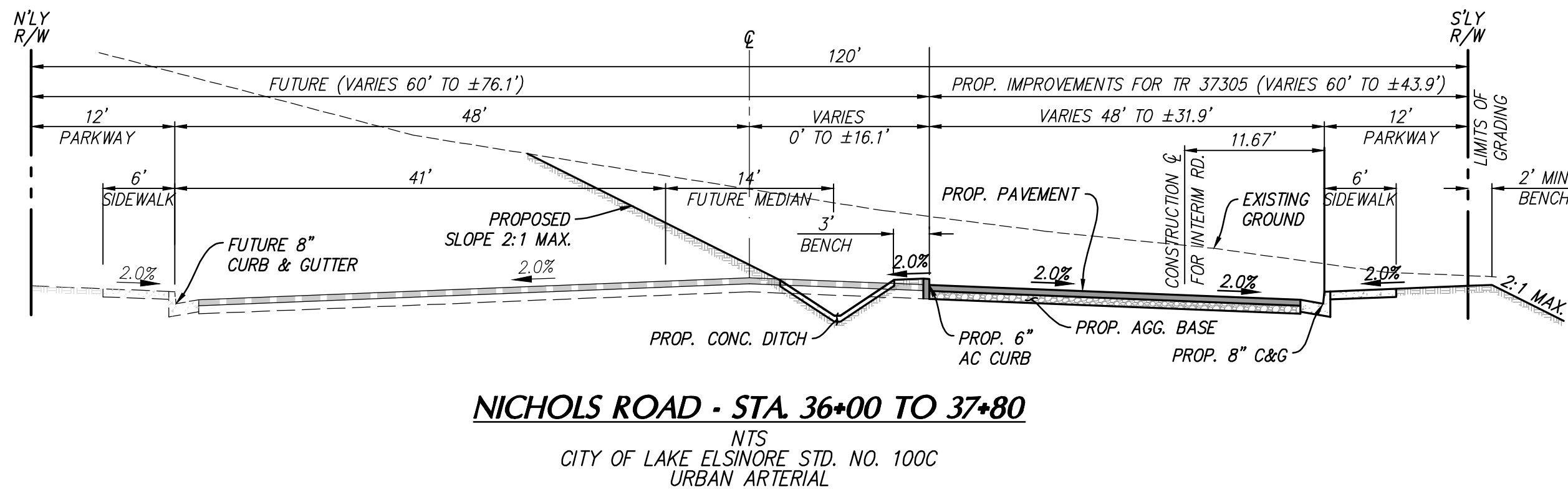
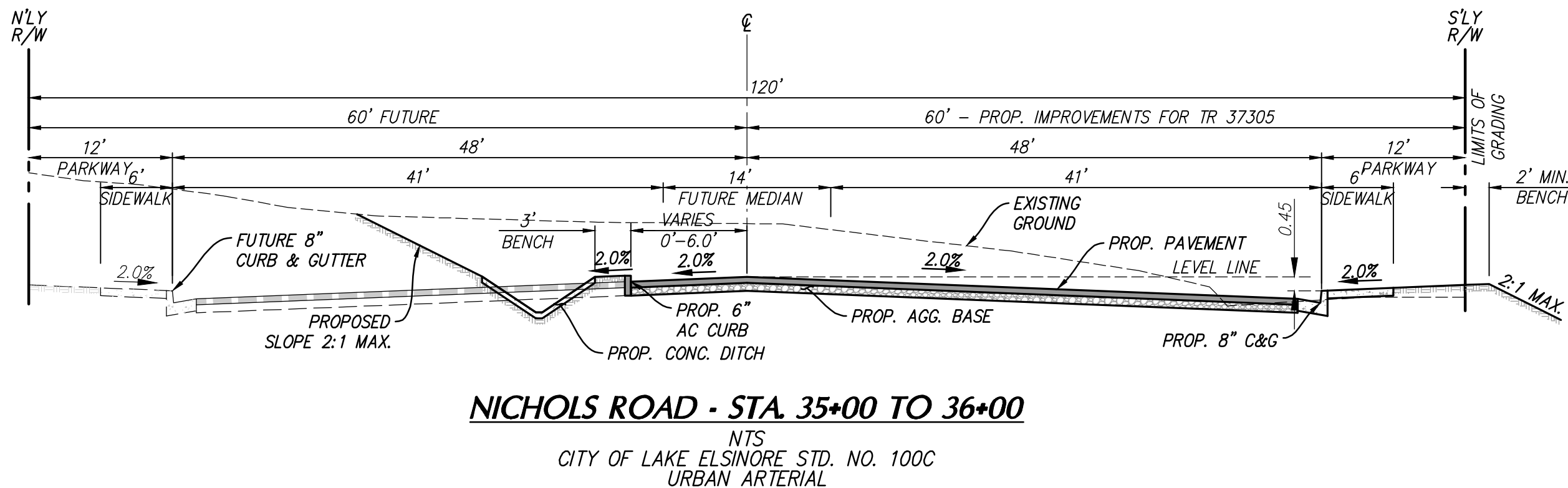
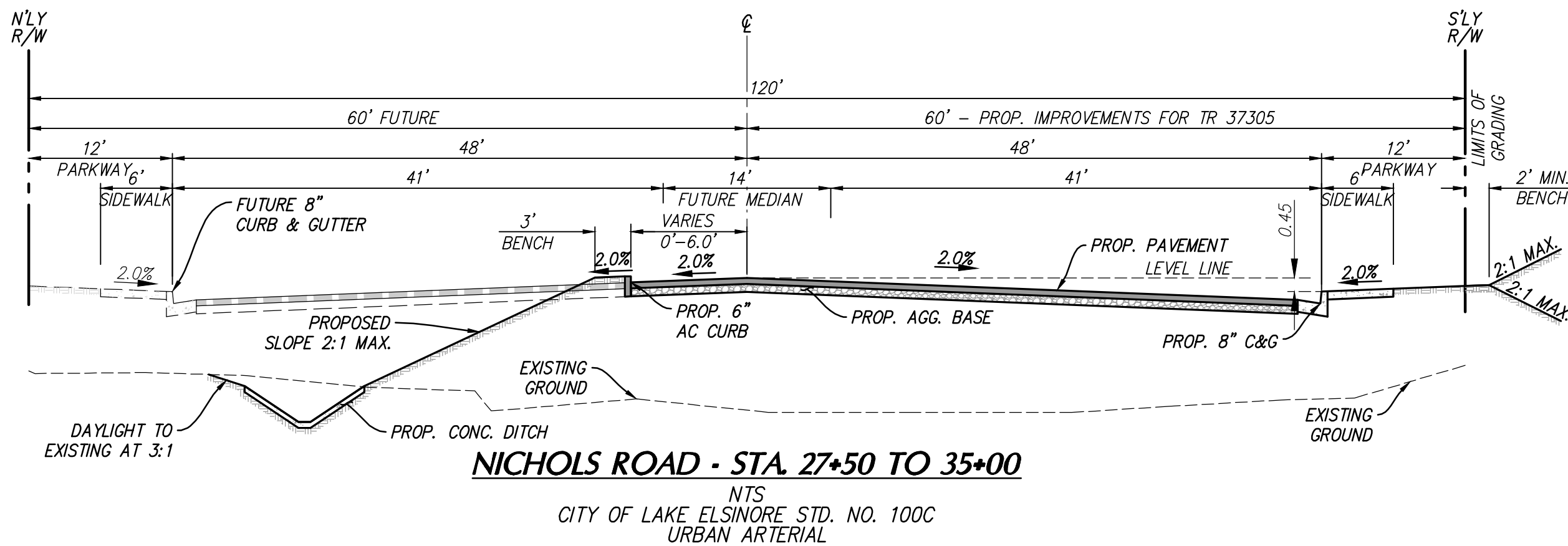
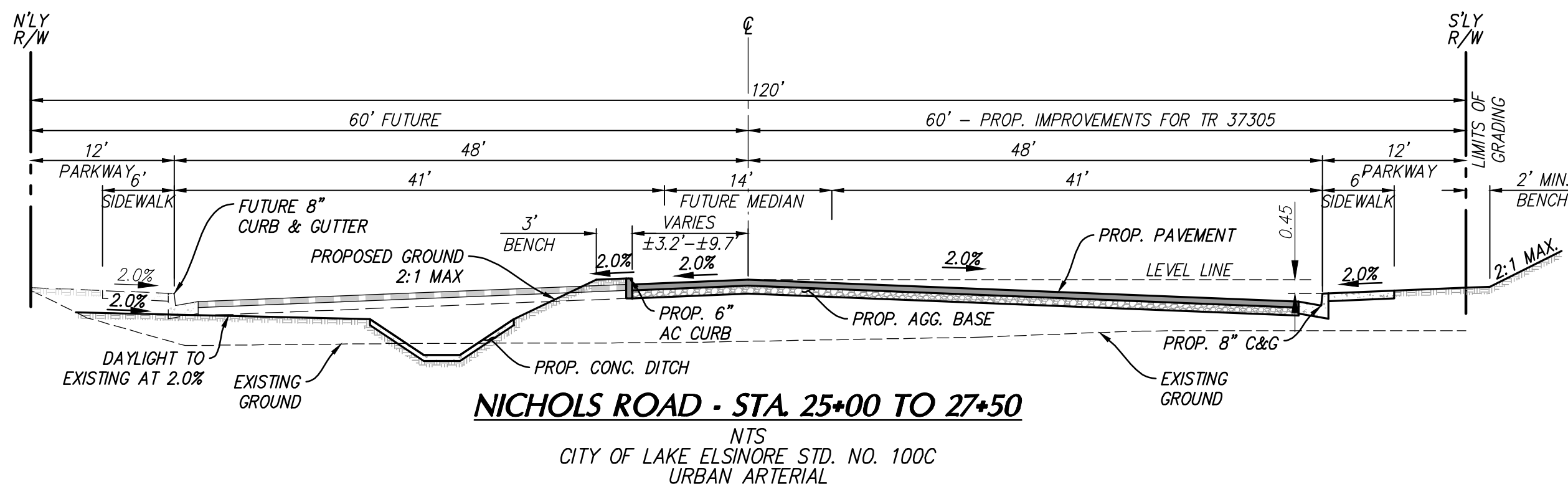
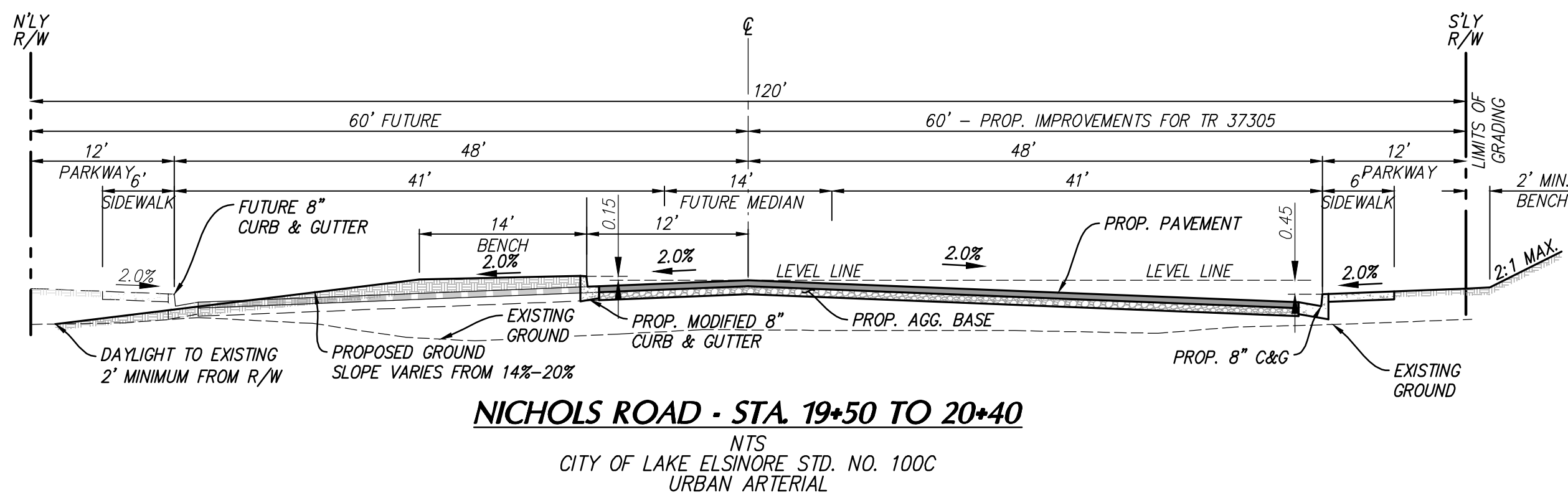
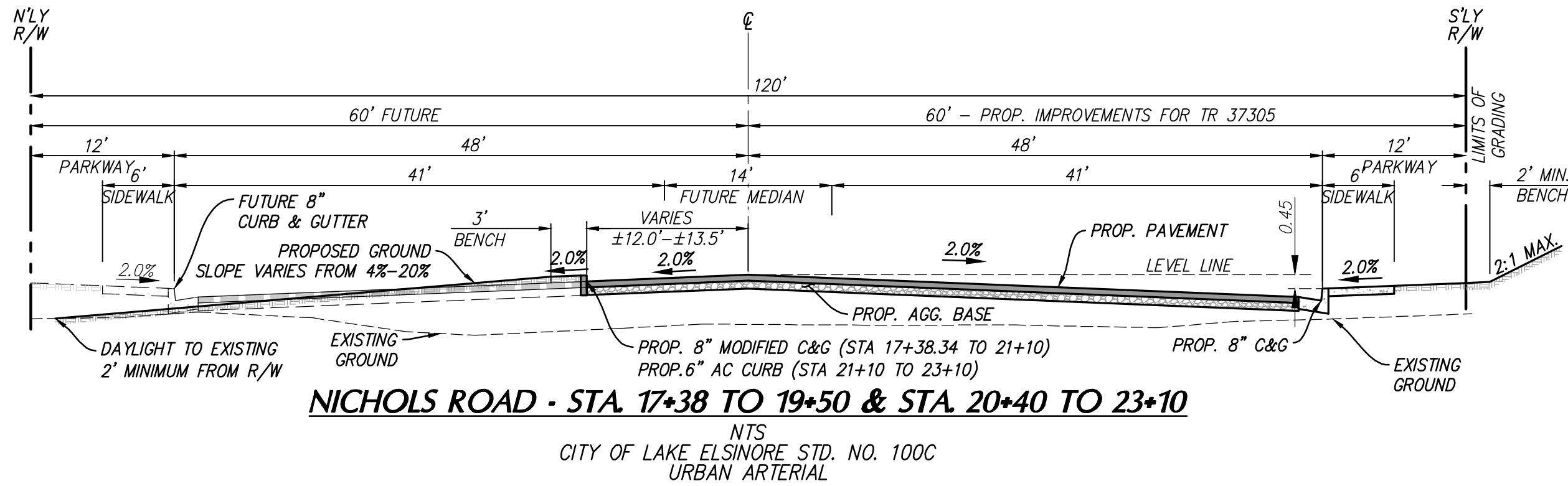
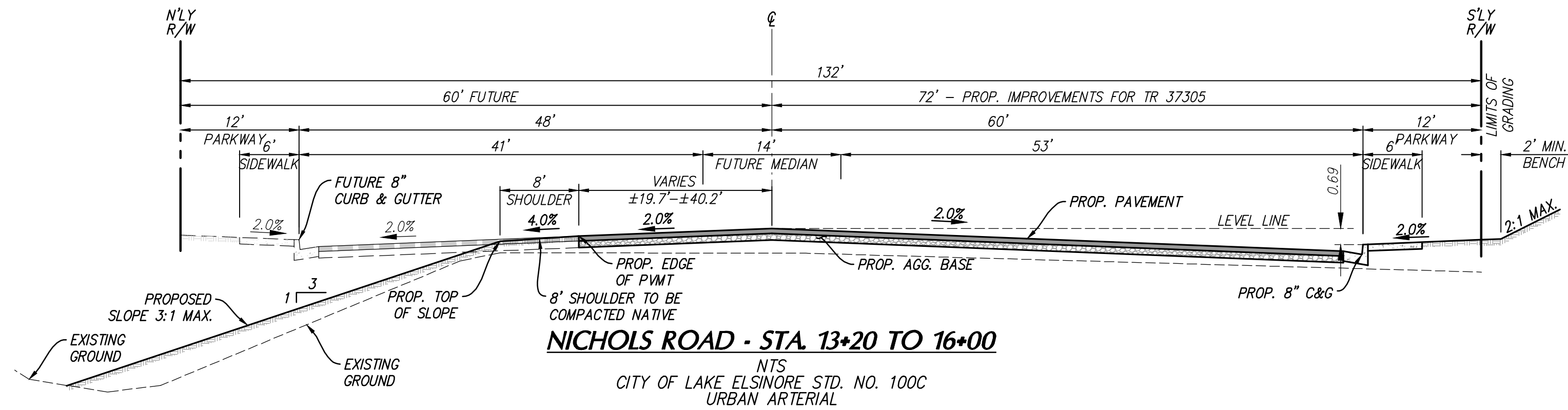


