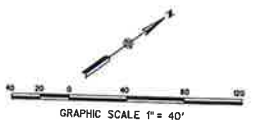


# WESTLAKE PLOTTING & PHASING PLAN

**LEGEND**

- PHASING BOUNDARY —
- BUILDING PLAN TYPE 4 3R
- INDICATES MODEL M
- INDICATES MODEL PARKING P
- INDICATES FALLOW LOT F
- INDICATES ENHANCED ELEVATION



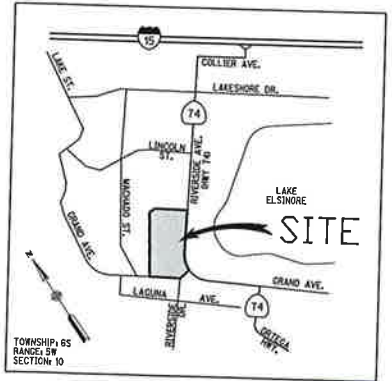
## PHASING SUMMARY

PHASE	PLAN 1	PLAN 2	PLAN 3	TOTAL	BUILDINGS
1-1	3	2	4	9	62-67, 75-77
1-2	6	2	3	11	1-5, 73, 83-87
1-3	3	4	3	10	6-10, 88-92
1-4	4	3	1	8	11-16, 93-94
1-5	3	2	2	7	17-23
1-6	1	3	4	8	24-28, 95-97
1-7	2	3	5	10	98-102, 137-141
1-8	3	3	3	9	103-107, 133-136
1-9	4	1	5	10	108-112, 128-132
1-10	1	3	3	7	55-61
1-11	2	3	2	7	74, 118-123
1-12	2	3	4	9	113-117, 124-127
1-13	3	2	3	8	29-34, 142-143
1-14	2	2	4	8	35-38, 144-147
1-15	1	4	3	8	39-42, 148-151
1-16	0	4	4	8	43-46, 152-155
1-17	4	3	1	8	47-50, 156-159
1-18	3	3	2	8	51-54, 160-163
MODELS	1	1	1	3	79-81
MBO	1	3	3	7	68-72, 78, 82
<b>TOTALS</b>	<b>49</b>	<b>54</b>	<b>60</b>	<b>163</b>	

**OWNER/DEVELOPER**  
 PARDEE HOMES  
 1550 CORONA POINTE COURT, SUITE 600  
 CORONA, CA 92717  
 951-428-1400

**PROJECT ENGINEER**  
 ROCK ENGINEERING COMPANY  
 36 DISCOVERY, SUITE 240  
 IRVINE, CA 92618  
 949-568-0707

**PROJECT ARCHITECT**  
 BASSERMAN'S ARCHITECTURE  
 2031 SHIRAZ DRIVE, SUITE 100  
 NEWPORT BEACH, CA 92660  
 949-553-9100



**RICK**  
 ENGINEERING COMPANY  
 18000 ROCKWELL AVE., SUITE 100  
 IRVINE, CA 92614  
 949-453-8800

DATE: \_\_\_\_\_

**BENCH MARK**  
 ELEVATION: 500.815 NAVD 83  
 RIVERSIDE COUNTY REGISTRATION: E-16-10  
 DESCRIPTION:

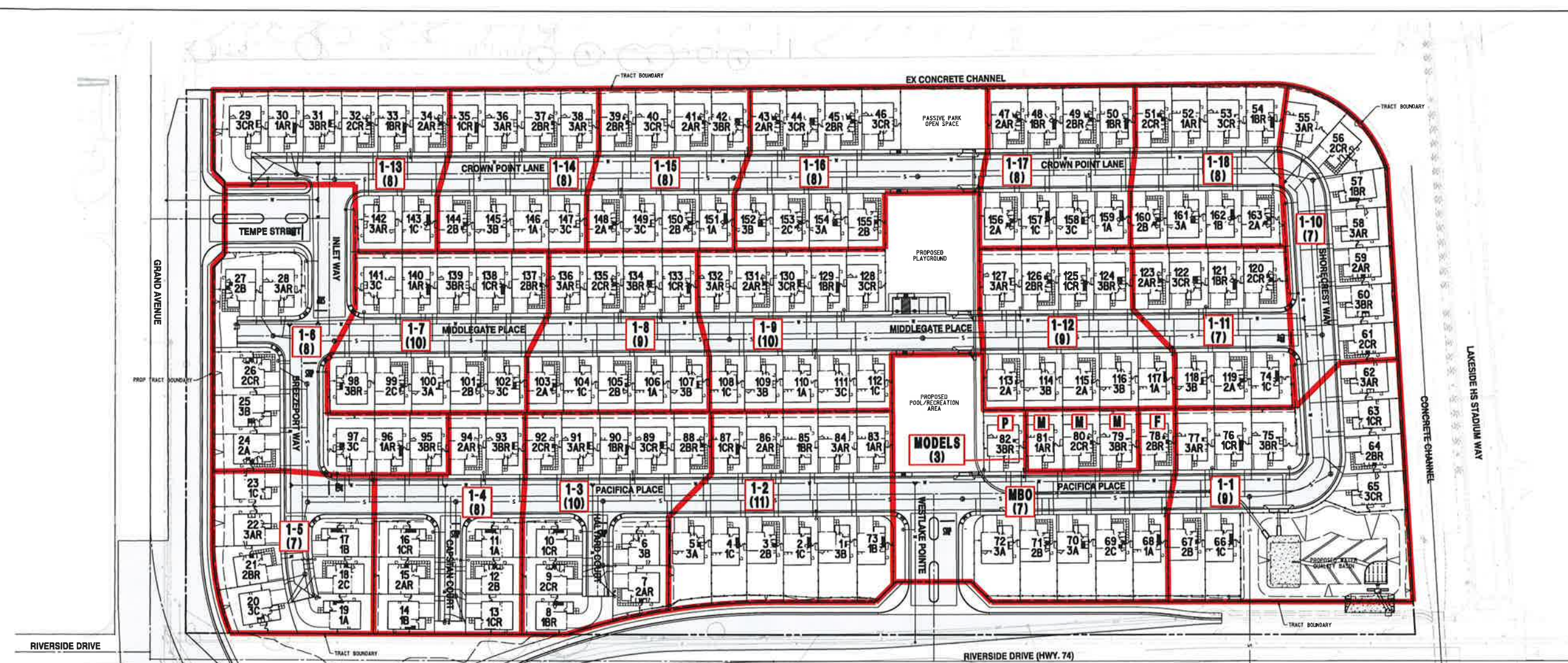
GRAPHIC SCALE 1" = 40'



**REVISIONS**

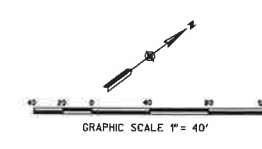
NO.	DESCRIPTION	DATE
1	ORIGINAL PREPARED	08/12/2018
2	REVISED	09/10/2018
3	REVISED	09/15/2018
4	REVISED	10/22/2018
5	REVISED	11/02/2018





# WESTLAKE PLOTING & PHASING PLAN

- LEGEND**
- PHASING BOUNDARY —
  - BUILDING \* 3R PLAN TYPE
  - INDICATES MODEL M
  - INDICATES MODEL PARKING P
  - INDICATES FALLOW LOT F



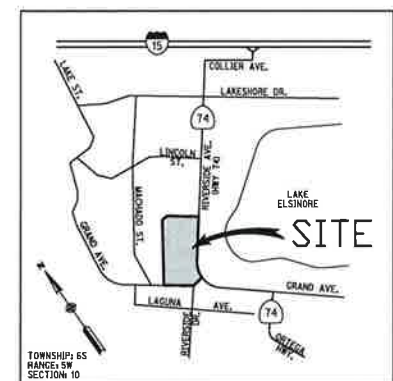
## PHASING SUMMARY

PHASE	PLAN 1	PLAN 2	PLAN 3	TOTAL	BUILDINGS
1-1	3	2	4	9	62-67, 75-77
1-2	6	2	3	11	1-5, 73, 83-87
1-3	3	4	3	10	6-10, 88-92
1-4	4	3	1	8	11-16, 93-94
1-5	3	2	2	7	17-23
1-6	1	3	4	8	24-28, 95-97
1-7	2	3	5	10	98-102, 137-141
1-8	3	3	3	9	103-107, 133-136
1-9	4	1	5	10	108-112, 128-132
1-10	1	3	3	7	55-61
1-11	2	3	2	7	74, 118-123
1-12	2	3	4	9	113-117, 124-127
1-13	3	2	3	8	29-34, 142-143
1-14	2	2	4	8	35-38, 144-147
1-15	1	4	3	8	39-42, 148-151
1-16	0	4	4	8	43-46, 152-155
1-17	4	3	1	8	47-50, 156-159
1-18	3	3	2	8	51-54, 160-163
MODELS	1	1	1	3	79-81
MBO	1	3	3	7	68-72, 78, 82
<b>TOTALS</b>	<b>49</b>	<b>54</b>	<b>60</b>	<b>163</b>	

**OWNER/DEVELOPER**  
 PARDEE HOMES  
 1250 CORONA POINTE COURT, SUITE 600  
 CORONA, CA 92619  
 (951) 428-4400

**PROJECT ENGINEER**  
 RICK ENGINEERING COMPANY  
 36 DISCOVERY SUITE 240  
 TRIVIA, CA 92688  
 (949) 588-0707

**PROJECT ARCHITECT**  
 BASSENIAN/LAGORI  
 2031 ORCHARD DRIVE, SUITE 100  
 NEWPORT BEACH, CA 92660  
 (949) 553-9100



**RICK ENGINEERING COMPANY**  
 36 DISCOVERY SUITE 240  
 TRIVIA, CA 92688  
 (949) 588-0707

PREPARED UNDER THE DIRECTION OF:  
**BARRY J. CORAN, RCE #C46568**

DATE: \_\_\_\_\_

**BENCH MARK:**  
 ELEVATION: 160.273 MDS 701  
 REGIONAL COUNTY DESIGNATION: C-14-70  
 DESCRIPTION: \_\_\_\_\_

PROFESSIONAL SEAL:  
**BARRY J. CORAN**  
 CIVIL ENGINEER  
 No. 44588



**REVISIONS**

NO.	BY	DATE
1	PREPARED	8/15/2018
2	REVISED	8/15/2018
3	REVISED	10/12/2018
4	REVISED	11/28/2018
5	REVISED	1/12/2019

# GRADING & DRAINAGE PLAN

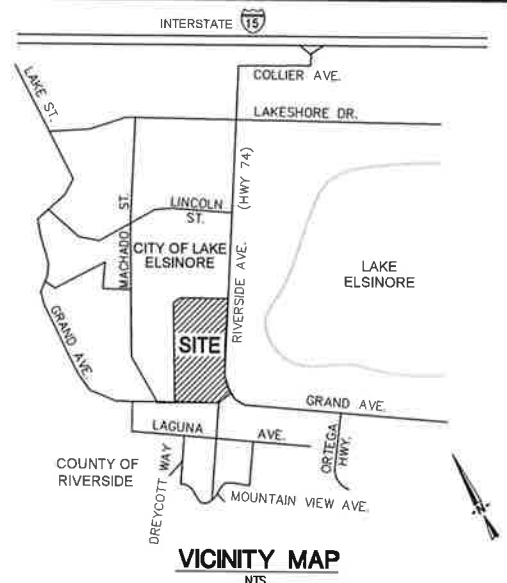
## REVISED TENTATIVE TRACT MAP 33267

### ONE LOT FOR CONDOMINIUM PURPOSES

#### CITY OF LAKE ELSINORE COUNTY OF RIVERSIDE, CALIFORNIA

**JUNE 2014**  
**LEGAL DESCRIPTION**

THAT PORTION OF LOTS 1 AND 2 IN BLOCK "C" OF THE LA LAGUNA RANCH, IN THE CITY OF LAKE ELSINORE, AS SHOWN BY MAP ON FILE IN BOOK 1 PAGE(S) 36 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA.



**OWNER/APPLICANT:**  
SUNWOOD VENTURES LLC  
9740 APPALOOSA ROAD, SUITE 130  
SAN DIEGO CA, 92131  
PHONE: (909) 208-2971

**ENGINEER:**  
VA CONSULTING, INC.  
46 DISCOVERY, SUITE 250  
IRVINE, CA 92618  
(949) 474-1400 TEL  
(949) 261-8482 FAX

**ASSESSOR'S PARCEL NUMBER:**  
379-050-006, 379-050-034

**ACREAGE:**

19.71 AC. GROSS

18.76 AC. NET

**LAND USE:**

EXISTING LAND USE: VACANT  
PROPOSED LAND USE: RESIDENTIAL  
EXISTING ZONING: C-P COMMERCIAL PARK  
PROPOSED ZONING: R-2 MEDIUM DENSITY RESIDENTIAL  
GENERAL PLAN DESIGNATION: SP-P

**BASIS OF BEARINGS:**  
CENTER LINE OF GRAND AVENUE  
N52° 53' 08"W

**BENCHMARK:**  
CA DOT BM 13-B-93 LOCATION WESTERLY CURB RIVERSIDE DRIVE OPPOSITE FIRE HYDRANT AND 365 FEET NORTHERLY OF JOY STREET.