"AS BUILT"

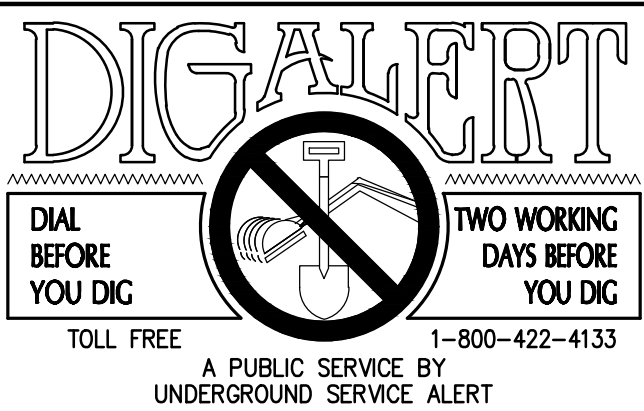
RCE _____ EXP. _____

INSPECTOR

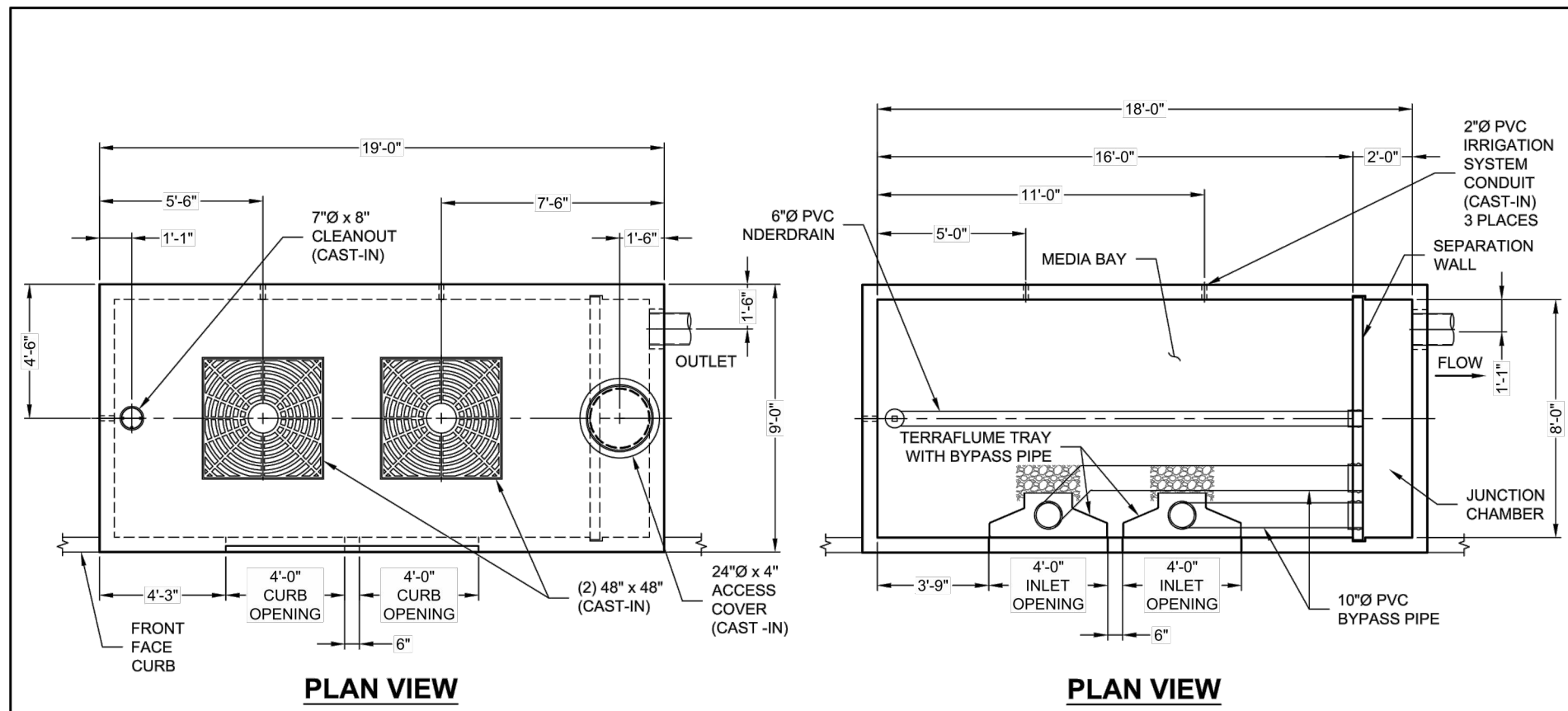
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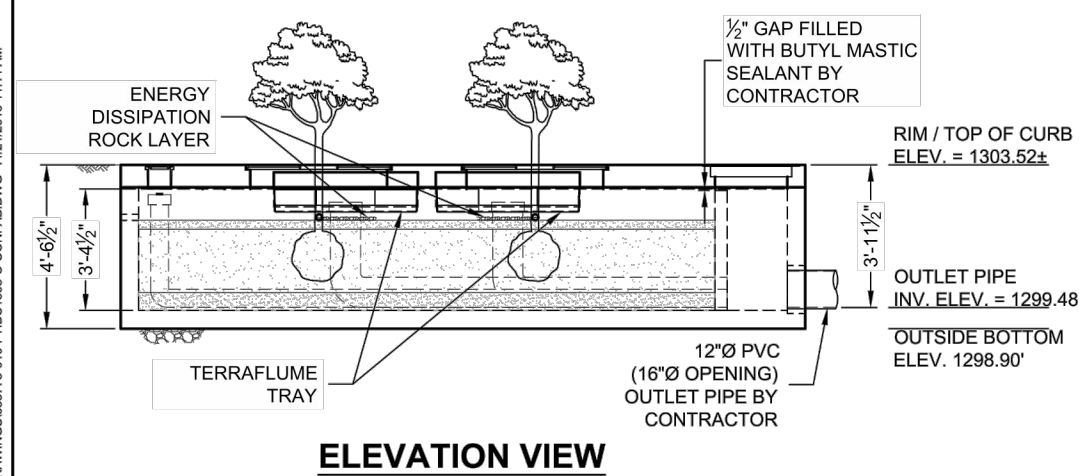
BENCH MARK: BM B-95-61
FROM THE APPROXIMATE INTERSECTION OF COLLIER AVENUE AND
NICHOLS ROAD 175 FEET SOUTHEASTERLY ALONG COLLIER AND
38 FEET NORTHEASTERLY TO BENCHMARK, 10 FEET SOUTHERLY
OF A LIGHT STANDARD AND 10 FEET SOUTHERLY OF END OF
CURB, SET CHISELED SQUARE ON NORTHEASTERLY CURB.
ELEVATION: 1271.76' (NGVD 29')



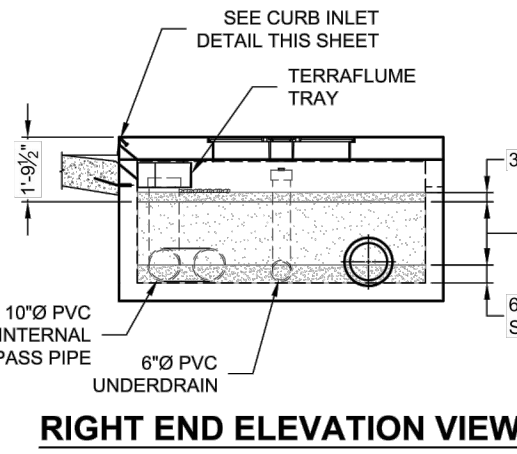
MARK	REVISIONS	APPR.	DATE	PREPARED BY:	ENGINEERING	357 N. SHERIDAN STREET SUITE 117 CORONA, CALIFORNIA 92880 TEL. (951) 279-1800 FAX (951) 279-4380	SEAL	"AS BUILT"	CITY OF LAKE ELSINORE	SHEET NO.
				REMON HABIB, RCE NO. 83156 CITY ENGINEER CITY OF LAKE ELSINORE	LAND PLANNING SURVEYING		KEITH G. OSBORN R.C.E. No. 36996	RCE REVIEWED BY: EXP. DATE INSPECTOR SCALE: AS SHOWN DATE: AUGUST 2020	STREET IMPROVEMENT PLAN FOR TRACT 37305 NICHOLS ROAD SECTIONS	2
										OF 8 SHTS
										FILE NO.
										20-099



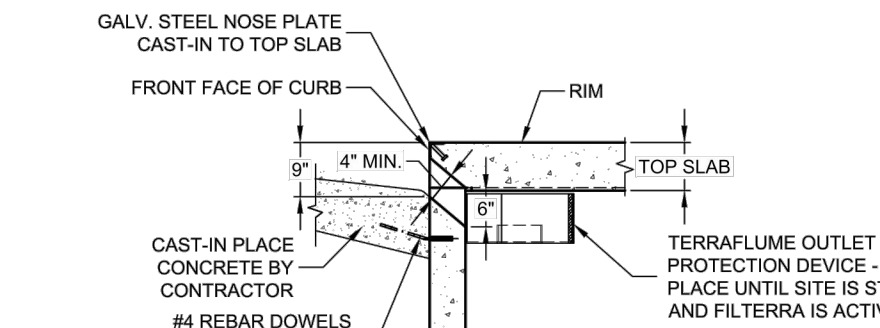
PLAN VIEW
(TOP SLAB AND MEDIA OMITTED FOR CLARITY)



ELEVATION VIEW



RIGHT END ELEVATION VIEW



STANDARD CURB INLET WITH TERRAFLUME DETAIL
SCALE: N.T.S.

MATERIALS LIST			SITE DESIGN DATA	
COUNT	DESCRIPTION	INSTALLED BY	WATER QUALITY FLOW RATE	N/A CFS
2	PLANT: SEE INSTALLATION NOTE G	CONTECH	PEAK FLOW RATE	N/A CFS
1	ENERGY DISSIPATION ROCK LAYER	CONTECH	RETURN PERIOD OF PEAK FLOW	N/A YRS
1.19 CY	MULCH, SEE INSTALLATION NOTE G	CONTECH	BIOFILTRATION MEDIA INFILTRATION RATE	100 in/hr
8.30 CY	STANDARD FILTERRA MEDIA	CONTECH		
2.37 CY	1/2" #4 ROUND AGGREGATE UNDERDRAIN STONE	CONTECH		
1	FILTERRA FLOWMETER FTBIC1608-C-C-10-R (-L) 2 FK	CONTECH		
2	TERRAFLUME TRAY FTBIC-48" x 18" with 10" PIPE, FIBERGLASS	CONTECH		
2	48" x 48" TREE GRATE FRAME GALV. (CAST-IN)	CONTECH		
1	24" x 4" ACCESS FRAME AND COVER EJ #41600389	CONTECH		
1	7'9" x 8" CLEANOUT (CAST-IN)	CONTECH		
3	2'9" PVC IRRIGATION CONDUIT	CONTECH		
1	SEALANT FOR JOINTS	CONTRACTOR		
8.5 LF	2-1/2" x 2-1/2" x 1/4" CURB NOSING (CAST-IN)	CONTECH		

- GENERAL NOTES**
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE
 - FOR FABRICATION DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHTS, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE.
 - FILTERRA WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING.
 - STRUCTURE SHALL MEET PEDESTRIAN (300 PSF) LIVE LOAD WITH HS-20 SURCHARGE AND HS-20 LOAD AT THE CURB INLET, ASSUMING EARTH COVER OF 1'-4" AND GROUNDWATER ELEVATION AT OR BELOW FINISH GRADE ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION.
 - FILTERRA STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C-857, ASTM C-918 AND ACI-318 LOAD FACTOR DESIGN METHOD
- INSTALLATION NOTES**
- ANY SUB-BASE, BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD
 - CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE FILTERRA STRUCTURE. SPREADER BAR WITH SUFFICIENT CABLE IS REQUIRED FOR SAFETY AND REDUCTION OF DAMAGE TO CONCRETE STRUCTURE
 - CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE STRUCTURE
 - CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPE(S). MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES
 - CONTRACTOR TO SUPPLY AND INSTALL INLET PROTECTION BAR IF REQUIRED BY LOCAL JURISDICTION
 - CONTRACTOR TO TAKE APPROPRIATE MEASURES TO PROTECT FILTERRA MEDIA BAY FROM CONSTRUCTION-RELATED EROSION RUNOFF
 - CONTECH IS RESPONSIBLE FOR ACTIVATION OF THE SYSTEM WHICH INCLUDES PLANTING OF THE SPECIFIED PLANT, MULCH INSTALLATION, AND PLACING OF DISSIPATION ROCK. ACTIVATION ONLY OCCURS WHEN THE SITE IS FULLY STABILIZED WITH FINAL PAVEMENT INSTALLED AND SWEEP/CLEAN OF CONSTRUCTION SEDIMENT
 - CONTACT CONTECH MAINTENANCE AND FIELD OPERATIONS AT 513-645-7770 TO SCHEDULE ACTIVATION
 - IT IS RECOMMENDED THAT ALL FILTERRA UNITS BE WATERED BY IRRIGATION LINES OR SPRINKLER SYSTEMS ON A REGULAR BASIS. FILTERRA UNITS MAY BE EQUIPPED WITH IRRIGATION HOLES FOR NEW OR EXISTING IRRIGATION LINES UPON REQUEST

STRUCTURE WEIGHT
APPROXIMATE HEAVIEST PICK = 36,000 LBS
INCLUDES BASE SECTION WITH STONE ONLY
STRUCTURE DELIVERED IN 3 PIECES
FILTERRA MEDIA = 22,500 LBS
MAX. FOOTPRINT = 9' x 19'

CONTECH
PROPOSAL
DRAWING

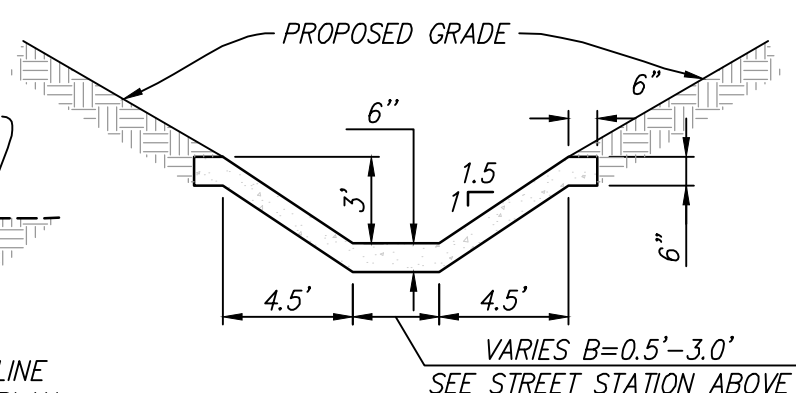
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LAYOUT LAYOUT
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NOTES:

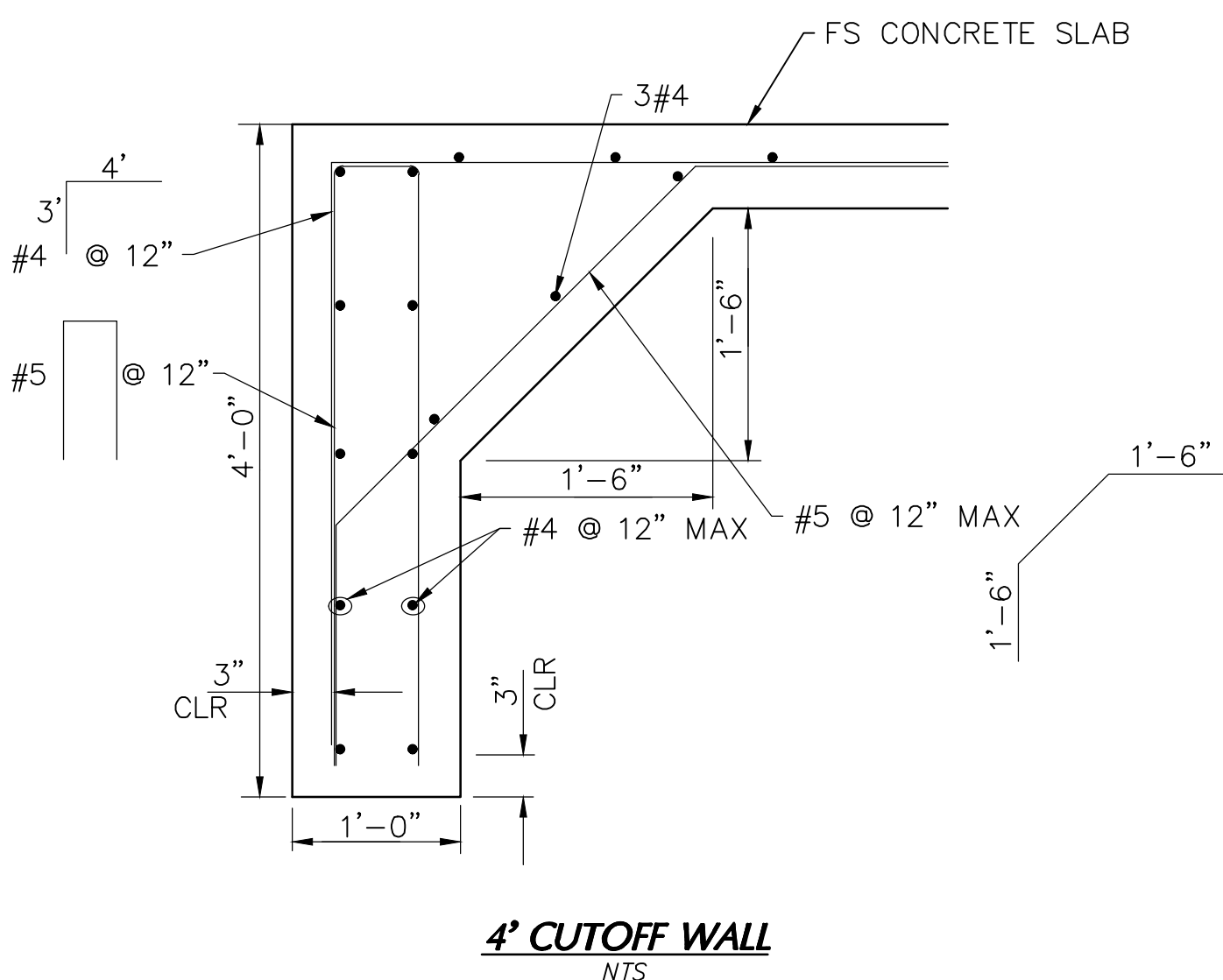
- CONCRETE SHALL BE CLASS 560-C-2500 MIN. (AIR BLOWN SHALL BE CLASS 600-B-2500 MIN.)
- REINFORCING SHALL BE 6"x6"x1.4"x1.4" - W. 4 WELDED WIRE MESH (W.W.M.) OR APPROVED EQUAL
- GROUND SHALL BE PRE-WETTED PER SOILS ENGINEER'S DIRECTION PRIOR TO PLACEMENT OF CONCRETE

CHANNEL BOTTOM WIDTH

B=0.5'	STA. 34+96.79 - 41+48.22
B=1.0'	STA. 32+60.81 - 34+96.79
B=2.0'	STA. 30+25.70 - 32+60.81
B=2.5'	STA. 26+50.02 - 30+25.70
B=3.0'	STA. 24+63.00 - 26+50.02



TRAPEZOIDAL CONCRETE DITCH NTS



4' CUTOFF WALL
NTS

BENCHMARK: BM B-95-61
FROM THE APPROXIMATE INTERSECTION OF COLLIER AVENUE AND NICHOLS ROAD 175 FEET SOUTHEASTERLY ALONG COLLIER AND 38 FEET NORTHEASTERLY TO BENCHMARK, 10 FEET SOUTHERLY OF A LIGHT STANDARD AND 10 FEET SOUTHERLY OF END OF CURB. SET CHISELED SQUARE ON NORTHEASTERLY CURB. ELEVATION: 1271.76' (NGVD 29')



TOLL FREE 1-800-422-4133
A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT

MARK	REVISIONS	APPR.	DATE

"THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS, AND A PERMIT MAY BE ISSUED."