**UTILITIES:**

**WATER:** ELSINORE VALLEY MUNICIPAL WATER DISTRICT  
31315 CHANEY STREET, LAKE ELSINORE, CA. 92882  
(951) 674-3146

**SEWER:** ELSINORE VALLEY MUNICIPAL WATER DISTRICT  
31315 CHANEY STREET, LAKE ELSINORE, CA. 92882  
(951) 674-3146

**POWER:** SOUTHERN CALIFORNIA EDISON CO.  
1444 E. McFADDEN AVE., BLDG. D  
SANTA ANA, CA. 92705  
(714) 973-5735

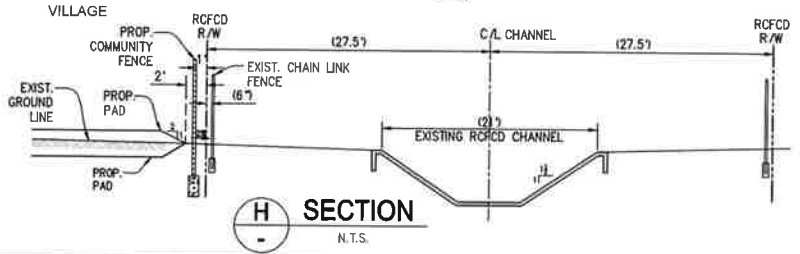
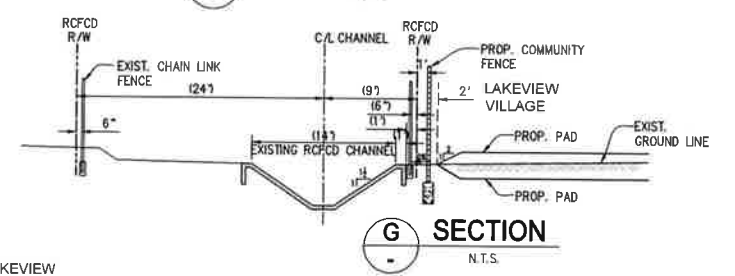
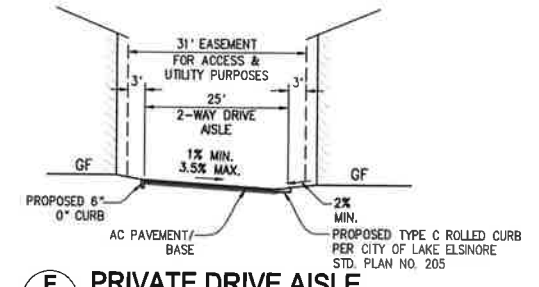
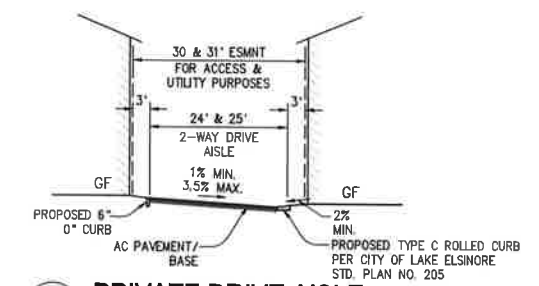
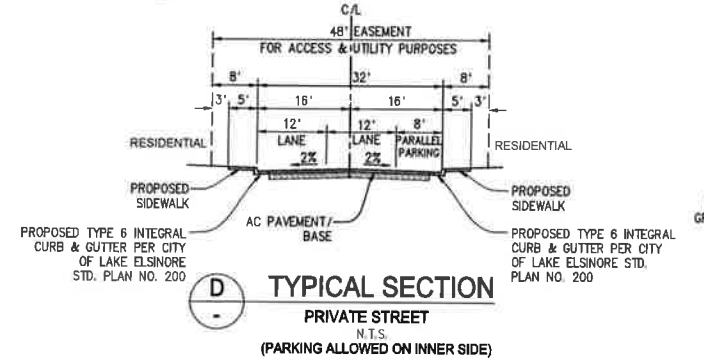
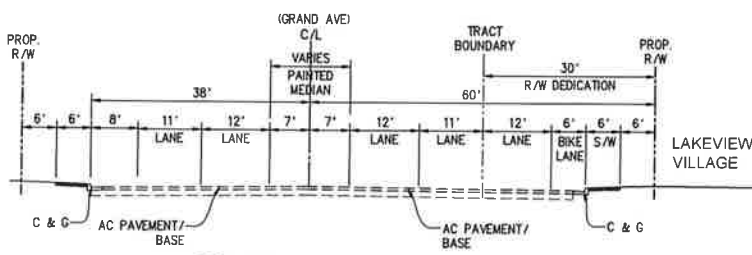
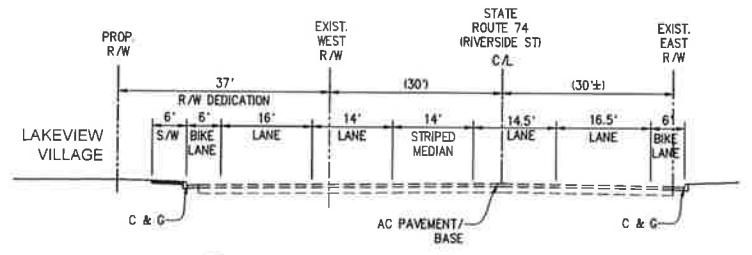
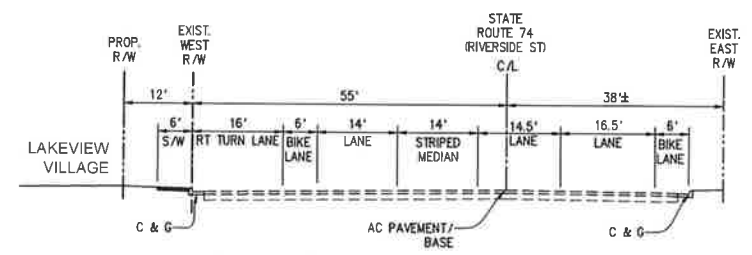
**GAS:** SOUTHERN CALIFORNIA GAS CO.  
1981 W. LUGONIA AVE.  
REDLANDS, CA. 92373  
(909) 335-7955

**PHONE:** VERIZON CALIFORNIA  
1-800-483-3000

**CABLE TV:** TIME WARNER CABLE  
1500 AUTO CENTER DR  
ONTARIO, CA 91761  
(909) 975-3398

**SCHOOL DISTRICT:**

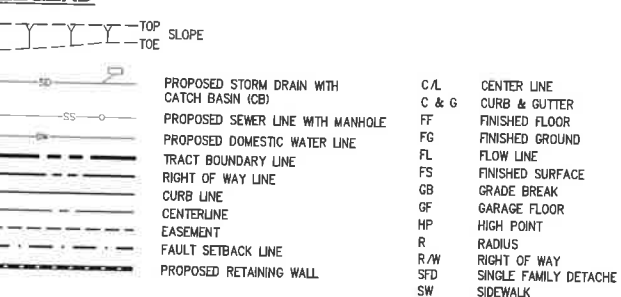
LAKE ELSINORE UNIFIED SCHOOL DISTRICT



**EARTHWORK QUANTITIES**

CUT 25,000 CY  
FILL 25,000 CY  
GRADED AREA 20.0 AC

**LEGEND**



**SHEET INDEX**

SHEET	NO.
1	1
TITLE SHEET, NOTES & CROSS SECTIONS GRADING & DRAINAGE PLAN	2-3

PREPARED FOR:  
**Sunwood Ventures LLC**  
9740 APPALOOSA ROAD, SUITE 130  
SAN DIEGO CA, 92131

DATE	BY	REVISIONS	DATE	ACC'D

PREPARED UNDER THE SUPERVISION OF:

6/4/14  
DES. ENG: O.N.  
DESIGNER: O.N.  
DRAFTER: A.C.  
CHECKED BY: D.G.

NO. 024725  
CIVIL  
STATE OF CALIFORNIA

DONALD R. GORDON R.C.E. 24725 EXP. 12/31/15



6/4/14  
DES. ENG: O.N.  
DESIGNER: O.N.  
DRAFTER: A.C.  
CHECKED BY: D.G.



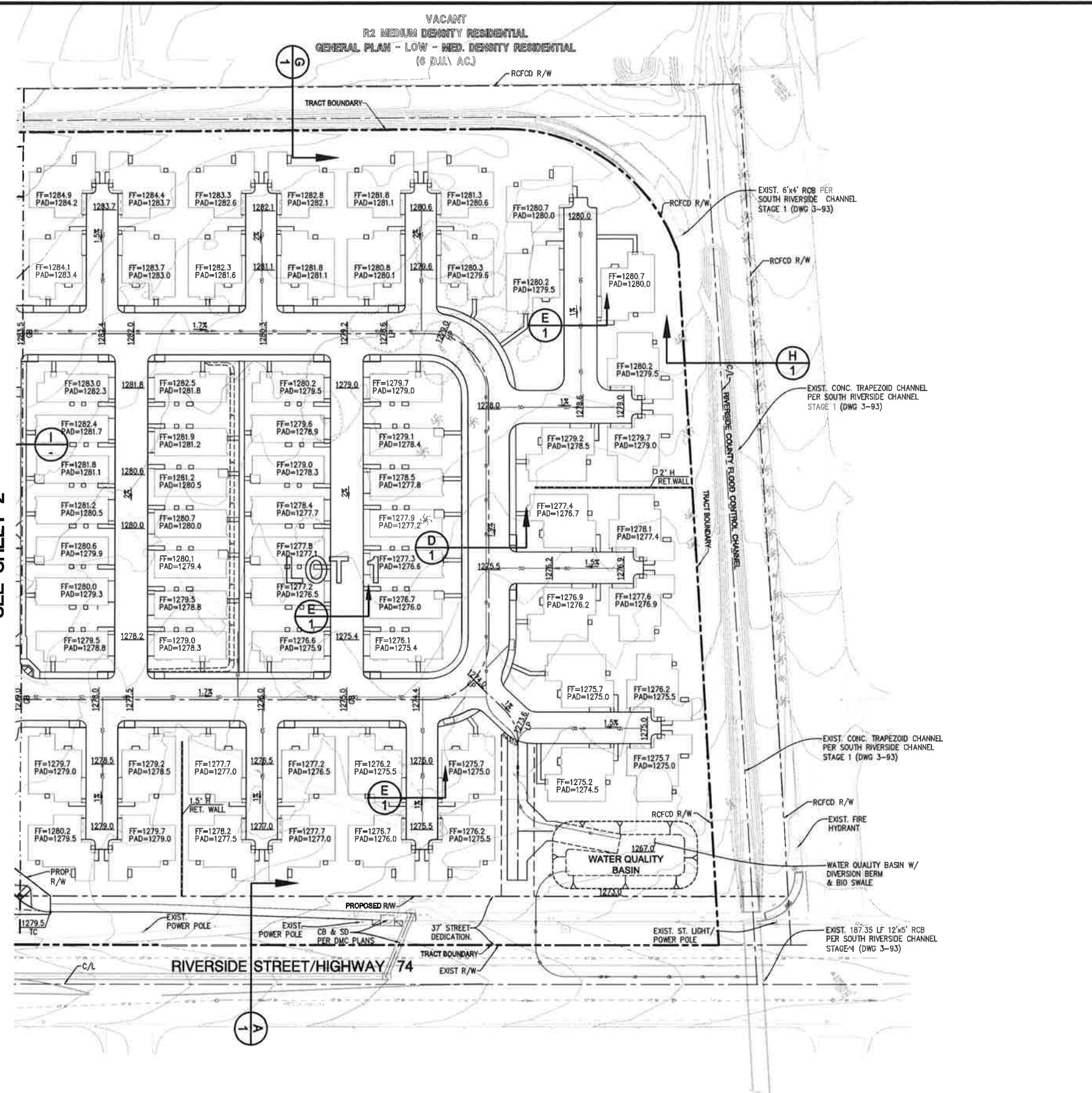
**VA Consulting, Inc.**  
ENGINEERS • PLANNERS • SURVEYORS  
46 DISCOVERY, SUITE 250 (949) 474-1400 TEL  
IRVINE, CA 92618 (949) 261-8482 FAX

**CITY OF LAKE ELSINORE**  
**REVISED TENTATIVE TRACT MAP 33267**  
**GRADING & DRAINAGE PLAN**  
**GEN. NOTES, SECTIONS & DETAILS**

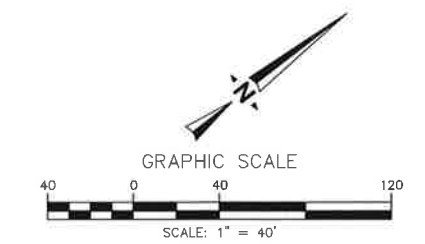
PROJECT NO.  
1122\_0103  
SHEET  
1  
OF  
3

DRAWING: P:\projects\1122\_0103\eng\cond\map\plan\plan01.dwg (jason\jason) - dsn: 1122\_0103-plan01.dwg - pl: jason - dt: 6/4/2014 4:30 PM - BY: Alberto Cristobal





SEE SHEET 2



PREPARED FOR:  
**Sunwood Ventures LLC**  
 9740 APPALOOSA ROAD, SUITE 130  
 SAN DIEGO CA., 92131

DATE	BY	REVISIONS	DATE	ACC'D

PREPARED UNDER THE SUPERVISION OF:  
 DONALD R. GORDON R.C.E. 24725 EXP. 12/31/15

DES. ENG.	O.N.
DESIGNER:	O.N.
DRAFTER:	A.C.
CHECKED BY:	D.G.

6/4/14

**VA Consulting, Inc.**  
 ENGINEERS • PLANNERS • SURVEYORS  
 46 DISCOVERY, SUITE 250 (949) 474-1400 TEL  
 IRVINE, CA 92618 (949) 261-8482 FAX

**CITY OF LAKE ELSINORE**  
 REVISED TENTATIVE TRACT MAP 33267  
 PRELIMINARY GRADING AND  
 DRAINAGE PLAN

PROJECT NO.	1122_0103
SHEET	3
OF	3

DRAWING: A:\projects\1122\_0103\plan02-1m\1122\_0103-plan02-1m\_grading-02-03.dwg PLOTTER: 6/4/2014 2:25 PM PR: alexis.chibaso



NOTE: OPTIONAL COACH LIGHTS SHOWN

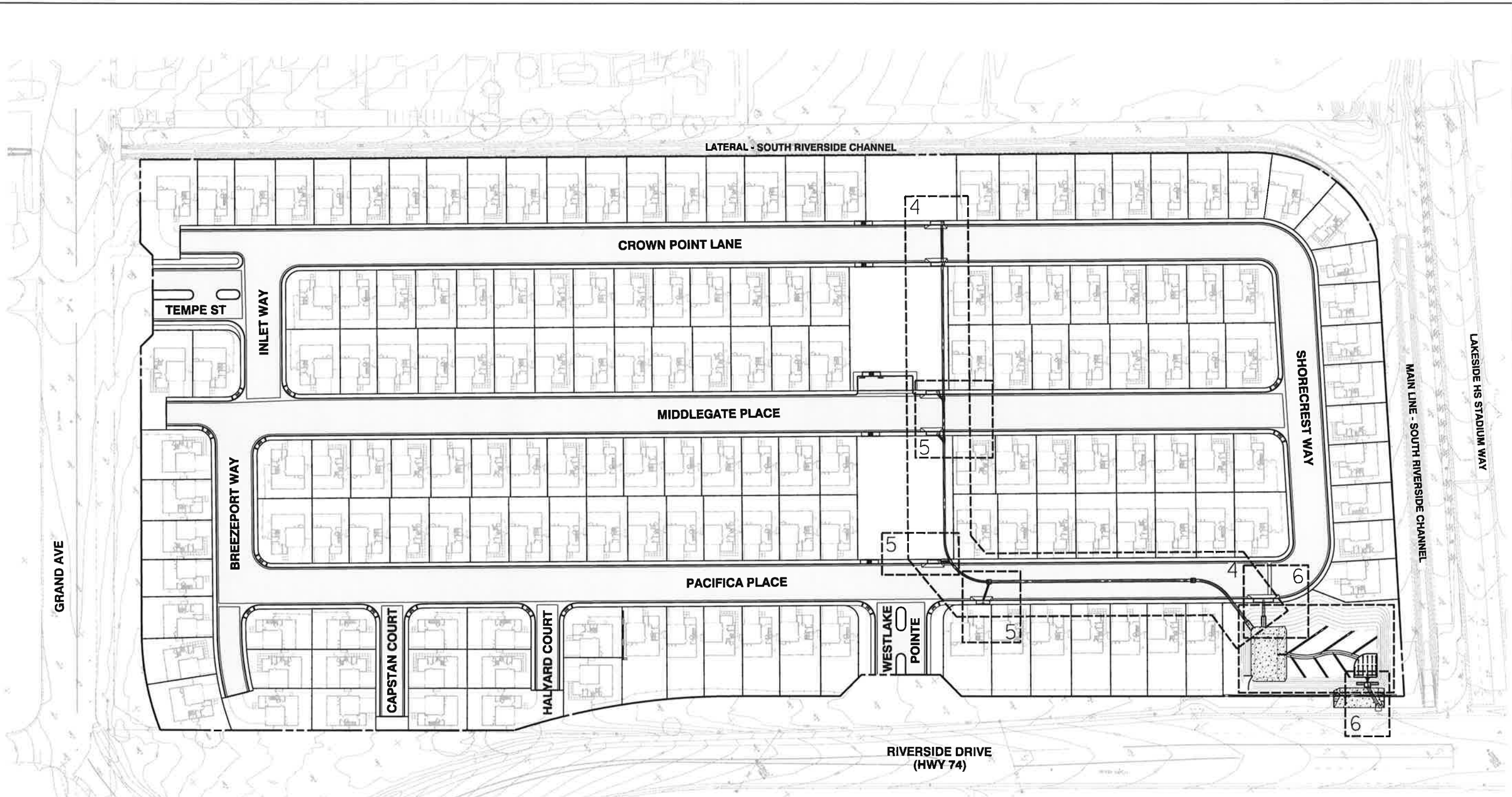
PLAN 1AR  
SPANISH COLONIAL  
LOT 81

PLAN 2CR  
CRAFTSMAN  
LOT 80

PLAN 3BR  
SANTA BARBARA  
LOT 79







GRAND AVE

GRAND AVE

LATERAL - SOUTH RIVERSIDE CHANNEL

CROWN POINT LANE

MIDDLEGATE PLACE

PACIFICA PLACE

RIVERSIDE DRIVE (HWY 74)

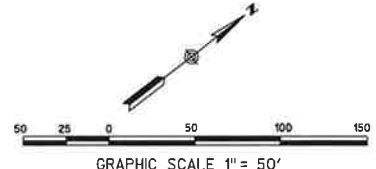
SHORECREST WAY

MAIN LINE - SOUTH RIVERSIDE CHANNEL

LAKE SIDE HS STADIUM WAY

**SHEET INDEX MAP**

4 THRU 6	STORM DRAIN PLAN & PROFILE
7	DETENTION BASIN



PRELIMINARY  
NOT FOR CONSTRUCTION

CA DOT BM 13-8-93 LOCATION WESTERLY CURB RIVERSIDE DRIVE OPPOSITE FIRE HYDRANT AND 365 FEET NORTHERLY OF JOY STREET.  
 04/18/2019 - 04/18/2019  
 15-JAN-2019 13:43  
 The Village of Lakeshore  
 33267 CIVIL SHEETS - SDN 18190 - sdb2.dgn  
 33267 CIVIL SHEETS - SDN 18190 - sdb2.dgn

**BENCH MARK:**  
 CA DOT BM 13-8-93 LOCATION WESTERLY CURB RIVERSIDE DRIVE OPPOSITE FIRE HYDRANT AND 365 FEET NORTHERLY OF JOY STREET.