Remon Habib
REMON HABIB, RCE NO. 83156
CITY ENGINEER
CITY OF LAKE ELSINORE

10-16-2020
DATE

PREPARED BY:
K&A ENGINEERING
LAND PLANNING
SURVEYING
Engineering, Inc.
Keith G. Osborn
KEITH G. OSBORN
R.C.E. No. 36996

357 N. SHERIDAN STREET
SUITE 117
CORONA, CALIFORNIA 92880
TEL. (951) 279-1800
FAX (951) 279-4380

08/17/2020
DATE

ERSC 10/08/2020 MB



"AS BUILT"

RCE REVIEWED BY: _____ EXP. _____ DATE _____

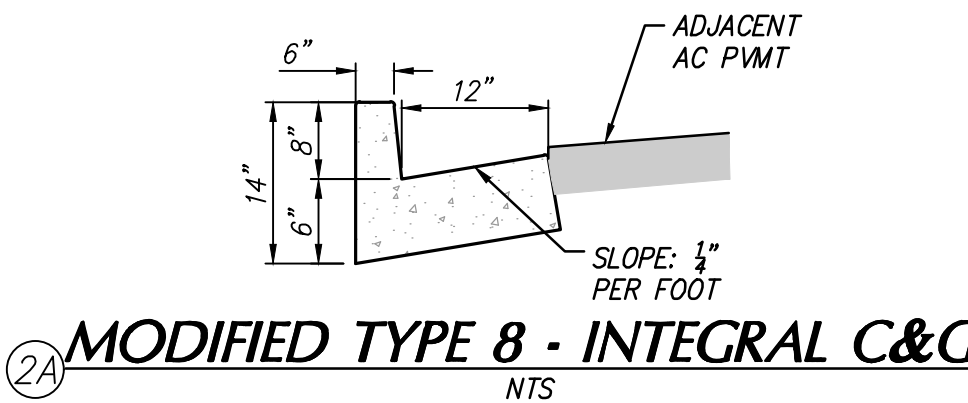
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SCALE: AS SHOWN

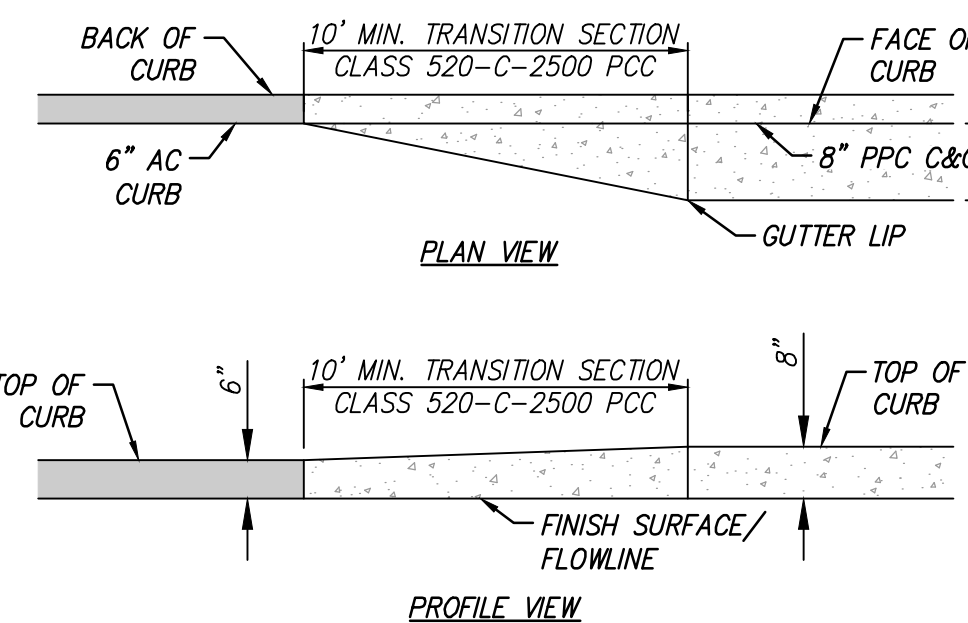
DATE: AUGUST 2020

CITY OF LAKE ELSINORE
STREET IMPROVEMENT PLAN
FOR TRACT 37305
NICHOLS ROAD
DETAILS

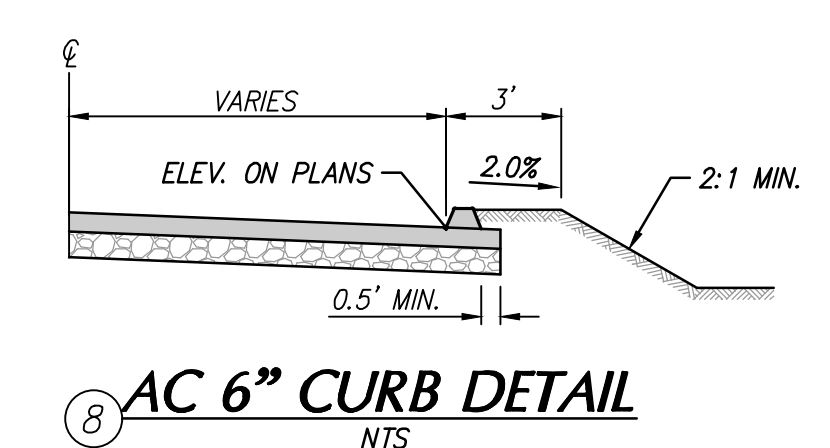
SHEET NO.
3
OF 8 SHOTS
FILE NO.
20-100



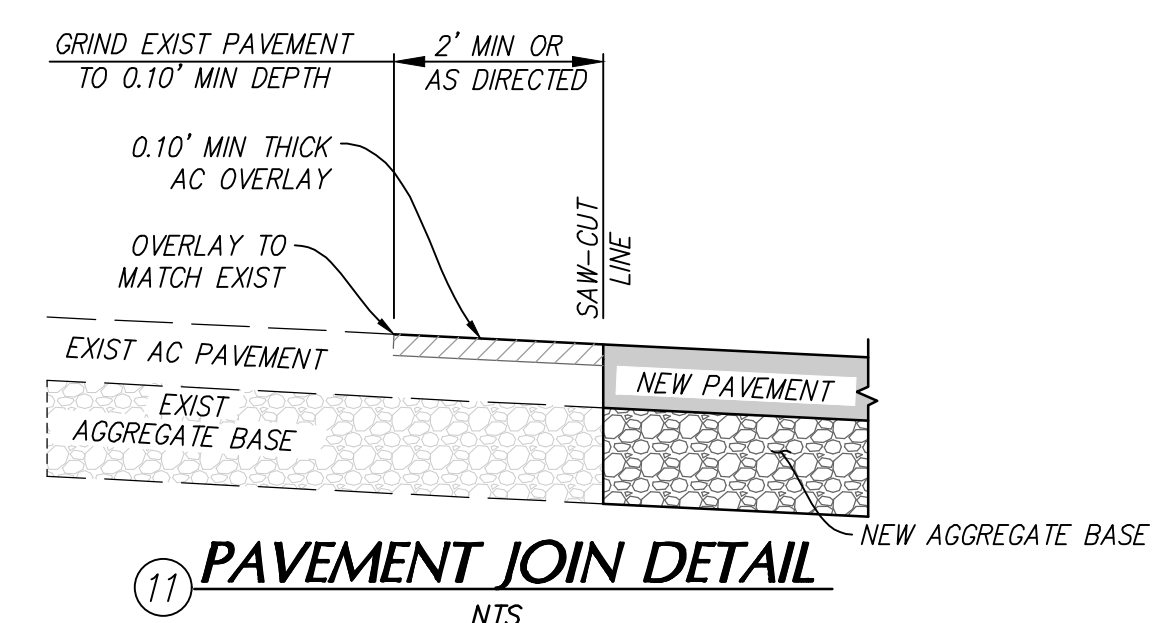
MODIFIED TYPE 8 - INTEGRAL C&G
NTS



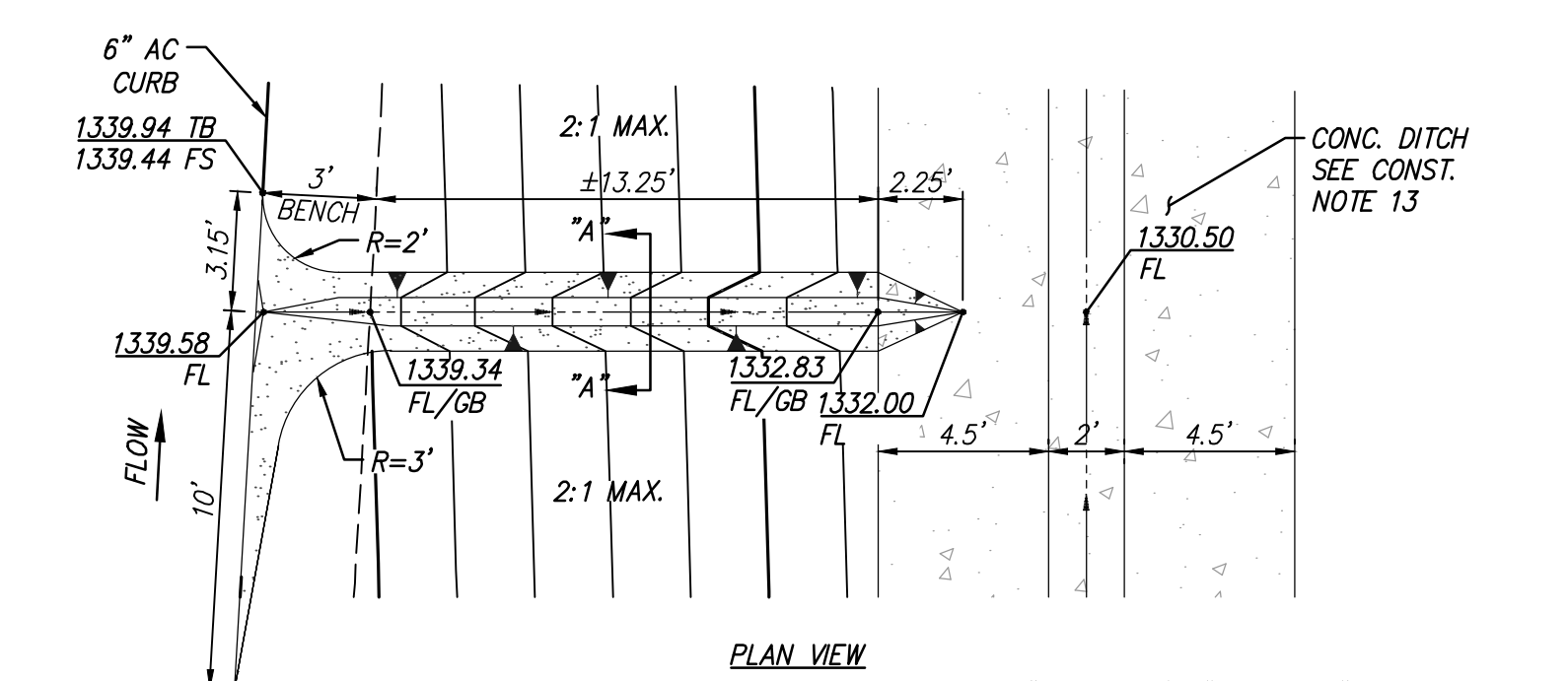
6" AC CURB TRANSITION TO 8" PCC C&G
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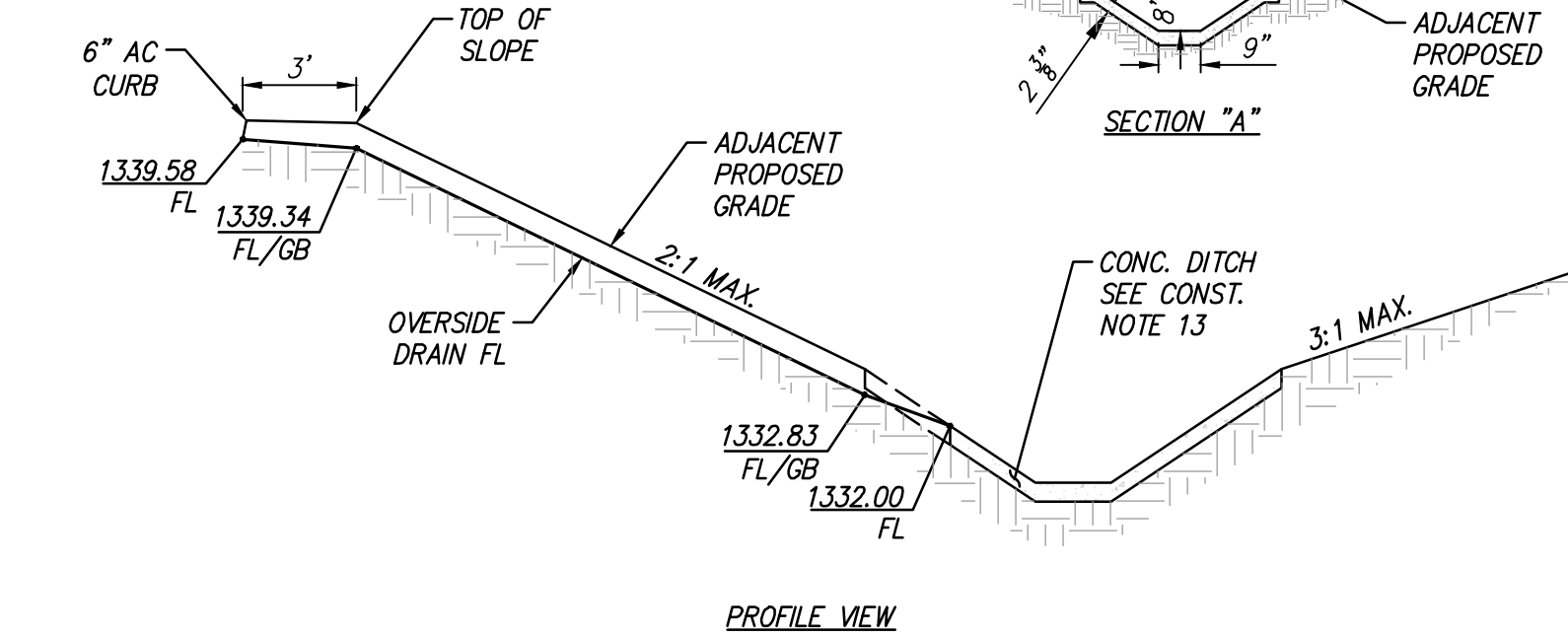
AC 6" CURB DETAIL
NTS



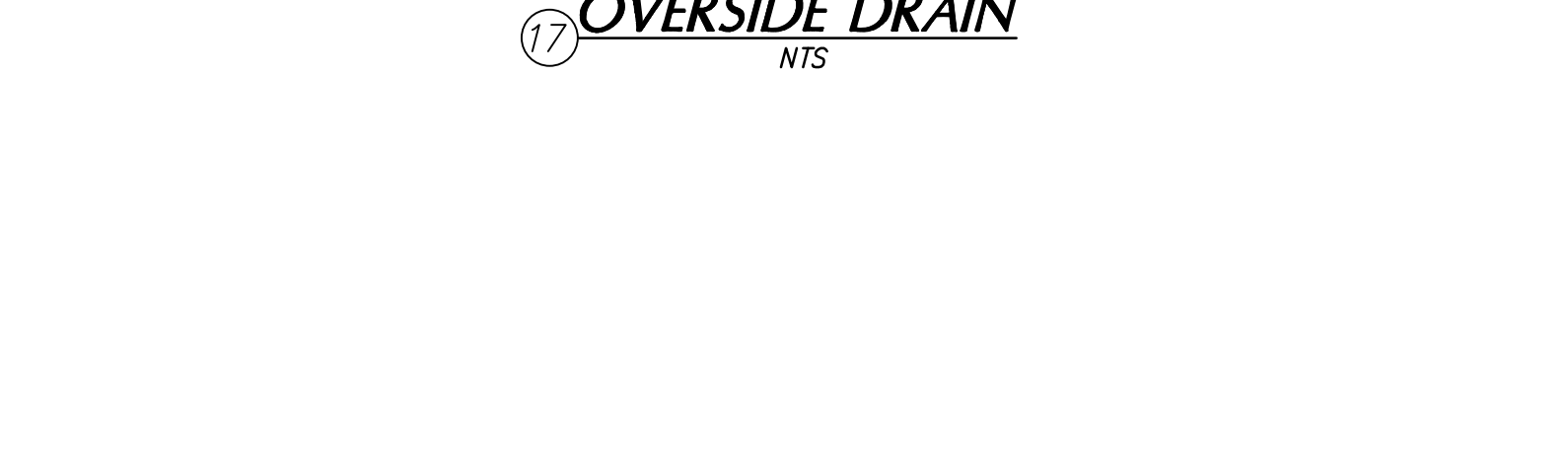
PAVEMENT JOIN DETAIL
NTS



6" AC CURB
NTS

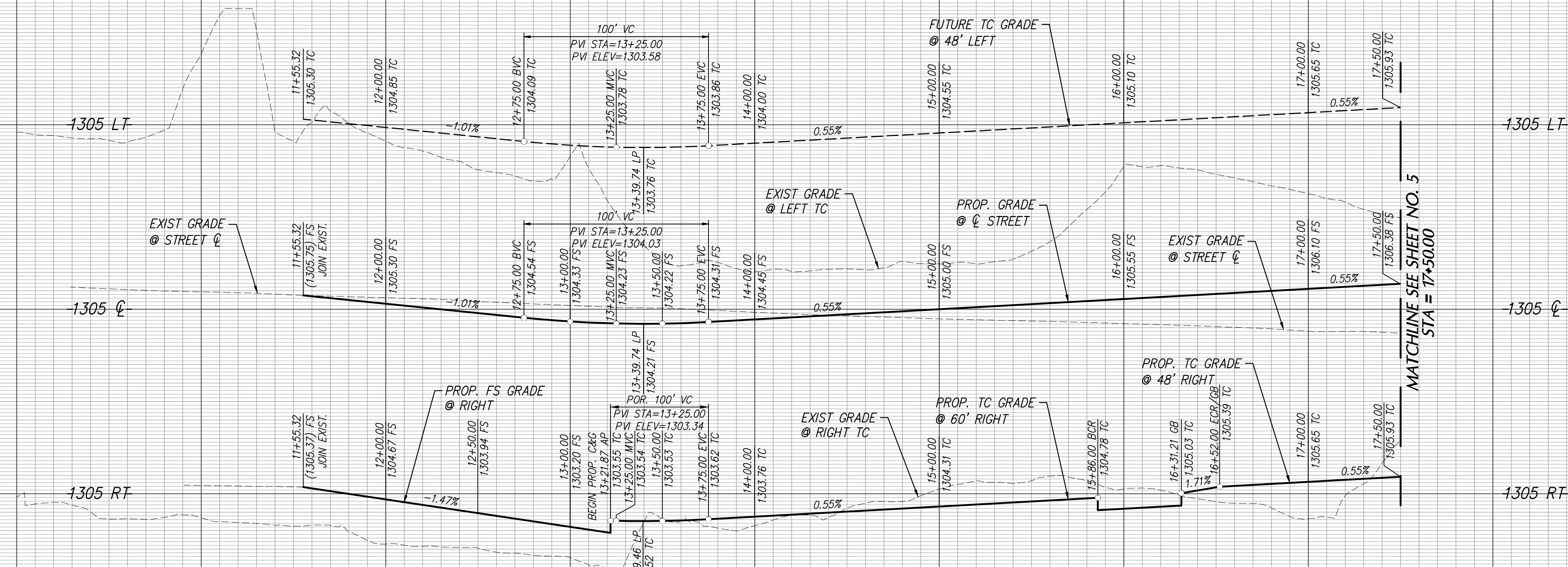


6" AC CURB
NTS



4' CUTOFF WALL
NTS

CONSTRUCTION NOTES	
(2A)	CONSTRUCT 8" TYPE "B" CURB & GUTTER PER CITY OF LAKE ELSINORE STD. NO. 201 AS MODIFIED PER DETAIL ON SHEET 3
(7)	CONSTRUCT FILTERRA INTERNAL BYPASS CURB (SEE SHEET 3 FOR DETAIL)
(8)	CONSTRUCT 6" AC CURB PER CITY OF LAKE ELSINORE STD. NO. 207 & DETAIL ON SHEET 3
(11)	SAWCUT & JOIN EXISTING PAVEMENT PER RIVERSIDE COUNTY STDS. & DETAIL ON SHEET 3
(13)	CONSTRUCT TRAPEZOIDAL CONCRETE DITCH PER DETAIL ON SHEET 3
(16)	CONSTRUCT CURB TRANSITION PER DETAIL ON SHEET 3
(17)	CONSTRUCT OVERSIDE DRAIN PER CALTRANS STD. NO. DB70 & DETAIL ON SHEET 3



PROFILE SCALE
 HORZ: 1" = 40'
 VERT: 1" = 4'

CURVE TABLE				
NUMBER	DELTA	RADIUS	LENGTH	TANGENT
(A)	90°00'00"	12.00'	18.85'	12.00'
(B)	90°00'00"	24.00'	37.70'	24.00'

LINE TABLE		
NUMBER	LENGTH	BEARING
①	594.68'	N77°00'00"E
②	174.32'	N89°33'43"W
③	264.13'	N77°00'00"E
④	98.00'	N77°00'00"E

BENCHMARK: BM B-95-61
FROM THE APPROXIMATE INTERSECTION OF COLLIER AVENUE AND
NICHOLS ROAD 175 FEET SOUTHEASTERLY ALONG COLLIER AND 38
FEET NORTHEASTERLY TO BENCHMARK. 10 FEET SOUTHERLY OF A
LIGHT STANDARD AND 10 FEET SOUTHERLY OF END OF CURB. SET
CHISELED SQUARE ON NORTHEASTERLY CURB.
ELEVATION: 1271.76' (NGVD 29')



DISPOSITION NOTES

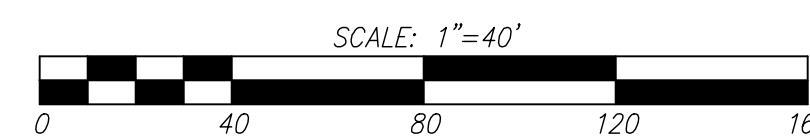
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2	PROTECT IN PLACE UNTIL RELOCATED BY OTHERS
3	TO BE REMOVED AND RELOCATED

LEGEND

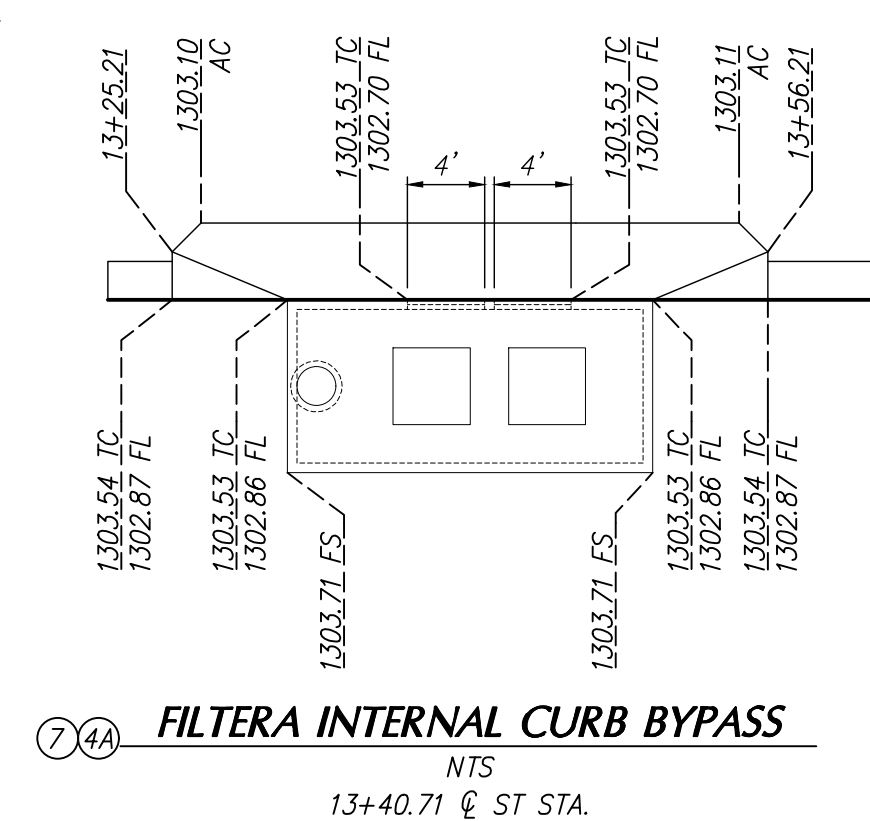
NEW AC PAVING
EXISTING AC REMOVAL
AC GRIND AND OVERLAY
PROPOSED EDGE OF PAVEMENT
DAYLIGHT LINE