**DIG ALERT**

CALL BEFORE YOU DIG  
 1-800-227-2600  
 UNDERGROUND SERVICE ALERT  
 Call at least 2 working days prior to excavating.

REVISIONS	APPRV	DATE

THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS, AND A PERMIT CAN BE ISSUED.

BRAD FAGRELL, RCE #43920  
 CITY ENGINEER

SEAL:

**RICK ENGINEERING COMPANY**

36 DISCOVERY - SUITE 240  
 IRVINE, CA 92618  
 949-588-0707

PREPARED UNDER THE DIRECTION OF:  
 BARRY J. COWAN, RCE #46568

CAUTION: LOCATION OF EXISTING UTILITIES ON THESE PLANS ARE APPROXIMATE AND SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

**UNAUTHORIZED CHANGES:**  
 CAUTION: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED CHANGES TO THESE PLANS. ALL CHANGES TO THESE PLANS MUST BE APPROVED BY THE PREPARER OF THESE PLANS AND THE CITY ENGINEER.

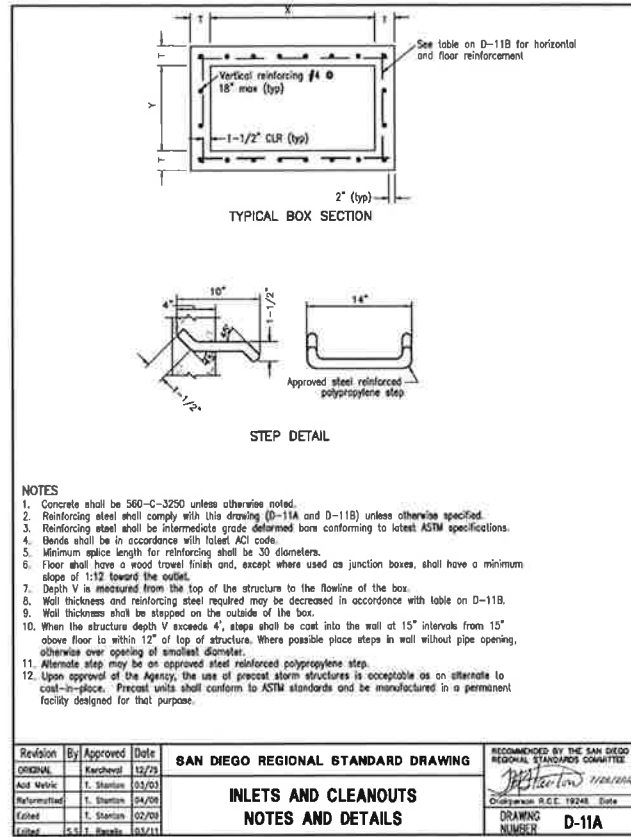
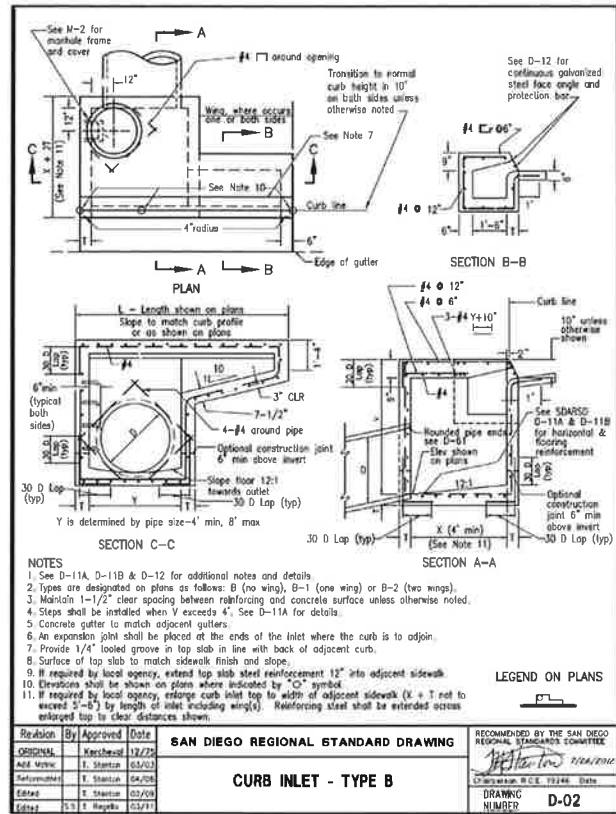
SCALE: SHEET SPECIFIC  
 DATE:

**CITY OF LAKE ELSINORE**

**STORM DRAIN PLANS FOR WESTLAKE - TM 33267**

**INDEX MAP**

SHEET 2 OF 7 SHEETS  
 FILE NO.



**BOX SECTION REINFORCEMENT (HORIZONTAL AND FLOOR)**

MAXIMUM SPAN X or Y	DEPTH V	THICKNESS T	HORIZONTAL AND FLOOR REINFORCEMENT SIZE AND SPACING
3' to 4'	4'	8"	#4 @ 18"
4'-1" to 7"			#4 @ 12"
7'-1" to 8"			#4 @ 8"
3' to 4'	4'-1" to 5'	8"	#4 @ 18"
4'-1" to 5"			#4 @ 12"
5'-1" to 6"			#4 @ 8"
6'-1" to 8"	8'-1" to 12'	8"	#4 @ 18"
3' to 4'			#4 @ 12"
4'-1" to 5"			#4 @ 8"
5'-1" to 6"	12'-1" to 16'	8"	#4 @ 18"
6'-1" to 7"			#4 @ 12"
7'-1" to 8"			#4 @ 8"
3' to 4'	18'-1" to 20'	8"	#4 @ 12"
4'-1" to 5"			#4 @ 12"
5'-1" to 6"			#4 @ 12"
6'-1" to 7"	20'-1" to 24'	10"	#4 @ 8"
7'-1" to 8"			#4 @ 6"
8'-1" to 9"			#4 @ 6"
3' to 4'	8"	8"	#4 @ 12"
4'-1" to 5"			#4 @ 12"
5'-1" to 6"			#4 @ 12"
6'-1" to 7"	10"	10"	#4 @ 8"
7'-1" to 8"			#4 @ 6"
8'-1" to 9"			#4 @ 6"
3' to 4'	12"	12"	#4 @ 12"
4'-1" to 5"			#4 @ 12"
5'-1" to 6"			#4 @ 12"

**LEGEND ON PLANS**

Revision	By	Approved	Date
ORIGINAL	Kerschbaum	12/75	
Add Metric	T. Stanton	03/03	
Reformatting	T. Stanton	04/06	
Edited	T. Stanton	02/09	
Edited	S.S. Reynolds	03/11	

**SAN DIEGO REGIONAL STANDARD DRAWING**

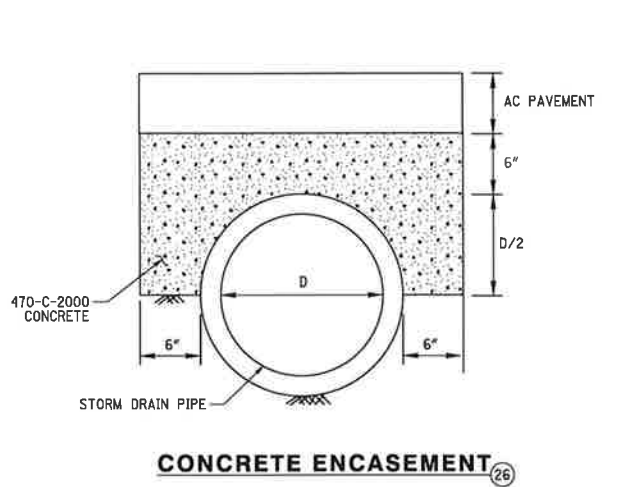
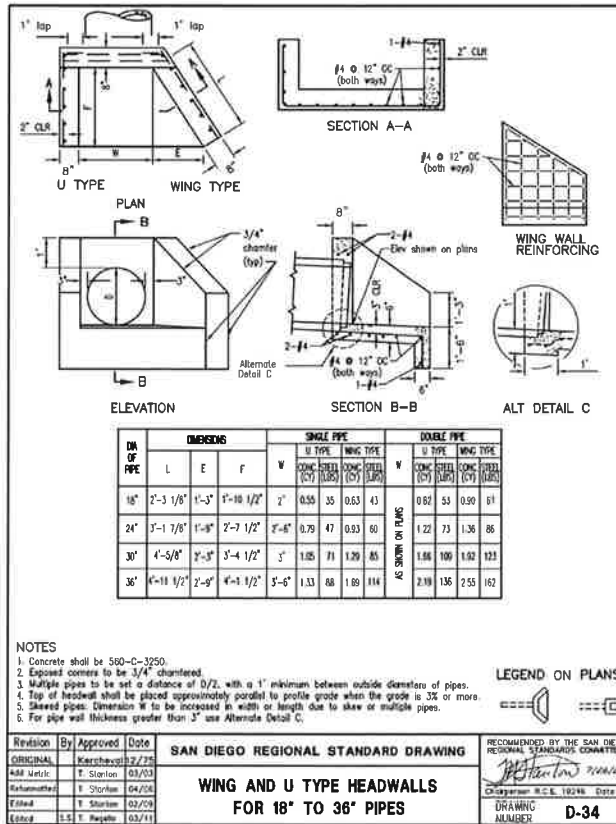
**INLETS AND CLEANOUTS**

**NOTES AND DETAILS**

RECOMMENDED BY THE SAN DIEGO REGIONAL STANDARD DRAWING COMMITTEE

Chairman: R.C.E. 1924B Date

DRAWING NUMBER: **D-11B**



**CONSTRUCTION NOTES**

- |    |   |        |
|----|---|--------|
| 16 | CONSTRUCT 18" RCP (D-LOAD PER PROFILE)  | 80 LF  |
| 17 | CONSTRUCT 24" RCP (D-LOAD PER PROFILE)  | 366 LF |
| 18 | CONSTRUCT 30" RCP (D-LOAD PER PROFILE)  | 308 LF |
| 19 | CONSTRUCT 36" RCP (D-LOAD PER PROFILE)  | 22 LF  |
| 20 | CONSTRUCT MANHOLE NO. 1 PER RCFC&WCD STD MH251  | 2 EA   |
| 21 | CONSTRUCT JUNCTION STRUCTURE NO. 2 PER RCFC&WCD STD JS227   | 4 EA   |
| 22 | CONSTRUCT CONCRETE COLLAR PER RCFC&WCD STD M803   | 1 EA   |
| 23 | CONSTRUCT CATCH BASIN NO. 1 PER RCFC&WCD STD CB100 (H AND W PER PLAN). INSTALL 3"x5 1/4" DAS MANUFACTURING INC. DURACAST STORM DRAIN MARKER MODEL "NDL (NO DUMPING) - DRAINS TO LAKE" ON ALL CATCH BASINS | 7 EA   |
| 24 | CONSTRUCT MODIFIED U TYPE HEADWALL PER SAN DIEGO REGIONAL STANDARD DRAWING NO D-34 AND AS MODIFIED LENGTH 'L' PER PLAN (SEE DETAIL SHEET 3)   | 2 EA   |
| 25 | CONSTRUCT WING TYPE HEADWALL PER SAN DIEGO REGIONAL STANDARD DRAWING NO D-34 (SEE DETAIL SHEET 3)   | 1 EA   |
| 26 | CONSTRUCT CONCRETE ENCASEMENT PER DETAIL SHEET 3  | 235 LF |
| 27 | CONSTRUCT CURB INLET TYPE 'B-2' PER SAN DIEGO REGIONAL STANDARD DRAWING NO D-02 (SEE DETAIL SHEET 3)  | 1 EA   |
| 28 | CONSTRUCT LOCAL DEPRESSION NO. 2 PER RCFC&WCD STANDARD DRAWING NO LD201 (CASE PER PLAN)   | 7 EA   |
| 29 | CONSTRUCT CONCRETE SPILLWAY PER DETAILS ON SHEET 7  | 1 EA   |
| 30 | CONSTRUCT PIPE SCREEN PER DETAIL SHEET 7  | 1 EA   |
| 31 | CONSTRUCT 2.0' X 2.0' X 1/4" GALVANIZED STEEL PLATE PER DETAIL SHEET 8  | 1 EA   |
| 32 | CONSTRUCT 6" PERFORATED PVC PIPE PER DETAIL SHEET 7 (HOLES POINT DOWN)  | 130 LF |