NICHOLS ROAD

ERSC 10/08/2020 MB


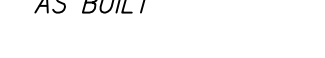





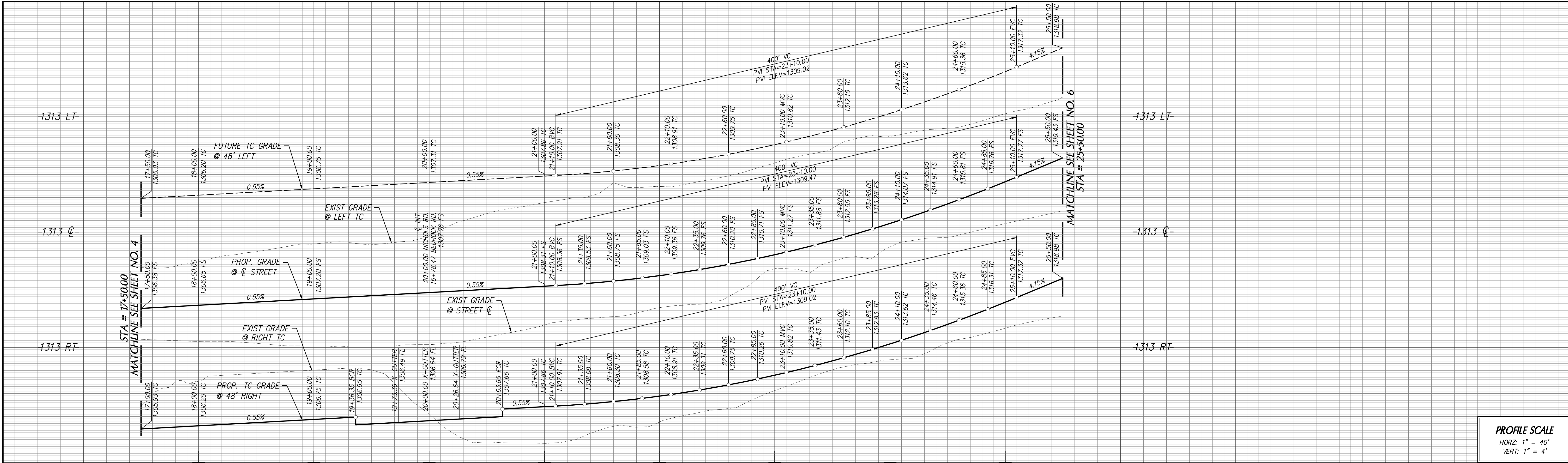
NOTE: PERMISSION TO ENTER AND GRADE
REQUIRED FROM NORTHERLY
PROPERTY OWNER PRIOR TO
COMMENCEMENT OF CONSTRUCTION



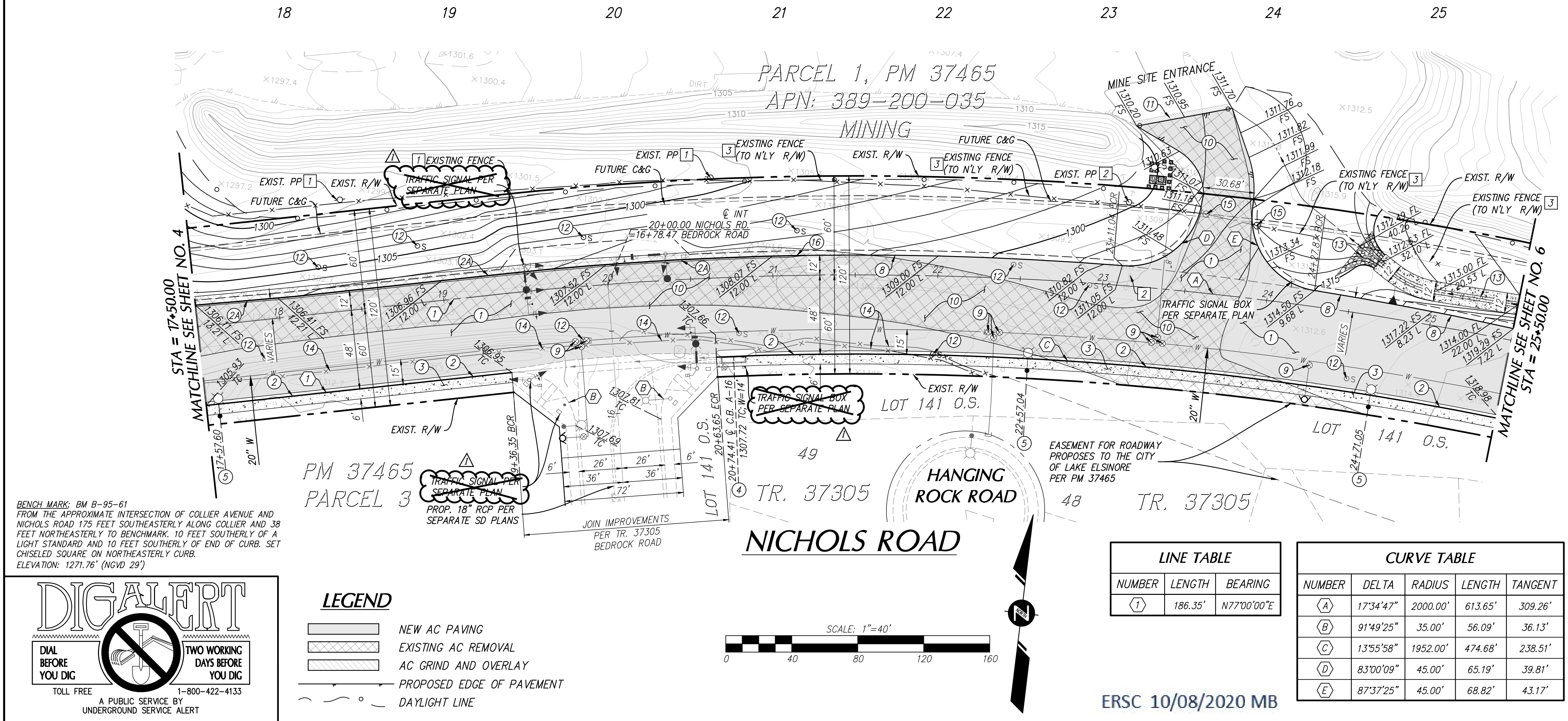
CONSTRUCTION NOTES

- | | |
|----|---|
| 1 | CONSTRUCT 5'-1/2" A.C. OVER 6" A.B. CL. II PER TYPICAL SECTION ON SHEET 2. (FINAL PAVEMENT SECTION TO BE DETERMINED PER SOILS ENGINEER DURING CONSTRUCTION) |
| 2 | CONSTRUCT 8" TYPE 'B' CURB & GUTTER PER CITY OF LAKE ELSINORE STD. NO. 201 |
| 2A | CONSTRUCT 8" TYPE 'B' CURB & GUTTER PER CITY OF LAKE ELSINORE STD. NO. 201 AS MODIFIED PER DETAIL ON SHEET 3 |
| 3 | CONSTRUCT SIDEWALK PER CITY OF LAKE ELSINORE STD. NO. 210, 4" THICKNESS |
| 4A | CONSTRUCT MODIFIED GUTTER DEPRESSION FOR FILTERA INTERNAL BYPASS CURB OPENING PER PLAN PER RIVERSIDE COUNTY STD. NO. 311, PER DETAIL ON SHEET 3 |
| 5 | CONSTRUCT STREET LIGHT PER SEPARATE PLAN |
| 6 | CONSTRUCT COMMERCIAL DRIVEWAY APPROACH PER CITY OF LAKE ELSINORE STD. NO. 118A (WIDTH 30') |
| 7 | CONSTRUCT FILTERA INTERNAL BYPASS CURB (SEE SHEET 3 FOR DETAIL) |
| 8 | CONSTRUCT 6" AC CURB PER CITY OF LAKE ELSINORE STD. NO. 207 & DETAIL ON SHEET 3 |
| 9 | ADJUST TO GRADE |
| 10 | REMOVE EXISTING AC PAVEMENT |
| 11 | SAWCUT & JOIN EXISTING PAVEMENT PER RIVERSIDE COUNTY STDs. & DETAIL ON SHEET 3 |
| 12 | REMOVE AND RELOCATE SIGN PER SIGNING & STRIPING PLAN |
| 14 | REMOVE EXISTING FENCE |
| 15 | REMOVE & RELOCATE GATE (BY OTHERS) |
| 16 | CONSTRUCT CURB TRANSITION PER DETAIL ON SHEET 3 |

MARK	REVISIONS	APPR.	DATE	"THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS, AND A PERMIT CAN BE ISSUED."	PREPARED BY: <div><div>ENGINEERING LAND PLANNING SURVEYING</div><div>357 N. SHERIDAN STREET SUITE 117 CORONA, CALIFORNIA 92880 TEL. (951) 279-1800 FAX (951) 279-4380</div></div>	SEAL <div></div>	"AS BUILT" <div><div>RCE: _____ EXP: _____ DATE: _____</div><div>REVIEWED BY: _____</div><div>INSPECTOR: _____ DATE: _____</div><div>SCALE: AS SHOWN</div><div>DATE: AUGUST 2020</div></div>	<div>CITY OF LAKE ELSINORE</div> <div>STREET IMPROVEMENT PLAN FOR TRACT 37305 NICHOLS ROAD</div> <div>NICHOLS RD. STA 10+00 TO 17+50</div>	<div>SHEET NO.</div> <div>4</div> <div>OF 8 SHEETS</div> <div>FILE NO.</div> <div>20-101</div>
	ADDED ENVIRONMENTAL IMPACT REPORT MITIGATION MEASURE, NOTES, CROSSED OUT REFERENCE TO TRAFFIC SIGNAL PLAN	RH	02/02/21	<div> REMON HABIB, RCE NO. 83156 CITY ENGINEER CITY OF LAKE ELSINORE</div> <div>10-16-2020 DATE</div>	<div> KEITH G. OSBORN R.C.E. No. 36996</div> <div>08/17/2020 DATE</div>				



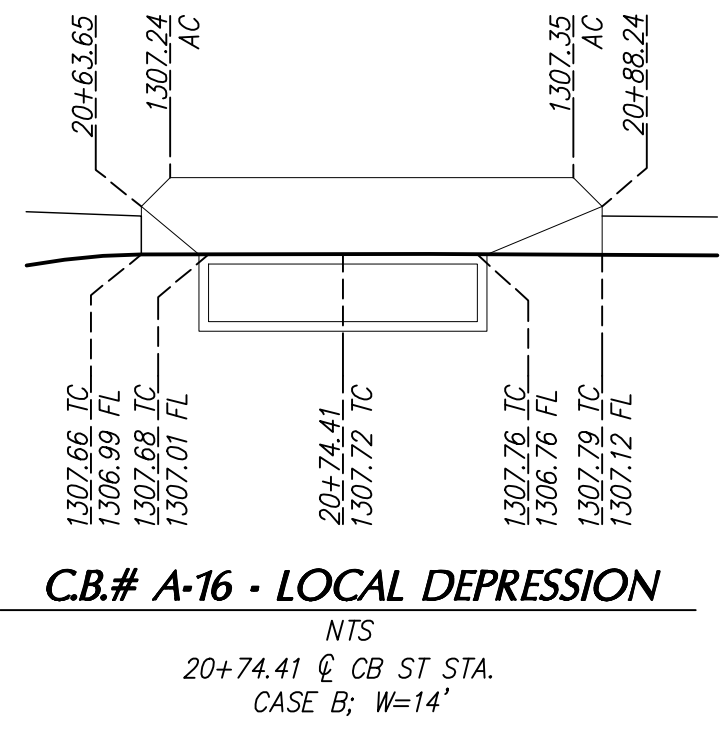
PROFILE SCALE
HORZ: 1" = 40'
VERT: 1" = 4'



NOTE: PERMISSION TO ENTER AND GRADE REQUIRED FROM NORTHERLY PROPERTY OWNER PRIOR TO COMMENCEMENT OF CONSTRUCTION

DISPOSITION NOTES

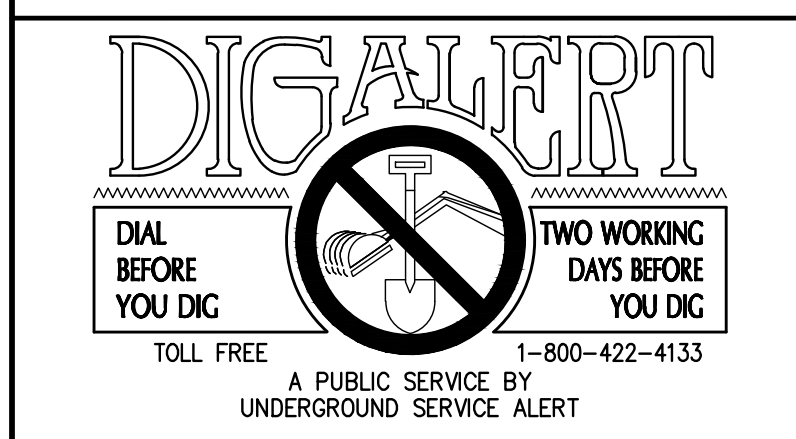
1	PROTECT IN PLACE
2	PROTECT IN PLACE UNTIL RELOCATED BY OTHERS
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CONSTRUCTION NOTES