**QUANTITY ESTIMATE**

PRELIMINARY  
NOT FOR CONSTRUCTION

**CITY OF LAKE ELSINORE**

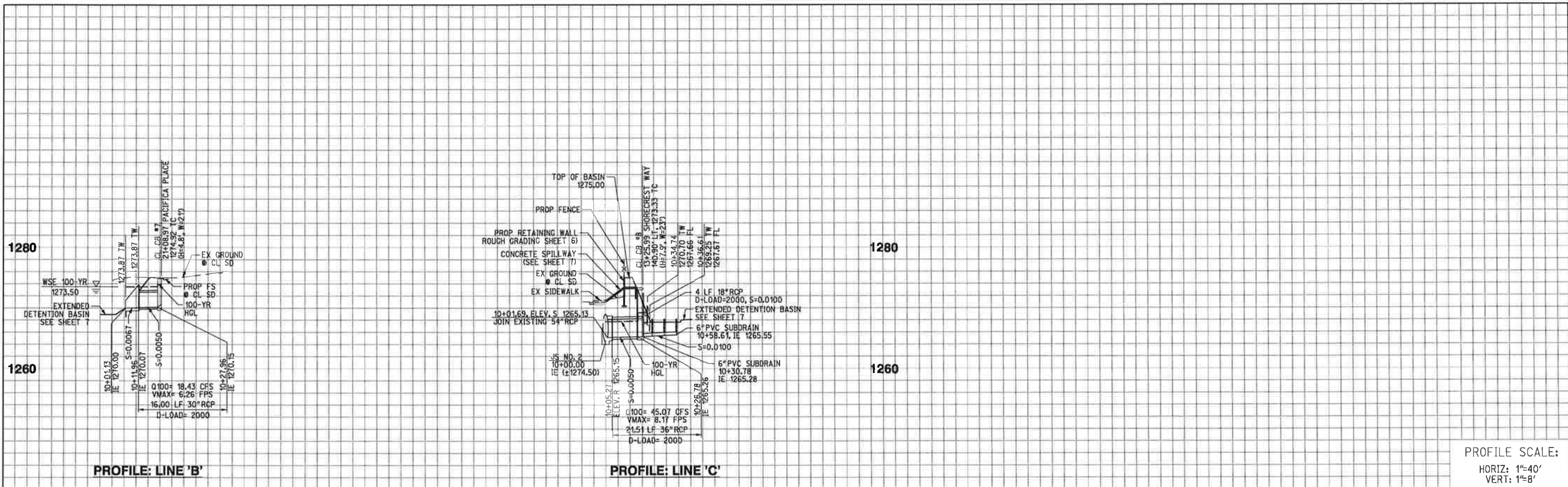
**STORM DRAIN PLANS FOR WESTLAKE - TM 33267**

**STORM DRAIN DETAILS**

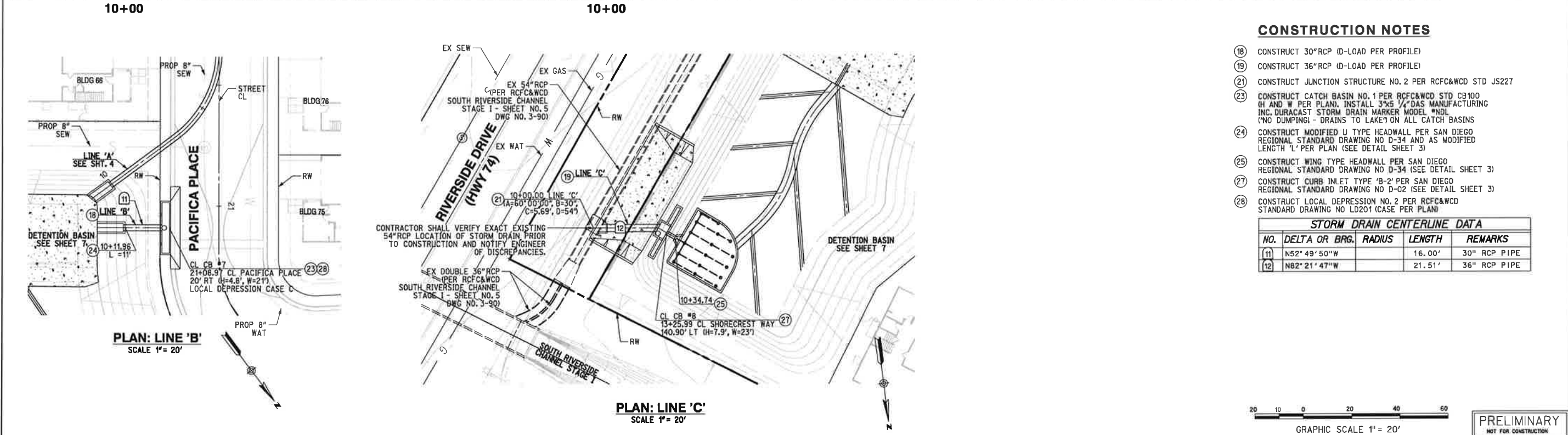
SHEET **3** OF **7** SHEETS  
FILE NO.







PROFILE SCALE:  
 HORIZ: 1"=40'  
 VERT: 1"=8'

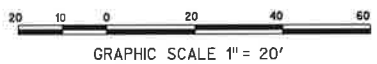


**CONSTRUCTION NOTES**

- (18) CONSTRUCT 30" RCP (D-LOAD PER PROFILE)
- (19) CONSTRUCT 36" RCP (D-LOAD PER PROFILE)
- (21) CONSTRUCT JUNCTION STRUCTURE NO. 2 PER RCFC&WCD STD JS227
- (23) CONSTRUCT CATCH BASIN NO. 1 PER RCFC&WCD STD CB100 (H AND W PER PLAN). INSTALL 3"x5 1/4" DAS MANUFACTURING INC. DURACAST STORM DRAIN MARKER MODEL #NDL ('NO DUMPING' - DRAINS TO LAKE) ON ALL CATCH BASINS
- (24) CONSTRUCT MODIFIED U TYPE HEADWALL PER SAN DIEGO REGIONAL STANDARD DRAWING NO D-34 AND AS MODIFIED LENGTH 'L' PER PLAN (SEE DETAIL SHEET 3)
- (25) CONSTRUCT WING TYPE HEADWALL PER SAN DIEGO REGIONAL STANDARD DRAWING NO D-34 (SEE DETAIL SHEET 3)
- (27) CONSTRUCT CURB INLET TYPE 'B-2' PER SAN DIEGO REGIONAL STANDARD DRAWING NO D-02 (SEE DETAIL SHEET 3)
- (28) CONSTRUCT LOCAL DEPRESSION NO. 2 PER RCFC&WCD STANDARD DRAWING NO LD201 (CASE PER PLAN)

**STORM DRAIN CENTERLINE DATA**

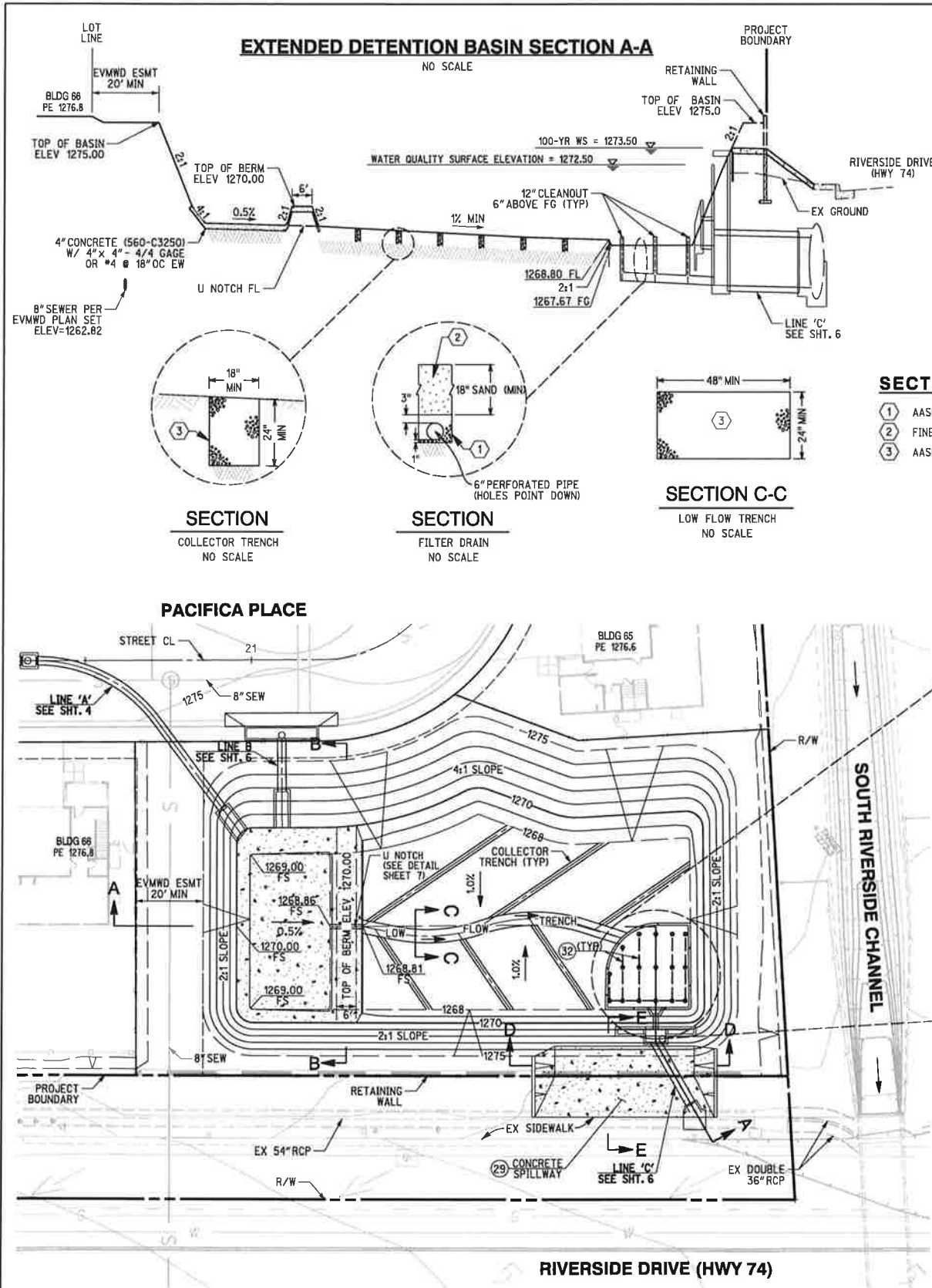
NO.	DELTA OR BRG.	RADIUS	LENGTH	REMARKS
(11)	N52° 49' 50" W		16.00'	30" RCP PIPE
(12)	N82° 21' 47" W		21.51'	36" RCP PIPE



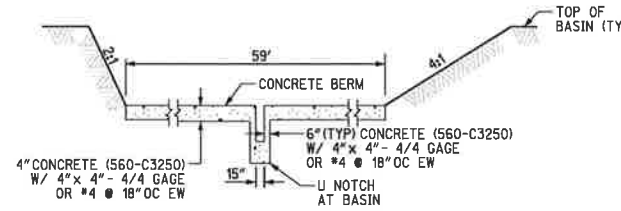
PRELIMINARY  
NOT FOR CONSTRUCTION

D:\18190-0 The Village of Lakeshore\18190-0\18190-0\18190-0.dwg  
 D:\18190-0 The Village of Lakeshore\18190-0\18190-0\18190-0.dwg  
 13-JAN-2019 13:14

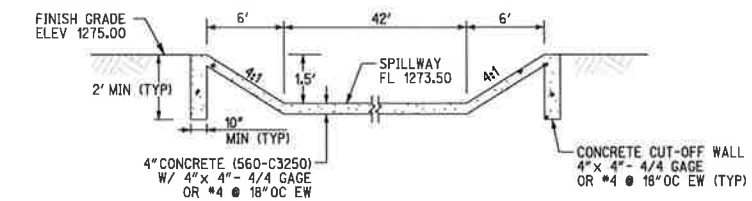
<p><b>BENCH MARK:</b>          CA DOT BM 13-B-93 LOCATION WESTERLY CURB RIVERSIDE DRIVE OPPOSITE FIRE HYDRANT AND 365 FEET NORTHERLY OF JOY STREET.</p>	<p style="text-align: center; font-size: 1.2em;"><b>DIG ALERT</b></p> <p style="text-align: center;">CALL BEFORE YOU DIG!</p> <p style="text-align: center;">1-800-227-2600          UNDERGROUND SERVICE ALERT          Call at least 2 working days prior to excavating.</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>REVISIONS</th> <th>APPRV</th> <th>DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	REVISIONS	APPRV	DATE										<p>THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS, AND A PERMIT CAN BE ISSUED.</p> <p>DESIGNED BY: _____ DRAWN BY: _____ CHECKED BY: _____</p> <p>BRAD FAGRELL, RCE #43920          CITY ENGINEER</p>	<p>SEAL:</p> <div style="border: 1px solid black; border-radius: 50%; padding: 5px; text-align: center;">             REGISTERED PROFESSIONAL ENGINEER              BARRY J. COWAN              No. 46568              CIVIL              STATE OF CALIFORNIA           </div>	<p><b>RICK ENGINEERING COMPANY</b></p> <p>36 DISCOVERY - SUITE 240          IRVINE, CA 92618          949-588-0707</p> <p>Prepared under the direction of:          BARRY J. COWAN, RCE #C46568</p>	<p>CAUTION: LOCATION OF EXISTING UTILITIES ON THESE PLANS ARE APPROXIMATE AND SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.</p> <p><b>UNAUTHORIZED CHANGES:</b>          CAUTION: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED CHANGES TO THESE PLANS. ALL CHANGES TO THESE PLANS MUST BE APPROVED BY THE PREPARER OF THESE PLANS AND THE CITY ENGINEER.</p> <p>SCALE: SHEET SPECIFIC          DATE: _____</p>	<p><b>CITY OF LAKE ELSINORE</b></p> <p><b>STORM DRAIN IMPROVEMENT PLANS FOR WESTLAKE</b></p> <p>LINE 'B', 'C'</p> <p><b>PLAN &amp; PROFILE</b></p>	<p>SHEET <b>6</b> OF <b>7</b> SHEETS          FILE NO. _____</p>
REVISIONS	APPRV	DATE																		



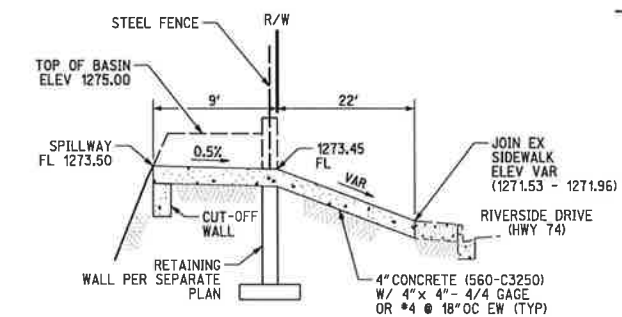
**EXTENDED DETENTION BASIN SECTION A-A**  
NO SCALE



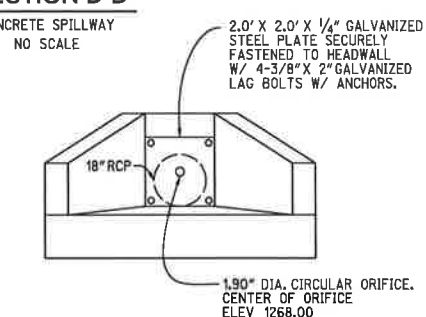
**SECTION B-B**  
NO SCALE



**SECTION D-D**  
CONCRETE SPILLWAY  
NO SCALE

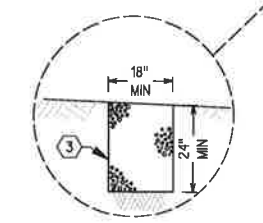


**SECTION E-E**  
CONCRETE SPILLWAY  
NO SCALE

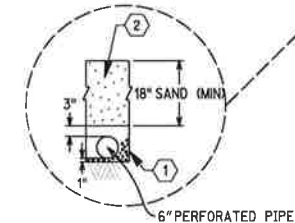


**GALVANIZED STEEL PLATE DETAIL (31)**  
(FRONT VIEW)  
NO SCALE

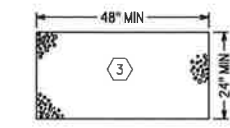
- SECTION NOTES**
- (1) AASHTO NO. 57 OR 67 COARSE AGGREGATE LAYER
  - (2) FINE AGGREGATE PER ASTM C-33.
  - (3) AASHTO NO. 2 GRAVEL LAYER



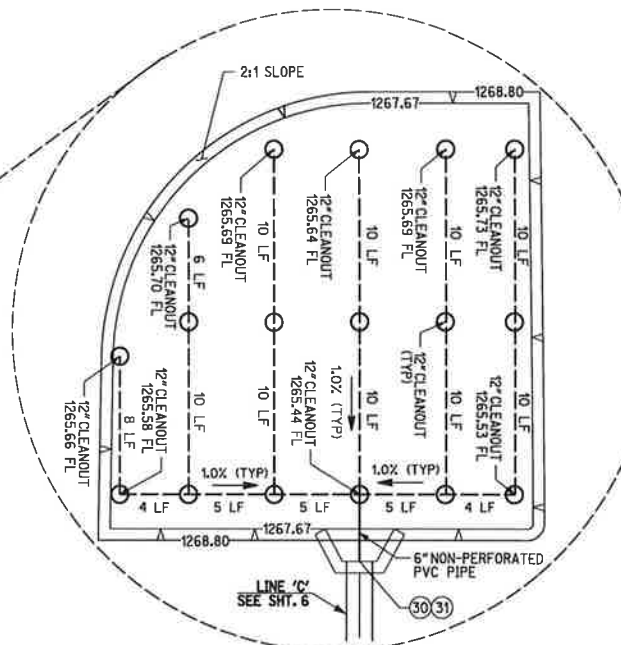
**SECTION**  
COLLECTOR TRENCH  
NO SCALE



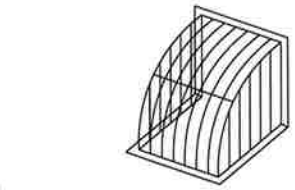
**SECTION**  
FILTER DRAIN  
NO SCALE



**SECTION C-C**  
LOW FLOW TRENCH  
NO SCALE



**6" PVC PERFORATED PIPE SUBDRAIN (HOLES POINT DOWN) (32)**  
NO SCALE

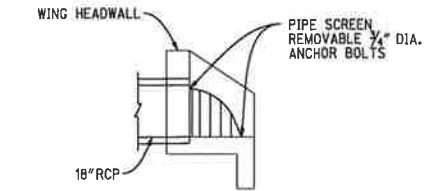


CAST IRON PIPE SCREEN FOR LOW-FLOW OUTLET, DEBRIS RACK TO BE MOUNTED TO HEADWALL AND APRON

CAST IRON PIPE SCREEN FOR LOW FLOW OUTLETS			
WIDTH	HEIGHT	LENGTH	OPENING
18"	13"	18"	1"

• SIX 3/4" HOLES FOR ANCHOR BOLTS

**PIPE SCREEN**  
**NEENAH R-7512-B1 OR EQUAL (30)**  
NO SCALE



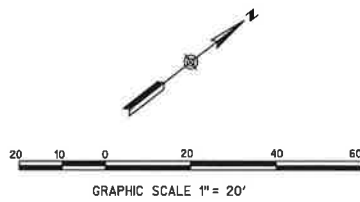
**WING HEADWALL**  
(SIDE VIEW)  
NO SCALE

**LEGEND:**

- PORTLAND CEMENT CONCRETE (PCC)
- 6" PERFORATED PVC PIPE (HOLES POINT DOWN)

**CONSTRUCTION NOTES**

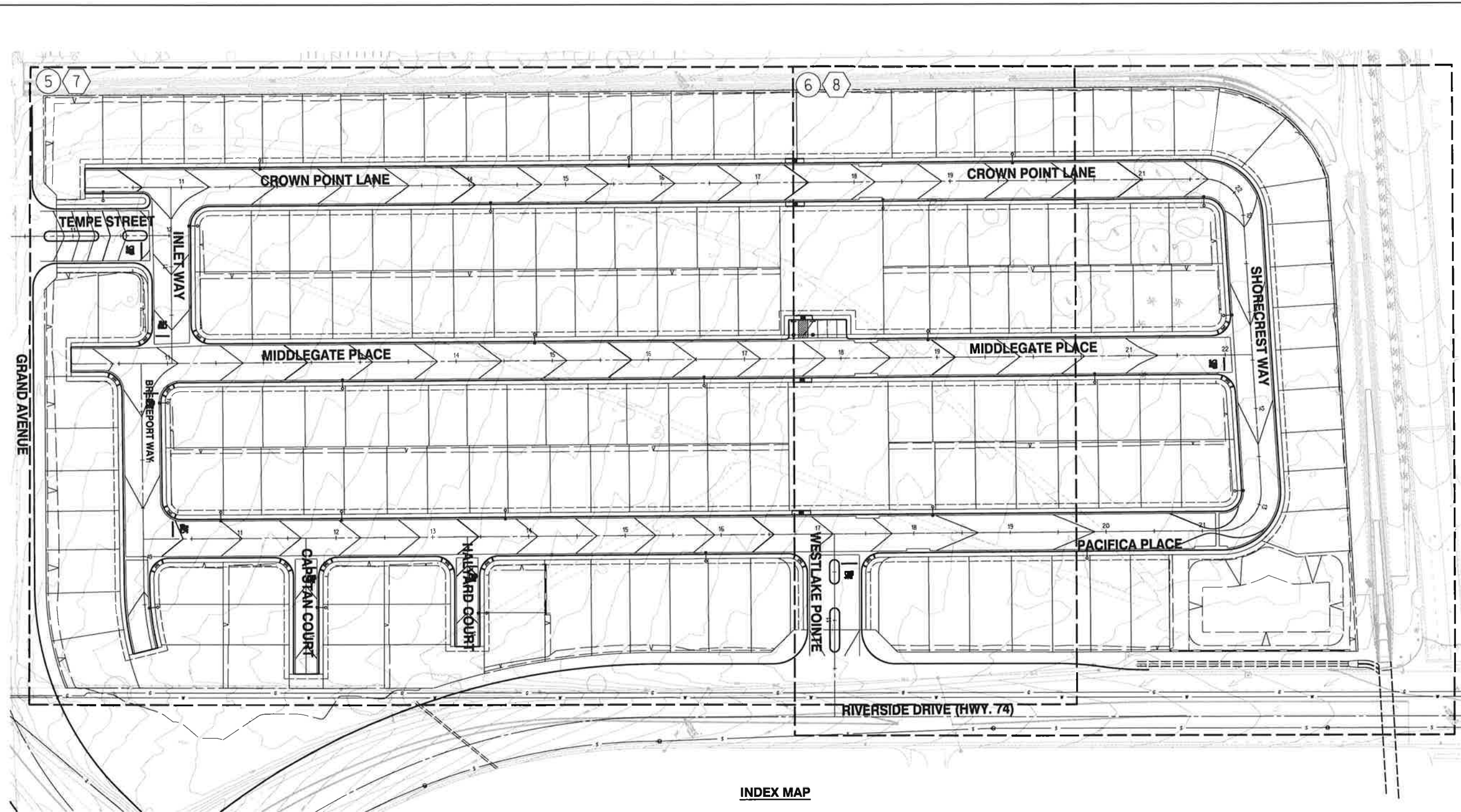
- (29) CONSTRUCT CONCRETE SPILLWAY PER DETAILS ON SHEET 7
- (30) CONSTRUCT PIPE SCREEN PER DETAIL SHEET 7
- (31) CONSTRUCT 2.0' X 2.0' X 1/4" GALVANIZED STEEL PLATE PER DETAIL SHEET 7
- (32) CONSTRUCT 6" PERFORATED PVC PIPE PER DETAIL SHEET 7



01/18/19-0 The Village of LakeShore TM 32267 CIVIL SHEETS SDN 18190.dwg  
 15-JAN-2019 13:44 TM 32267 CIVIL SHEETS SDN 18190.dwg 2005.dscr.rpt

<p><b>BENCH MARK:</b> CA DOT BM 13-B-93 LOCATION WESTERLY CURB RIVERSIDE DRIVE OPPOSITE FIRE HYDRANT AND 365 FEET NORTHERLY OF JOY STREET.</p>	<p><b>DIG ALERT</b></p> <p>CALL BEFORE YOU DIG!</p> <p>1-800-227-2600 UNDERGROUND SERVICE ALERT Call at least 2 working days prior to excavating.</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>REVISIONS</th> <th>APPRV</th> <th>DATE</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	REVISIONS	APPRV	DATE				<p>THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS, AND A PERMIT CAN BE ISSUED.</p> <p>BRAD FAGRELL, RCE #43920 CITY ENGINEER</p>	<p>SEAL:</p>	<p><b>RICK ENGINEERING COMPANY</b></p> <p>36 DISCOVERY - SUITE 240 IRVINE, CA 92618 949-588-0707</p> <p>PREPARED UNDER THE DIRECTION OF: BARRY J. COWAN, RCE #C46568</p>	<p>CAUTION: LOCATION OF EXISTING UTILITIES ON THESE PLANS ARE APPROXIMATE AND SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.</p> <p><b>UNAUTHORIZED CHANGES:</b> CAUTION: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED CHANGES TO THESE PLANS. ALL CHANGES TO THESE PLANS MUST BE APPROVED BY THE PREPARER OF THESE PLANS AND THE CITY ENGINEER.</p> <p>SCALE: SHEET SPECIFIC DATE: _____</p>	<p><b>CITY OF LAKE ELSINORE</b></p> <p><b>STORM DRAIN PLANS FOR WESTLAKE - TM 33267</b></p> <p><b>DETENTION BASIN DETAIL</b></p>	<p>PRELIMINARY NOT FOR CONSTRUCTION</p> <p>SHEET <b>7</b> OF <b>7</b> SHEETS FILE NO. _____</p>
REVISIONS	APPRV	DATE												





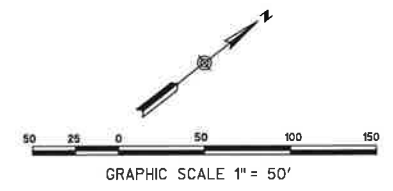
**INDEX MAP**

**INDEX MAP LEGEND**

- PROPERTY BOUNDARY \_\_\_\_\_
- ROUGH GRADING SHEET NUMBER \_\_\_\_\_ #
- EROSION CONTROL SHEET NUMBER \_\_\_\_\_ #

**SHEET INDEX MAP**

- 5 THRU 6 ROUGH GRADING
- 7 THRU 8 EROSION CONTROL



PRELIMINARY  
NOT FOR CONSTRUCTION

0:\18190-0 The Village of Lakeshore\18190-0\18190-0\18190-0.dgn  
 0:\18190-0 The Village of Lakeshore\18190-0\18190-0\18190-0.dgn  
 14-JAN-2019 11:42 AM  
 TM 3326T.CIVIL\Sheets\_RoughGrading\18190-0.dgn  
 TM 3326T.CIVIL\Sheets\_RoughGrading\18190-0.dgn

**BENCH MARK:**  
 CA DOT BM 13-B-93 LOCATION WESTERLY CURB RIVERSIDE DRIVE OPPOSITE FIRE HYDRANT AND 365 FEET NORTHERLY OF JOY STREET.

**DIG ALERT**

CALL BEFORE YOU DIG!

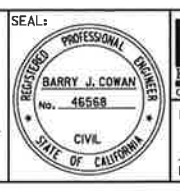
1-800-227-2600  
 UNDERGROUND SERVICE ALERT  
 Call at least 2 working days prior to excavating.

REVISIONS	APPRV	DATE

THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS, AND A PERMIT CAN BE ISSUED.

BRAD FAGRELL, RCE #43920  
 CITY ENGINEER

DESIGNED BY: \_\_\_\_\_ DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_



**RICK ENGINEERING COMPANY**

36 DISCOVERY - SUITE 240  
 IRVINE, CA 92618  
 949-588-0707

PREPARED UNDER THE DIRECTION OF:  
 BARRY J. COWAN, RCE #46568

DATE: \_\_\_\_\_

CAUTION: LOCATION OF EXISTING UTILITIES ON THESE PLANS ARE APPROXIMATE AND SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

**UNAUTHORIZED CHANGES:**  
 CAUTION: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED CHANGES TO THESE PLANS. ALL CHANGES TO THESE PLANS MUST BE APPROVED BY THE PREPARER OF THESE PLANS AND THE CITY ENGINEER.

SCALE: SHEET SPECIFIC  
 DATE: \_\_\_\_\_

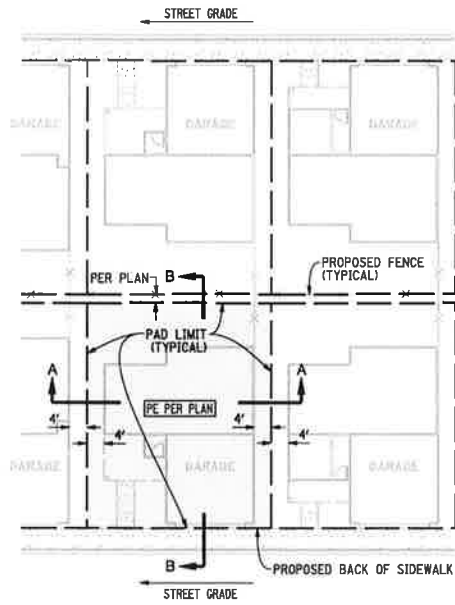
**CITY OF LAKE ELSINORE**

**ROUGH GRADING PLANS FOR WESTLAKE - TM 33267**

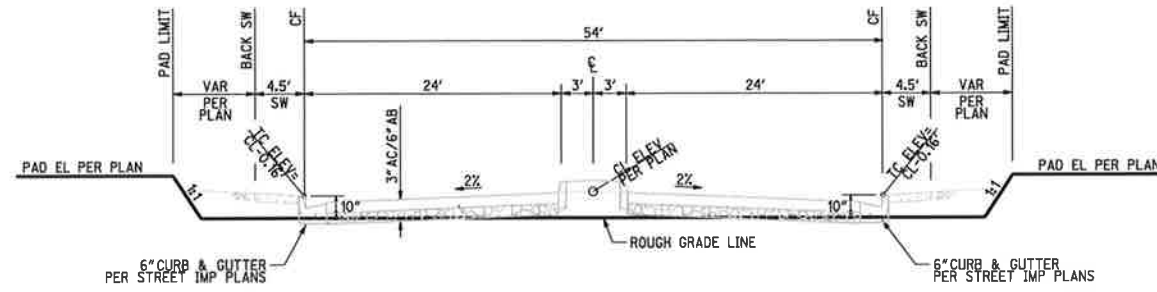
**INDEX MAP**

SHEET 2 OF 8 SHEETS  
 FILE NO. \_\_\_\_\_



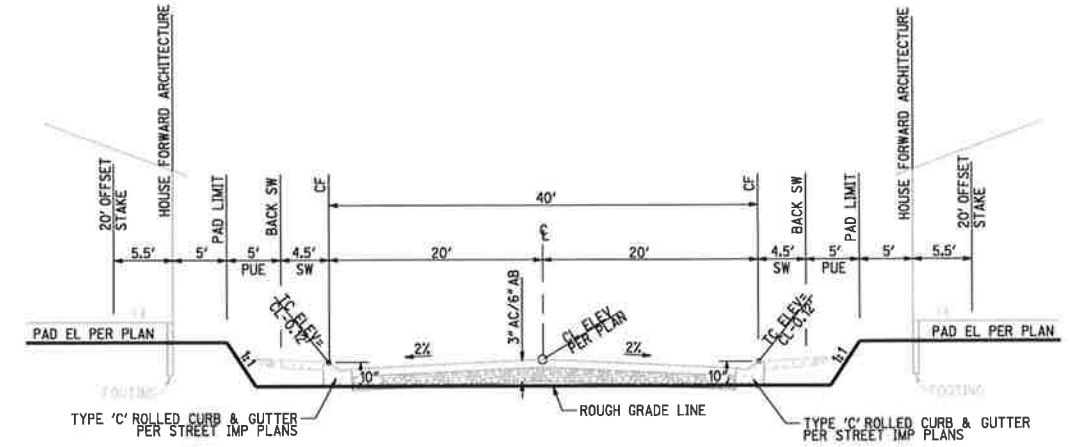


**TYPICAL LOT GRADING**



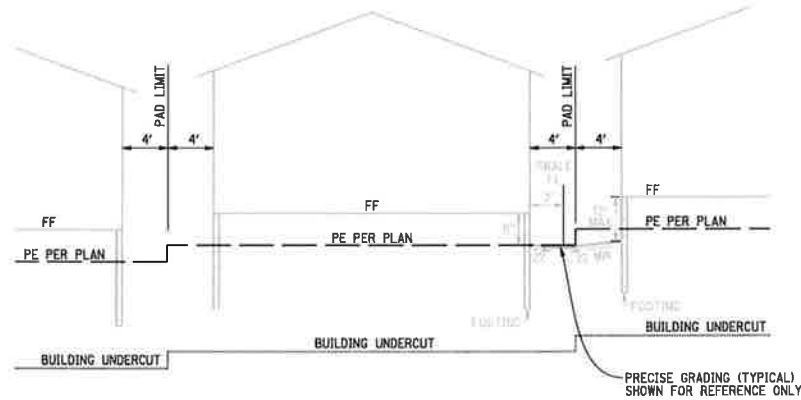
**TYPICAL PRIVATE DRIVEWAY (54' CURB TO CURB)**

NOTE: STREETS WILL BE PRIVATELY MAINTAINED.