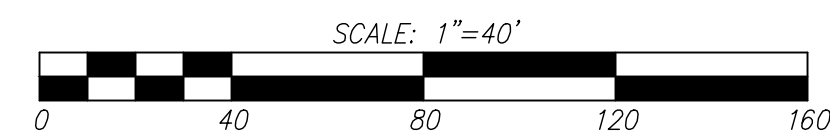
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- CONSTRUCT STREET LIGHT PER SEPARATE PLAN
- CONSTRUCT 6" AC CURB PER CITY OF LAKE ELSINORE STD. NO. 207 & DETAIL ON SHEET 3
- ADJUST TO GRADE
- REMOVE EXISTING AC PAVEMENT
- SAWCUT & JOIN EXISTING PAVEMENT PER RIVERSIDE COUNTY STDS. & DETAIL ON SHEET 3
- REMOVE AND RELOCATE SIGN PER SIGNING & STRIPING PLAN
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FEET NORTHEASTERLY TO BENCHMARK. 10 FEET SOUTHERLY OF A
LIGHT STANDARD AND 10 FEET SOUTHERLY OF END OF CURB. SET
CHISELED SQUARE ON NORTHEASTERLY CURB.
ELEVATION: 1271.76' (NGVD 29)



LEGEND

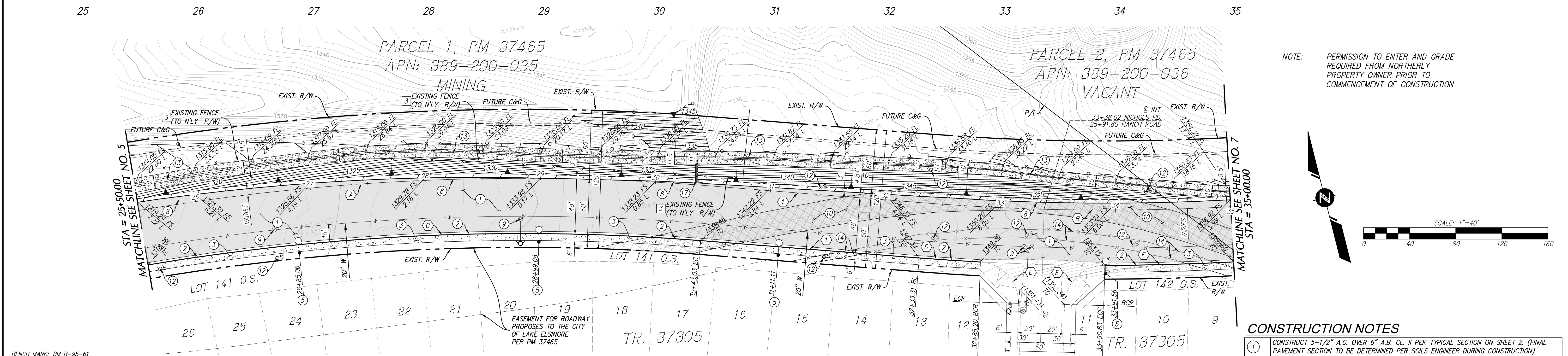
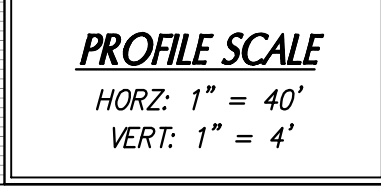
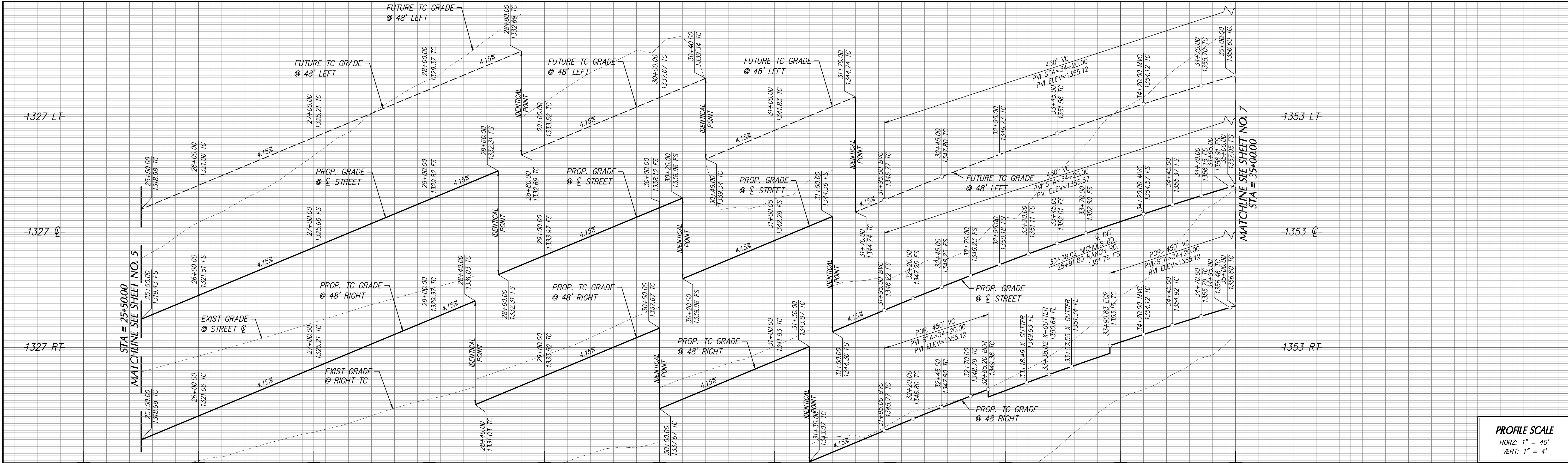
- NEW AC PAVING
- EXISTING AC REMOVAL
- AC GRIND AND OVERLAY
- PROPOSED EDGE OF PAVEMENT
- DAYLIGHT LINE



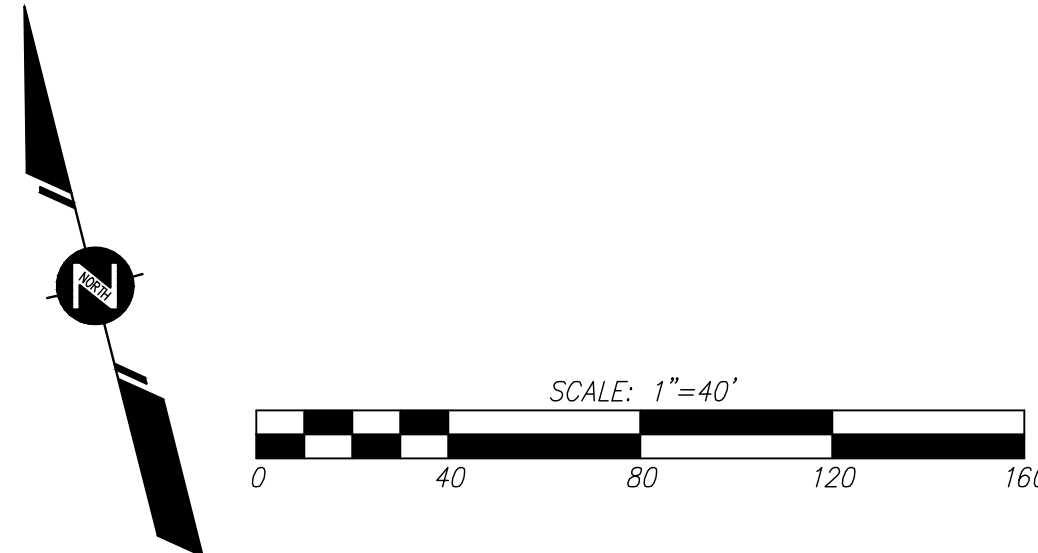
LINE TABLE		
NUMBER	LENGTH	BEARING
①	186.35'	N77°00'00"E

CURVE TABLE				
NUMBER	DELTA	RADIUS	LENGTH	TANGENT
A	17°34'47"	2000.00'	613.65'	309.26'
B	91°49'25"	35.00'	56.09'	36.13'
C	13°55'58"	1952.00'	474.68'	238.51'
D	83°00'09"	45.00'	65.19'	39.81'
E	87°37'25"	45.00'	68.82'	43.17'

MARK	REVISIONS	APPR.	DATE	"THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS, AND A PERMIT CAN BE ISSUED."	PREPARED BY: KA ENGINEERING LAND PLANNING SURVEYING 357 N. SHERIDAN STREET SUITE 117 CORONA, CALIFORNIA 92880 TEL. (951) 279-1800 FAX (951) 279-4380	SEAL: KEITH G. OSBORN No. 36996 CIVIL ENGINEER STATE OF CALIFORNIA	"AS BUILT" RCE REVIEWED BY: INSPECTOR SCALE: AS SHOWN DATE: AUGUST 2020	CITY OF LAKE ELSINORE STREET IMPROVEMENT PLAN FOR TRACT 37305 NICHOLS ROAD STA 17+50 TO 25+50	SHEET NO. 5 OF 8 SHTS FILE NO. 20-102
				REMON HABIB, RCE NO. 83156 CITY ENGINEER CITY OF LAKE ELSINORE 10-16-2020 DATE	KEITH G. OSBORN R.C.E. No. 36996 08/17/2020 DATE				



NOTE: PERMISSION TO ENTER AND GRADE REQUIRED FROM NORTHERLY PROPERTY OWNER PRIOR TO COMMENCEMENT OF CONSTRUCTION



BENCH MARK: BM 9-95-61 FROM THE APPROXIMATE INTERSECTION OF COLLIER AVENUE AND NICHOLS ROAD 175 FEET SOUTHEASTERLY ALONG COLLIER AND 38 FEET NORTHEASTERLY TO BENCHMARK. 10 FEET SOUTHERLY OF A LIGHT STANDARD AND 10 FEET SOUTHERLY OF END OF CURB. SET CHISELED SQUARE ON NORTHEASTERLY CURB. ELEVATION: 1271.76' (NGVD 29)

DIGALERT
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TWO WORKING DAYS BEFORE YOU DIG
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A PUBLIC SERVICE BY UNDERGROUND SERVICE ALERT

CURVE TABLE				
NUMBER	DELTA	RADIUS	LENGTH	TANGENT
(A)	14°07'28"	2000.00'	493.03'	247.77'
(B)	7°38'25"	2000.00'	266.69'	133.54'
(C)	14°07'28"	1952.00'	481.20'	241.83'
(D)	1°29'12"	2048.00'	53.14'	26.57'
(E)	88°29'14"	35.00'	54.05'	34.09'
(F)	3°07'39"	2048.00'	111.79'	55.91'