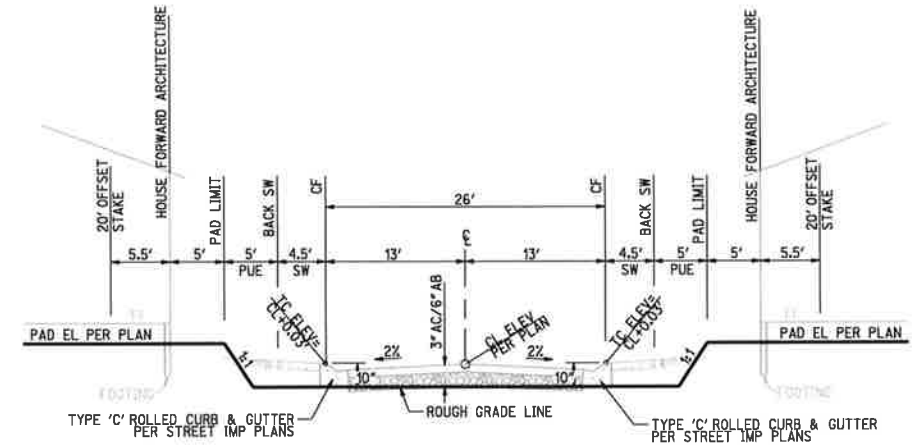


**TYPICAL PRIVATE DRIVEWAY (40' CURB TO CURB)**

NOTE: STREETS WILL BE PRIVATELY MAINTAINED.

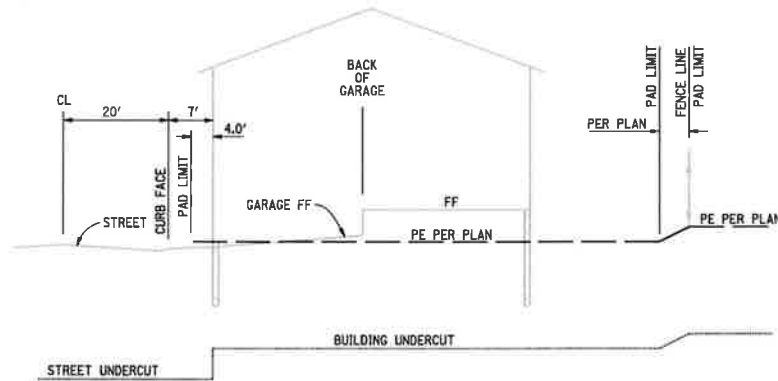


**SECTION A-A**



**TYPICAL PRIVATE DRIVEWAY (26' CURB TO CURB)**

NOTE: STREETS WILL BE PRIVATELY MAINTAINED.



**SECTION B-B**

PRELIMINARY  
NOT FOR CONSTRUCTION

0:\18190-0 The Village of Lakeshore\...  
 0:\18190-0 The Village of Lakeshore\...  
 0:\18190-0 The Village of Lakeshore\...

**BENCH MARK:**  
 CA DOT BM 13-B-93 LOCATION WESTERLY CURB RIVERSIDE DRIVE OPPOSITE FIRE WDRANT AND 365 FEET NORTHERLY OF JOY STREET.

**DIG ALERT**



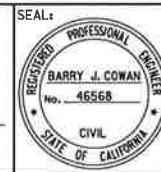
CALL BEFORE YOU DIG!

1-800-227-2600  
 UNDERGROUND SERVICE ALERT  
 Call at least 2 working days prior to excavating.

REVISIONS	APPRV	DATE
DESIGNED BY:	DRAWN BY:	CHECKED BY:

THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS, AND A PERMIT CAN BE ISSUED.

BRAD FAGRELL, RCE #43920  
 CITY ENGINEER



**RICK**  
 ENGINEERING COMPANY

36 DISCOVERY - SUITE 240  
 IRVINE, CA 92618  
 949-586-0707

J-18190

CAUTION: LOCATION OF EXISTING UTILITIES ON THESE PLANS ARE APPROXIMATE AND SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

**UNAUTHORIZED CHANGES:**  
 CAUTION: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED CHANGES TO THESE PLANS. ALL CHANGES TO THESE PLANS MUST BE APPROVED BY THE PREPARER OF THESE PLANS AND THE CITY ENGINEER.

SCALE: SHEET SPECIFIC  
 DATE: \_\_\_\_\_

**CITY OF LAKE ELSINORE**

**ROUGH GRADING PLANS FOR WESTLAKE - TM 33267**

**ROUGH GRADING DETAILS**

SHEET  
**3**  
 OF  
**8**  
 SHEETS  
 FILE NO.

**EROSION CONTROL NOTES**

ALL EROSION CONTROL PLANS SHALL BE IN ACCORDANCE WITH CITY OF LAKE ELSINORE ORDINANCE NOS. 1237, 772, 529, 1004, CONSTRUCTION SITE BEST MANAGEMENT PRACTICES (BMP'S) AND STANDARDS OUTLINED WITHIN THE LAKE ELSINORE DESIGN MANUAL. NO GRADING PERMIT SHALL BE ISSUED WITHOUT AN EROSION CONTROL PLAN APPROVED BY THE CITY ENGINEER. THE EROSION CONTROL PLAN SHALL INCLUDE DETAILS OF PROTECTIVE MEASURES, INCLUDING DESILTING BASINS OR OTHER TEMPORARY DRAINAGE OR CONTROL MEASURES, OR BOTH, AS MAY BE NECESSARY TO PROTECT THE WATER QUALITY OF RECEIVING WATER BODIES OR TO PROTECT ADJOINING PUBLIC AND PRIVATE PROPERTY FROM DAMAGE FROM EROSION, FLOODING OR THE DEPOSITION OF MUD OR DEBRIS WHICH MAY ORIGINATE FROM THE SITE OR RESULT FROM SUCH GRADING OPERATIONS.

- ALL EROSION CONTROL PLANS SHALL BE IN ACCORDANCE WITH CITY OF LAKE ELSINORE ORDINANCE NOS. 529, 772, 1237, 1004, CONSTRUCTION SITE BEST MANAGEMENT PRACTICES (BMP'S), AND STANDARDS OUTLINED WITHIN THE LAKE ELSINORE DESIGN MANUAL.
- THE DEVELOPER/CONTRACTOR IS RESPONSIBLE FOR ANY DISCHARGES BY SUBCONTRACTORS.
- IN CASE OF EMERGENCY, CALL ROBERT SKANDS (RESPONSIBLE PERSON) AT (951) 545-9858 (24-HOUR PHONE NUMBER).
- DEVICES TO REDUCE EROSION DAMAGE SHALL NOT BE PLACED MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE DIRECTOR OF PUBLIC WORKS OR, IN AN EMERGENCY, BY THE PERSON RESPONSIBLE FOR GRADING OPERATIONS.
- AREAS THAT ARE CLEARED AND GRADED SHALL BE LIMITED TO ONLY THE PORTION OF THE SITE THAT IS NECESSARY FOR CONSTRUCTION. THE CONSTRUCTION SITE SHALL BE MANAGED TO MINIMIZE THE EXPOSURE TIME OF DISTURBED SOIL AREAS THROUGH PHASING AND SCHEDULING OF GRADING AND THE USE OF TEMPORARY AND PERMANENT SOIL STABILIZATION.
- ONCE DISTURBED, GRADED SLOPES EXCEEDING A 3:1 RATIO AND/OR TEN (10) FEET IN HEIGHT (TEMPORARY OR PERMANENT) SHALL BE STABILIZED IF THEY WILL NOT BE WORKED WITHIN 7 DAYS. DURING THE STORM SEASON, ALL SLOPES SHALL BE STABILIZED 24 HOURS PRIOR TO A PREDICTED STORM EVENT. CONSTRUCTION SITES SHALL BE REVEGETATED AS EARLY AS FEASIBLE AFTER SOIL DISTURBANCE AND WITHIN 7-DAYS OF COMPLETION.
- FILL SLOPES AT THE TRACT PERIMETER MUST DRAIN AWAY FROM THE TOP OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
- THE CONTRACTOR SHALL BE RESPONSIBLE AND HAVE SIGNS POSTED ON THE SITE TO WARN AGAINST PUBLIC TRESPASS INTO AREAS WHERE WATER IS IMPOUNDED.
- DUST SHALL BE CONTROLLED BY WATERING OR OTHER METHODS APPROVED BY THE CITY ENGINEER.
- PLACEMENT OF DEVICES TO REDUCE EROSION DAMAGE WITHIN THE DEVELOPMENT SHALL BE SHOWN ON THE APPROVED PLAN.
- DESILTING FACILITIES AT ALL DRAINAGE INLETS FOR THE GRADED SITE SHALL BE DESIGNED FOR A TWENTY-FIVE (25) YEAR, SIX (6) HOUR STORM INTENSITY. THEY MUST BE DETAILED ON THE PLANS. DESIGN AND SPECIFIC RECOMMENDATIONS SHALL BE SUBMITTED FOR THE FOLLOWING:

- DESILTING BASIN VOLUME BASED ON GRADIENT AND NATURE OF SOILS.
- THE EXTENT OF ALL GRADED AREAS AND IDENTIFICATION OF ANY TEMPORARY SOIL STABILIZATION MEASURES.
- SIZE OF DESILTING BASIN OUTLET PIPE AND OVERFLOW.
- DIKE REQUIREMENTS. SHOW MINIMUM WALL WIDTH, SLOPE OF WALLS, PERCENT COMPACTION, ETC.
- OUTLET CONDITIONS FROM THE DESILTING BASIN SHALL NOT EXCEED DOWNSTREAM LIMITATIONS, WITH THE EXCEPTION OF OVERFLOW, WHICH IS TO BE DESIGNED TO PROVIDE CAPACITY OF 1.5 TIMES THE MAXIMUM DESIGN FLOW.

- NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES OR TO REPAIR ANY DAMAGED EROSION CONTROL MEASURES WHEN A 50% CHANCE OR GREATER OF RAIN WITHIN A 48 HOUR PERIOD IS FORECAST FOR LAKE ELSINORE BY THE NATIONAL OCEANIC AND ATMOSPHERIC AGENCY (NOAA).
- BMP'S SHALL BE MAINTAINED AND INSPECTED DAILY. ALL REMOVABLE PROTECTIVE EROSION CONTROL DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FIVE (5) DAY RAIN PROBABILITY FORECAST EXCEEDS FIFTY PERCENT (50%).
- AFTER A RAINSTORM, ALL PROJECT GENERATED SILT AND DEBRIS SHALL BE REMOVED FROM CHECK BERMS, ONSITE PUBLIC DRAINS AND PIPES, DRAINS AND PIPES OF ADJACENT PROPERTIES AND DESILTING BASINS AND THE BASINS PUMPED DRY. ANY GRADED SLOPE BMP'S DAMAGED DURING A RAINSTORM SHALL ALSO BE IMMEDIATELY REPAIRED. FAILURE TO PROVIDE EFFECTIVE MAINTENANCE MAY RESULT IN PENALTIES.
- DISCHARGING OF CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED.
- CONSTRUCTION ACCESS POINTS SHALL BE STABILIZED WITH A COMBINATION OF ROCK AND SHAKER PLATES YEAR-ROUND TO PREVENT TRACK-OUT. ROUTINE STREET SWEEPING SHALL BE PERFORMED ON ALL PAVED STREETS WHERE TRACKING IS OBSERVED. VACUUM SWEEPERS SHALL BE USED WHEN STREET SWEEPING BECOMES INEFFECTIVE.