LINE TABLE		
NUMBER	LENGTH	BEARING
(1)	190.27'	N71°17'45"W

NICHOLS ROAD

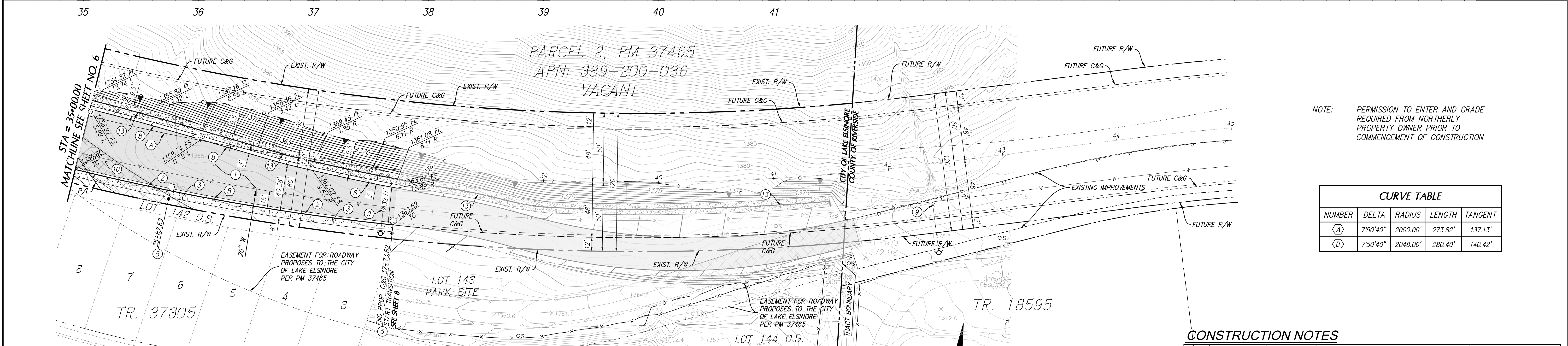
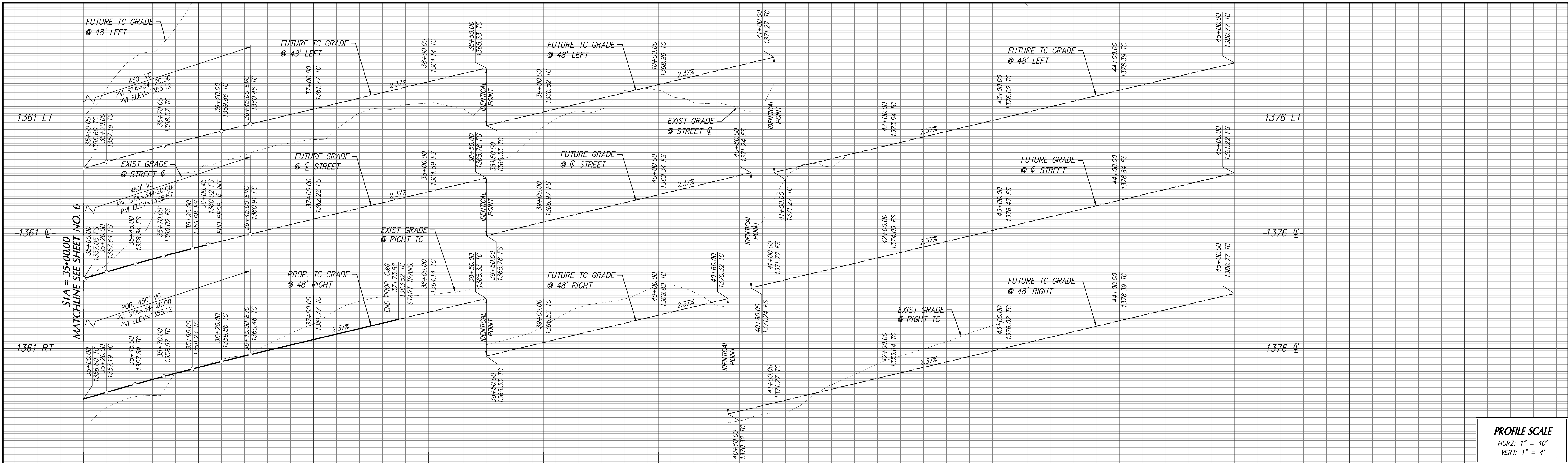
LEGEND
NEW AC PAVING
EXISTING AC REMOVAL
DAYLIGHT LINE

DISPOSITION NOTES

(3) - TO BE REMOVED AND RELOCATED

- ### CONSTRUCTION NOTES
- CONSTRUCT 5-1/2" A.C. OVER 6" A.B. CL. II PER TYPICAL SECTION ON SHEET 2. (FINAL PAVEMENT SECTION TO BE DETERMINED PER SOILS ENGINEER DURING CONSTRUCTION)
 - CONSTRUCT 8" TYPE 'B' CURB & GUTTER PER CITY OF LAKE ELSINORE STD. NO. 201
 - CONSTRUCT SIDEWALK PER CITY OF LAKE ELSINORE STD. NO. 210, 4" THICKNESS
 - CONSTRUCT STREET LIGHT PER SEPARATE PLAN
 - CONSTRUCT 6" A.C. CURB PER CITY OF LAKE ELSINORE STD. NO. 207 & DETAIL ON SHEET 3
 - ADJUST TO GRADE
 - REMOVE EXISTING AC PAVEMENT
 - REMOVE AND RELOCATE SIGN PER SIGNING & STRIPING PLAN
 - CONSTRUCT TRAPEZOIDAL CONCRETE DITCH PER DETAIL ON SHEET 3
 - REMOVE EXISTING FENCE
 - CONSTRUCT OVERSIDE DRAIN PER CALTRANS STD. NO. DB7D & DETAIL ON SHEET 3

MARK	REVISIONS	APPR.	DATE	"THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS, AND A PERMIT CAN BE ISSUED."	PREPARED BY: KA ENGINEERING LAND PLANNING SURVEYING Engineering, Inc. 357 N. SHERIDAN STREET SUITE 117 CORONA, CALIFORNIA 92880 TEL. (951) 279-1800 FAX (951) 279-4380	SEAL REGISTERED PROFESSIONAL ENGINEER No. 36996 CIVIL STATE OF CALIFORNIA	"AS BUILT" RCE REVIEWED BY: EXP. DATE INSPECTOR SCALE: AS SHOWN DATE: AUGUST 2020	CITY OF LAKE ELSINORE STREET IMPROVEMENT PLAN FOR TRACT 37305 NICHOLS RD. STA 25+50 TO 35+00	SHEET NO. 6 OF 8 SHTS FILE NO. 20-103
			10-16-2020 DATE	REMON HABIB, RCE NO. 83156 CITY ENGINEER CITY OF LAKE ELSINORE	KEITH G. OSBORN R.C.E. No. 36996	08/17/2020 DATE			



NOTE: PERMISSION TO ENTER AND GRADE REQUIRED FROM NORTHERLY PROPERTY OWNER PRIOR TO COMMENCEMENT OF CONSTRUCTION

CURVE TABLE				
NUMBER	DELTA	RADIUS	LENGTH	TANGENT
(A)	7°50'40"	2000.00'	273.82'	137.13'
(B)	7°50'40"	2048.00'	280.40'	140.42'

- CONSTRUCTION NOTES**
- CONSTRUCT 5-1/2" A.C. OVER 6" A.B. CL. II PER TYPICAL SECTION ON SHEET 2. (FINAL PAVEMENT SECTION TO BE DETERMINED PER SOILS ENGINEER DURING CONSTRUCTION)
 - CONSTRUCT 8" TYPE 'B' CURB & GUTTER PER CITY OF LAKE ELSINORE STD. NO. 201
 - CONSTRUCT SIDEWALK PER CITY OF LAKE ELSINORE STD. NO. 210, 4" THICKNESS
 - CONSTRUCT STREET LIGHT PER SEPARATE PLAN
 - CONSTRUCT 6" AC CURB PER CITY OF LAKE ELSINORE STD. NO. 207 & DETAIL ON SHEET 3
 - ADJUST TO GRADE
 - REMOVE EXISTING AC PAVEMENT
 - SAWCUT & JOIN EXISTING PAVEMENT PER RIVERSIDE COUNTY STDS. & DETAIL ON SHEET 3
 - REMOVE AND RELOCATE SIGN PER SIGNING & STRIPING PLAN
 - CONSTRUCT TRAPEZOIDAL CONCRETE DITCH PER DETAIL ON SHEET 3

BENCHMARK: BM 9-95-61 FROM THE APPROXIMATE INTERSECTION OF COLLIER AVENUE AND NICHOLS ROAD 175 FEET SOUTHEASTERLY ALONG COLLIER AND 38 FEET NORTHEASTERLY TO BENCHMARK. 10 FEET SOUTHERLY OF A LIGHT STANDARD AND 10 FEET SOUTHERLY OF END OF CURB. SET CHISELED SQUARE ON NORTHEASTERLY CURB. ELEVATION: 1271.76' (NGVD 29)

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LEGEND

- NEW AC PAVING
- EXISTING AC REMOVAL
- AC GRIND AND OVERLAY
- DAYLIGHT LINE

SEE SHEET 8 FOR TRANSITION PROP. TO EXIST.

NICHOLS ROAD

ERSC 10/08/2020 MB

SCALE: 1"=40'

CONSTRUCTION NOTES

- CONSTRUCT 5-1/2" A.C. OVER 6" A.B. CL. II PER TYPICAL SECTION ON SHEET 2. (FINAL PAVEMENT SECTION TO BE DETERMINED PER SOILS ENGINEER DURING CONSTRUCTION)
- CONSTRUCT 8" TYPE 'B' CURB & GUTTER PER CITY OF LAKE ELSINORE STD. NO. 201
- CONSTRUCT SIDEWALK PER CITY OF LAKE ELSINORE STD. NO. 210, 4" THICKNESS
- CONSTRUCT STREET LIGHT PER SEPARATE PLAN
- CONSTRUCT 6" AC CURB PER CITY OF LAKE ELSINORE STD. NO. 207 & DETAIL ON SHEET 3
- ADJUST TO GRADE
- REMOVE EXISTING AC PAVEMENT
- SAWCUT & JOIN EXISTING PAVEMENT PER RIVERSIDE COUNTY STDS. & DETAIL ON SHEET 3
- REMOVE AND RELOCATE SIGN PER SIGNING & STRIPING PLAN
- CONSTRUCT TRAPEZOIDAL CONCRETE DITCH PER DETAIL ON SHEET 3

MARK	REVISIONS	APPR.	DATE	"THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS, AND A PERMIT CAN BE ISSUED."	PREPARED BY: KA ENGINEERING LAND PLANNING SURVEYING Engineering, Inc. 357 N. SHERIDAN STREET SUITE 117 CORONA, CALIFORNIA 92880 TEL. (951) 279-1800 FAX (951) 279-4380	SEAL REGISTERED PROFESSIONAL ENGINEER KEITH G. OSBORN No. 36996 CIVIL STATE OF CALIFORNIA	"AS BUILT" RCE REVIEWED BY: _____ EXP. _____ DATE _____ INSPECTOR: _____ DATE _____ SCALE: AS SHOWN DATE: AUGUST 2020	CITY OF LAKE ELSINORE STREET IMPROVEMENT PLAN FOR TRACT 37305 NICHOLS ROAD NICHOLS RD. STA. 35+00 TO 45+00	SHEET NO. 7 OF 8 SHTS FILE NO. 20-104
			10-16-2020 DATE	REMON HABIB, RCE NO. 83156 CITY ENGINEER CITY OF LAKE ELSINORE	08/17/2020 DATE				

1375

1370

1365

1375

1370

1365

PROFILE SCALE
HORZ: 1" = 40'
VERT: 1" = 4'

CURVE TABLE				
NUMBER	DELTA	RADIUS	LENGTH	TANGENT
(A)	9°47'38"	546.67'	93.45'	46.84'
(B)	29°52'15"	513.33'	267.62'	136.93'

LINE TABLE		
NUMBER	LENGTH	BEARING
(1)	11.67'	N86°46'50"W
(2)	5.43'	N76°59'12"W
(3)	29.09'	N73°08'33"E

BENCH MARK: BM B-95-61
FROM THE APPROXIMATE INTERSECTION OF COLLIER AVENUE AND
NICHOLS ROAD 175 FEET SOUTHEASTERLY ALONG COLLIER AND 38
FEET NORTHEASTERLY TO BENCHMARK, 10 FEET SOUTHERLY OF
LIGHT STANDARD (NO. #) AND 10 FEET SOUTHERLY OF END OF CURB.
SET CHISELED SQUARE ON NORTHEASTERLY CURB.
ELEVATION: 1271.76'



LEGEND

- NEW AC PAVING
- AC GRIND AND OVERLAY
- DAYLIGHT LINE

DISPOSITION NOTES

- PROTECT IN PLACE

THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE
CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS AND HAVE BEEN
FOUND ACCEPTABLE.

Remon Habib
REMON HABIB, RCE NO. 83156
CITY ENGINEER
CITY OF LAKE ELSINORE

10-16-2020
DATE

PREPARED BY:



KEITH G. OSBORN
R.C.E. No. 36996

ENGINEERING
LAND PLANNING
SURVEYING
357 N. SHERIDAN STREET
SUITE 117
CORONA, CALIFORNIA 92880
TEL. (951) 279-1800
FAX (951) 279-4380

08/17/2020
DATE

SEAL



NOTE: PERMISSION TO ENTER AND GRADE
REQUIRED FROM NORTHERLY
PROPERTY OWNER PRIOR TO
COMMENCEMENT OF CONSTRUCTION

SCALE: 1"=20'

ERSC 10/08/2020 MB

MS4362

IP#190029

"AS BUILT"

RCE REVIEWED BY: EXP. DATE
INSPECTOR DATE
SCALE: AS SHOWN
DATE: AUGUST 2020

CITY OF LAKE ELSINORE
STREET IMPROVEMENT PLAN
FOR TRACT 37305
NICHOLS ROAD
NICHOLS ROAD TRANSITION ROAD

SHEET NO.

8

OF 8 SHTS

FILE NO.

20-105