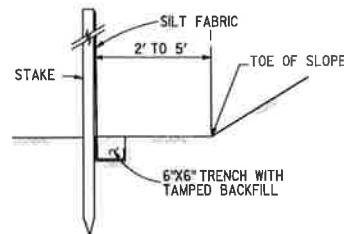
**NPDES / STORM WATER POLLUTION NOTES**

- THE DEVELOPER AND HIS CONTRACTOR ARE RESPONSIBLE FOR IMPLEMENTATION AND MAINTENANCE OF THE SWPPP-APPROVED, PRE-QUALIFIED BMP'S FROM THE CALIFORNIA STORM WATER QUALITY ASSOCIATION (CASQA) HANDBOOK / WEBSITE FOR CONSTRUCTION TO RETAIN SEDIMENTS FROM AREAS DISTURBED ON-SITE TO THE MAXIMUM EXTENT PRACTICABLE. THE EROSION CONTROL MEASURES INCLUDE THOSE SHOWN ON THIS PLAN AND APPLICABLE SWPPP AS WELL AS ANY ADDITIONAL EROSION CONTROL MEASURES (E.G., HYDROSEEDING, MULCHING OF STRAW, GRAVEL-BAGGING, DIVERSION DITCHES, RETENTION BASINS, ETC.) DICTATED BY FIELD CONDITIONS TO PREVENT EROSION AND/OR THE INTRODUCTION OF DIRT, MUD OR DEBRIS INTO EXISTING PUBLIC STREETS AND/OR ONTO ADJACENT PROPERTIES DURING ANY PHASE OF CONSTRUCTION OPERATIONS.
- STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE KEPT ON-SITE AND MADE AVAILABLE UPON REQUEST OF A REPRESENTATIVE OF THE REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) - SANTA ANA REGION AND/OR THE CITY OF LAKE ELSINORE.
- CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORM WATER (NON-STORM WATER) ARE PROHIBITED EXCEPT AS AUTHORIZED BY AN INDIVIDUAL NPDES PERMIT UNDER THE STATEWIDE GENERAL PERMIT - CONSTRUCTION ACTIVITY.
- POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, SOLVENTS, DETERGENTS, GLUES, LIME, PESTICIDES, HERBICIDES, FERTILIZERS, WOOD PRESERVATIVES, AND ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; CONCRETE AND RELATED CUTTING OR CURING RESIDUES; FLOATABLE WASTES; WASTES FROM ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; WASTES FROM STREET CLEANING; AND SUPER-CHLORINATED POTABLE WATER FROM LINE FLUSHING AND TESTING. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON-SITE PHYSICALLY SEPARATED FROM POTENTIAL STORM WATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
- RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITE AND MUST NOT BE DISCHARGED TO RECEIVING WATERS OR THE LOCAL STORM DRAIN SYSTEM.
- APPROPRIATE BMPs FOR CONSTRUCTION-RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED TO ELIMINATE OR REDUCE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR RUNOFF.
- MATERIAL STORAGE AND STAGING AREAS SHALL BE ESTABLISHED. FUEL TANK, PORTABLE TOILETS, LIQUIDS, GELS AND POWDERS SHALL HAVE SECONDARY CONTAINMENT AND BE STORED AWAY FROM ALL PRIVATE / PUBLIC STORM WATER CONVEYANCE SYSTEMS, SIDEWALKS, RIGHTS-OF-WAYS AND FLOW-LINES.
- ALL PORTABLE MIXERS SHALL HAVE PLASTIC LINERS UNDERNEATH WITH GRAVEL BAGS PLACES ON THE DOWN-HILL SIDE OF THE LINERS TO CONTAIN DISCHARGES.
- CONTROLLED STREET WASHING WILL ONLY BE ALLOWED PRIOR TO THE APPLICATION OF ASPHALT SEAL COATS AND ONLY WHEN ALL PERTINENT DRAINAGE INLETS ARE PROTECTED.
- ALL CONSTRUCTION CONTACTORS AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OF THE REQUIRED BMPs AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
- DISCHARGING CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING GROUNDWATER THAT HAS INFILTRATED INTO THE CONSTRUCTION SITE IS PROHIBITED. DISCHARGING NON-CONTAMINATED GROUNDWATER PRODUCED BY DEWATERING ACTIVITIES MAY REQUIRE A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FROM THE REGIONAL WATER QUALITY CONTROL BOARD.
- STORM WATER RUNOFF SHALL NOT BE DIRECTED OVER ANY SLOPES WITHOUT PERMANENT DOWN DRAINS INSTALLED. EROSION AND SEDIMENT CONTROLS INCLUDING MAINTENANCE ARE REQUIRED ON ALL EXPOSED SLOPES UNTIL SUFFICIENT PERMANENT LANDSCAPING HAS BEEN ESTABLISHED. 100% SLOPE PROTECTION MUST BE IN PLACE PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.
- VEGETATION CLEARING AND BRUSHING ACTIVITIES SHALL NOT BE INITIATED DURING THE WET SEASON ON ANY SITES WHICH ARE NOT ADEQUATELY PROTECTED WITH DESILTING BASINS OR OTHER TEMPORARY DRAINAGE OR CONTROL MEASURES.
- STOCKPILES OF SOIL SHALL BE PROPERLY SECURED WITH BMP'S TO ELIMINATE OR REDUCE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND. STOCKPILES INACTIVE FOR A PERIOD OF 14 DAYS OR MORE SHALL BE COVERED; ACTIVE STOCKPILES SHALL BE COVERED PRIOR TO A FORECASTED RAIN.
- SPECIAL ATTENTION SHALL BE GIVEN TO PREPARATION AND INSTALLATION OF THE RAIN EVENT ACTION PLAN (REAP) AS REQUIRED BASED ON SITE RISK LEVEL OR AS MANDATED BY THE SANTA ANA REGIONAL BOARD NPDES PERMIT, GENERAL PERMIT - CONSTRUCTION ACTIVITIES.
- AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY, ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED OF IN TRASH OR RECYCLE BINS.

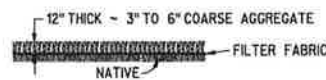
17. THIS SITE HAS OBTAINED A NATIONAL POLLUTION PREVENTION ELIMINATION SYSTEM (NPDES) PERMIT TO REGULATE MUNICIPAL AND INDUSTRIAL STORM WATER DISCHARGES.  
 NPDES WQID # \_\_\_\_\_ DATE WQID ISSUED: \_\_\_\_\_

18. THE UNDERSIGNED CIVIL ENGINEER, A QUALIFIED OSP AND/OR OSD WILL REVIEW PLACEMENT OF EROSION CONTROL AND INSURE THAT WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.

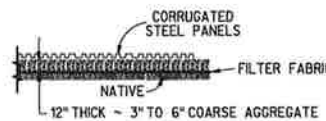
\_\_\_\_\_  
 (SIGNATURE) (LICENSE NO.) (EXP) (DATE)



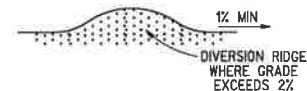
**TYPICAL SECTION SILT FENCE (CASQA SE-1)**  
NO SCALE



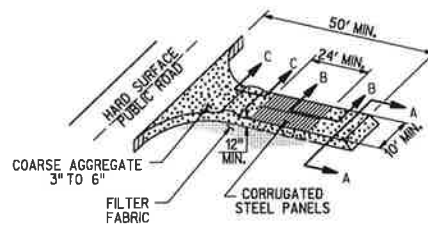
**SECTION A-A**  
NO SCALE



**SECTION B-B**  
NO SCALE



**SECTION C-C**  
NO SCALE



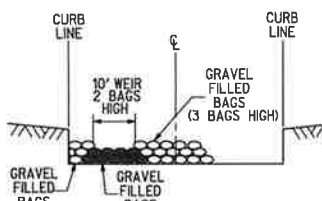
NOTE: FUNCTION OF ENTRANCE TO BE CONTINUOUSLY EVALUTATED DURING OPERATIONS. WIDTH AND LENGTH OF ENTRANCE TO BE INCREASED AS NECESSARY TO ACCOMMODATE ANTICIPATED TRAFFIC.

**STABILIZED CONSTRUCTION ENTRANCE/EXIT**  
NO SCALE

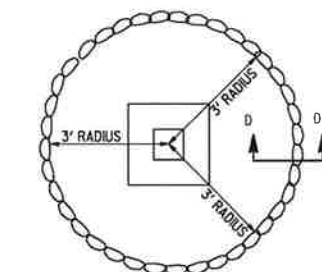


NOTE: TOP ELEVATIONS OF GRAVEL BAGS SHALL BE EQUAL TO ADJACENT TOP OF CURB ELEVATION

**SECTION D-D**  
NO SCALE



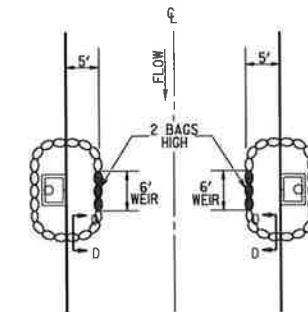
**SECTION E-E**  
NO SCALE



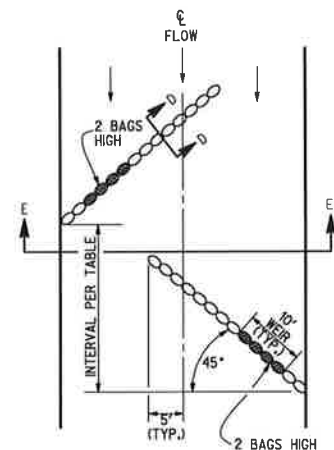
**GRAVEL BAGS AROUND AREA DRAINS**  
NO SCALE

**EROSION CONTROL LEGEND**

- SUBDIVISION BOUNDARY
- TACKIFIER
- SILT FENCE
- GRAVEL BAGS
- STABILIZED CONSTRUCTION ENTRANCE/EXIT



**STREET INLETS**  
NO SCALE



**VELOCITY CHECK DAMS IN STREETS**  
NO SCALE

TABLE A GRAVEL BAG ROW SPACING TABLE		
STREET GRADE	INTERVAL	
Less Than 2%	20'	
2% to 4%	75'	
4% to 6%	40'	
6% to 8%	25'	
8% to 10%	25'	

PRELIMINARY  
NOT FOR CONSTRUCTION

0:\18190-0 The Village of Lakehurst\...  
 10-JAN-2015 13:42  
 The Village of Lakehurst  
 10-JAN-2015 13:42

**BENCH MARK:**  
 CA DOT BM 13-B-93 LOCATION WESTERLY CURB RIVERSIDE DRIVE OPPOSITE FIRE HYDRANT AND 365 FEET NORTHERLY OF JOY STREET.

**DIG ALERT**

CALL BEFORE YOU DIG!  
 1-800-227-2600  
 UNDERGROUND SERVICE ALERT  
 Call at least 2 working days prior to excavating.

REVISIONS	APPRV	DATE

DESIGNED BY: \_\_\_\_\_ DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_

BRAD FAGRELL, RCE #43920  
 CITY ENGINEER

SEAL:

**RICK ENGINEERING COMPANY**  
 36 DISCOVERY - SUITE 240  
 IRVINE, CA 92618  
 949-588-0707  
 rickengineering.com

PREPARED UNDER THE DIRECTION OF:  
 BARRY J. COWAN, RCE #C46568

CAUTION: LOCATION OF EXISTING UTILITIES ON THESE PLANS ARE APPROXIMATE AND SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

**UNAUTHORIZED CHANGES:**  
 CAUTION: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED CHANGES TO THESE PLANS. ALL CHANGES TO THESE PLANS MUST BE APPROVED BY THE PREPARER OF THESE PLANS AND THE CITY ENGINEER.

SCALE: SHEET SPECIFIC  
 DATE: \_\_\_\_\_

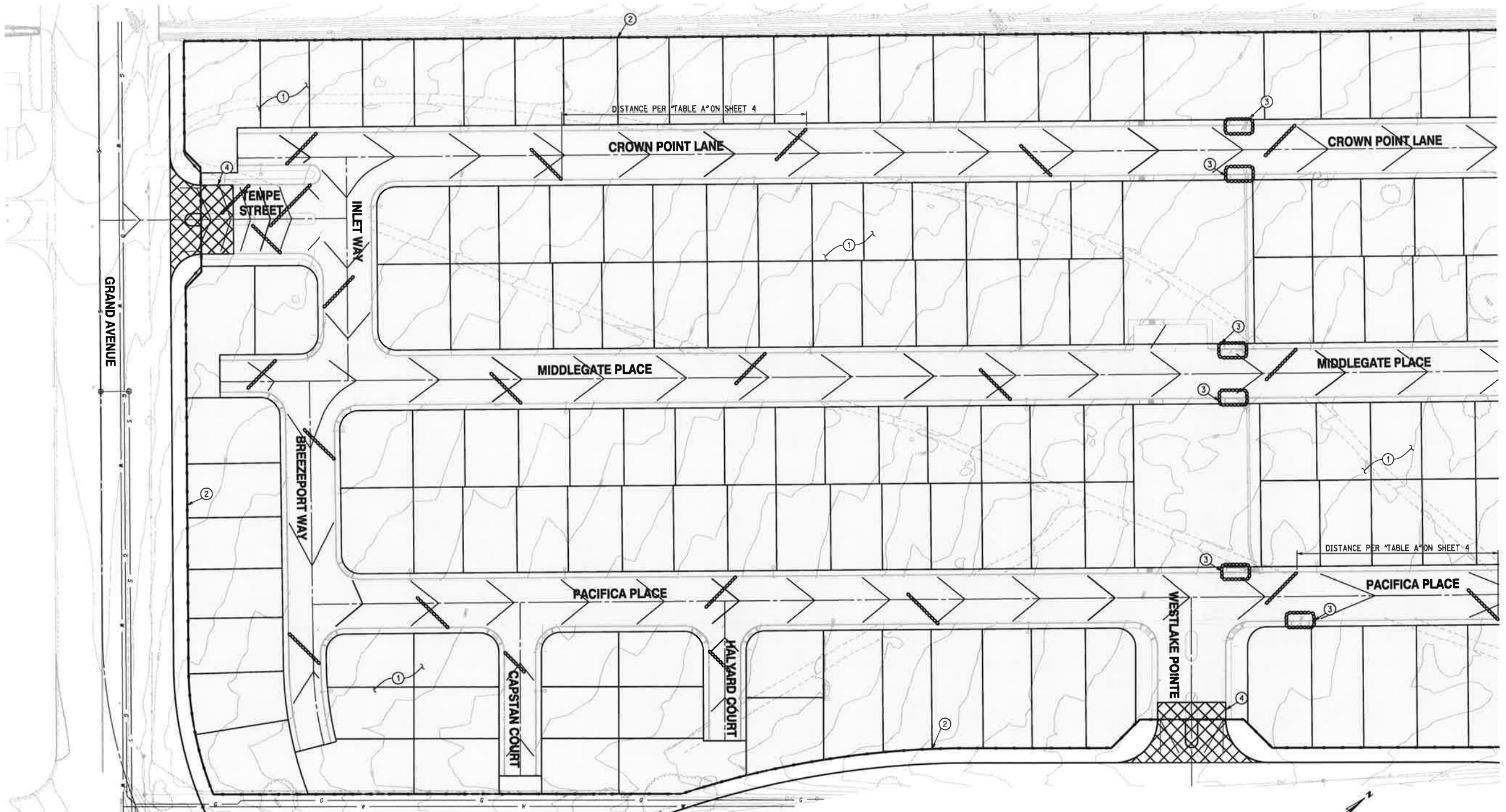
**CITY OF LAKE ELSINORE**  
**ROUGH GRADING PLANS FOR WESTLAKE - TM 33267**  
**EROSION CONTROL DETAILS**

SHEET 4 OF 8 SHEETS  
 FILE NO. \_\_\_\_\_





O:\18190-0 The Village at Lakewood\18190-0.dgn  
 05-JAN-2013 13:42  
 TM 33267\Civil\Sheets\_RoughGrading\18190\_0.dgn  
 TM 33267\Civil\Sheets\_RoughGrading\ORR\_Corists 2005.dscr.plt



SEE SHEET 8

- CONSTRUCTION NOTES**
- ① TACKIFIER
  - ② SILT FENCE PER DETAIL ON SHEET 4
  - ③ GRAVEL BAGS PER DETAIL ON SHEET 4
  - ④ STABILIZED CONSTRUCTION ENTRANCE/EXIT PER DETAIL ON SHEET 4

**BENCH MARK:**  
 CA DOT BM 13-B-93 LOCATION WESTERLY CURB RIVERSIDE DRIVE OPPOSITE FIRE HYDRANT AND 365 FEET NORTHERLY OF JOY STREET.

**DIG ALERT**

CALL BEFORE YOU DIG!

1-800-227-2600  
 UNDERGROUND SERVICE ALERT  
 Call at least 2 working days prior to excavating.

REVISIONS	APPRV	DATE

THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS, AND A PERMIT CAN BE ISSUED.

DESIGNED BY: \_\_\_\_\_ DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_

BRAD FAGRELL, RCE #43920  
 CITY ENGINEER

DATE: \_\_\_\_\_



**RICK ENGINEERING COMPANY**

36 DISCOVERY - SUITE 240  
 IRVINE, CA 92618  
 949-588-0707

Prepared under the direction of:  
 BARRY J. COWAN, RCE #C46568

DATE: \_\_\_\_\_

CAUTION: LOCATION OF EXISTING UTILITIES ON THESE PLANS ARE APPROXIMATE AND SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

**UNAUTHORIZED CHANGES:**  
 CAUTION: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED CHANGES TO THESE PLANS. ALL CHANGES TO THESE PLANS MUST BE APPROVED BY THE PREPARER OF THESE PLANS AND THE CITY ENGINEER.

SCALE: SHEET SPECIFIC  
 DATE: \_\_\_\_\_

GRAPHIC SCALE 1" = 40'

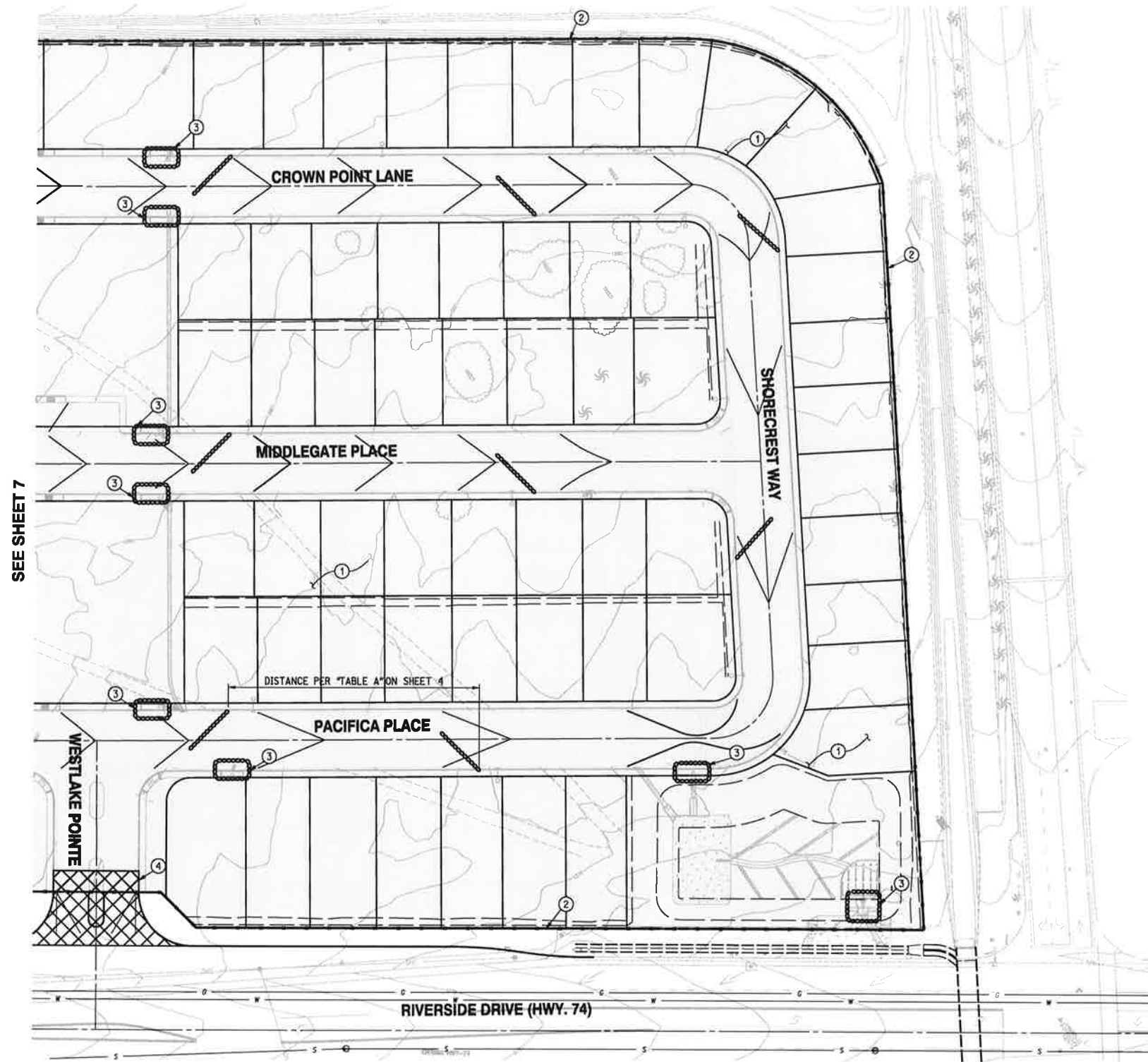
PRELIMINARY  
 NOT FOR CONSTRUCTION

**CITY OF LAKE ELSINORE**

**ROUGH GRADING PLANS FOR WESTLAKE - TM 33267**

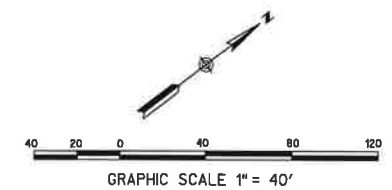
**EROSION CONTROL**

SHEET 7 OF 8 SHEETS  
 FILE NO. \_\_\_\_\_



**CONSTRUCTION NOTES**

- ① TACKIFIER
- ② SILT FENCE PER DETAIL ON SHEET 4
- ③ GRAVEL BAGS PER DETAIL ON SHEET 4
- ④ STABILIZED CONSTRUCTION ENTRANCE/EXIT PER DETAIL ON SHEET 4



PRELIMINARY  
NOT FOR CONSTRUCTION

CA 18184-06 The City of Lake Elsinore  
 04/18/2016 The City of Lake Elsinore  
 15-JAN-2016 13:42  
 TM 33267 (CIVIL) (S) Sheets\_roughgrading\18184\_06.dwg  
 TM 33267 (CIVIL) (S) Sheets\_roughgrading\000\_Corps\18184\_06.dwg

**BENCH MARK:**  
 CA DOT BM 13-B-93 LOCATION WESTERLY CURB RIVERSIDE DRIVE OPPOSITE FIRE HYDRANT AND 365 FEET NORTHERLY OF JOY STREET.

**DIG ALERT**  
 CALL BEFORE YOU DIG!  
 1-800-227-2600  
 UNDERGROUND SERVICE ALERT  
 Call at least 2 working days prior to excavating.

REVISIONS	APPRV	DATE

THESE PLANS HAVE BEEN REVIEWED FOR COMPLIANCE WITH THE APPROPRIATE CONDITIONS OF DEVELOPMENT AND/OR CITY AND STATE LAWS, AND A PERMIT CAN BE ISSUED.

BRAD FAGRELL, RCE #43920  
 CITY ENGINEER

DESIGNED BY: \_\_\_\_\_ DRAWN BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

SEAL: BARRY J. COWAN, RCE #C46568

**RICK ENGINEERING COMPANY**  
 36 DISCOVERY - SUITE 240  
 IRVINE, CA 92618  
 949-588-0707  
 PREPARED UNDER THE DIRECTION OF:  
 BARRY J. COWAN, RCE #C46568

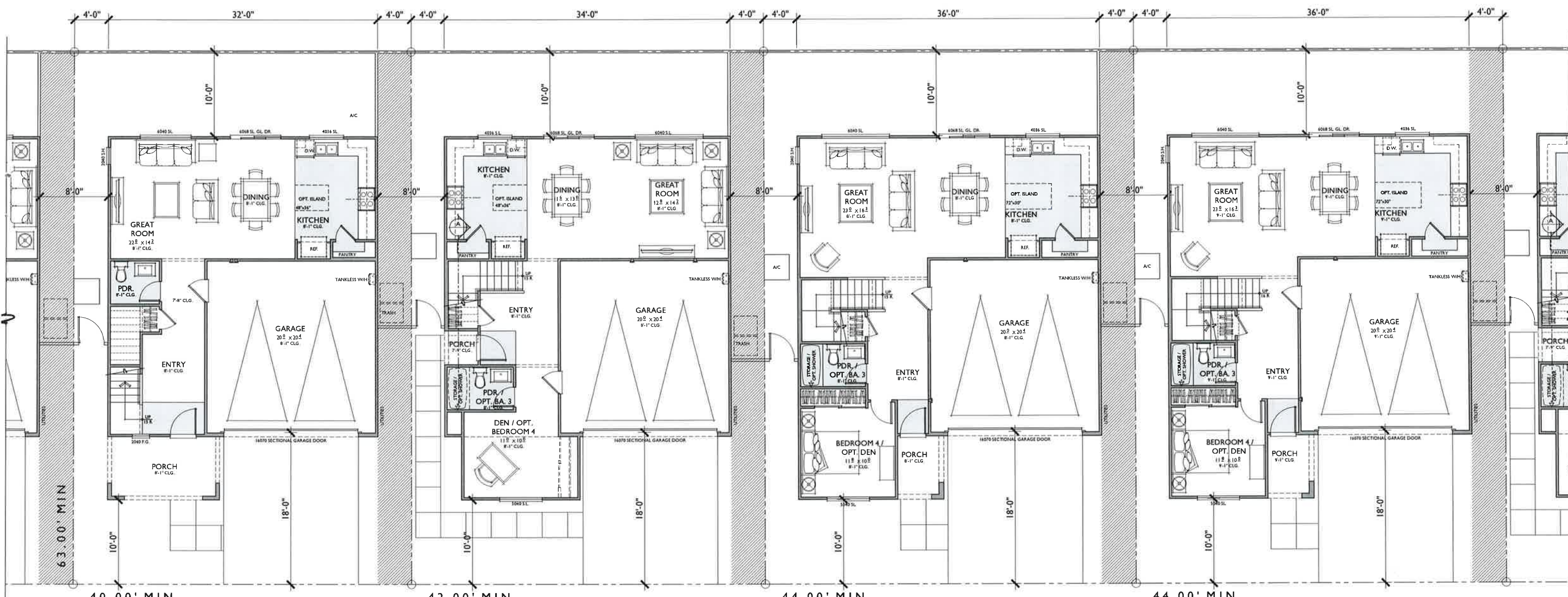
CAUTION: LOCATION OF EXISTING UTILITIES ON THESE PLANS ARE APPROXIMATE AND SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.

**UNAUTHORIZED CHANGES!**  
 CAUTION: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE OR LIABLE FOR UNAUTHORIZED CHANGES TO THESE PLANS. ALL CHANGES TO THESE PLANS MUST BE APPROVED BY THE PREPARER OF THESE PLANS AND THE CITY ENGINEER.

SCALE: SHEET SPECIFIC  
 DATE: \_\_\_\_\_

**CITY OF LAKE ELSINORE**  
**ROUGH GRADING PLANS FOR WESTLAKE - TM 33267**  
**EROSION CONTROL**

SHEET 8 OF 8 SHEETS  
 FILE NO. \_\_\_\_\_



FIRST FLOOR

HATCH INDICATES RECIPROCAL USE EASEMENT

**PLAN 1**  
**1,793 SQ. FT.**  
 TARGET: 1,789 SQ. FT.  
 3 BEDROOMS / 2.5 BATHS  
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	714 SQ. FT.
2ND FLOOR	1,079 SQ. FT.
<b>TOTAL LIVING</b>	<b>1793 SQ. FT.</b>
2 - CAR GARAGE	422 SQ. FT.
PORCH	99 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

**PLAN 2**  
**2,021 SQ. FT.**  
 TARGET: 2,000 SQ. FT.  
 3 BEDROOMS / 2.5 BATHS + LOFT + DEN / OPT.  
 BEDROOM 4 AND BATH 3  
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	869 SQ. FT.
2ND FLOOR	1,152 SQ. FT.
<b>TOTAL LIVING</b>	<b>2021 SQ. FT.</b>
2 - CAR GARAGE	421 SQ. FT.
PORCH	16 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

**PLAN 3**  
**2,267 SQ. FT.**  
 TARGET: 2,203 SQ. FT.  
 4 BEDROOMS / 2.5 BATHS + LOFT / OPT.  
 BEDROOM 5 + OPT. DEN  
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	944 SQ. FT.
2ND FLOOR	1,344 SQ. FT.
<b>TOTAL LIVING</b>	<b>2267 SQ. FT.</b>
2 - CAR GARAGE	422 SQ. FT.
PORCH	41 SQ. FT.

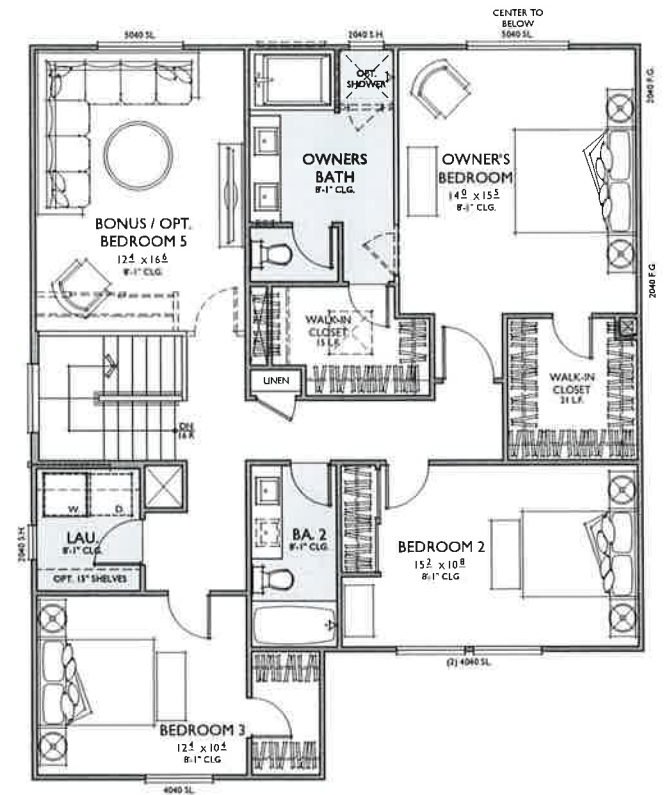
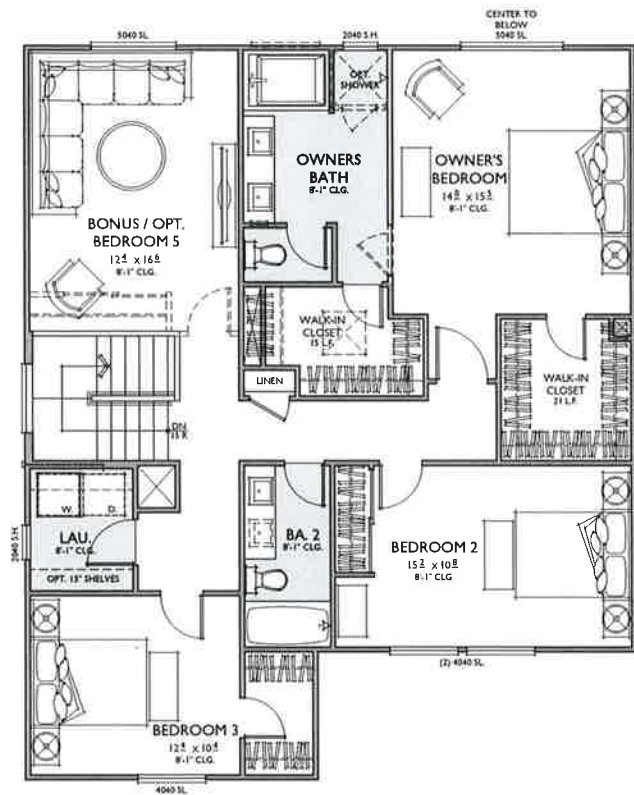
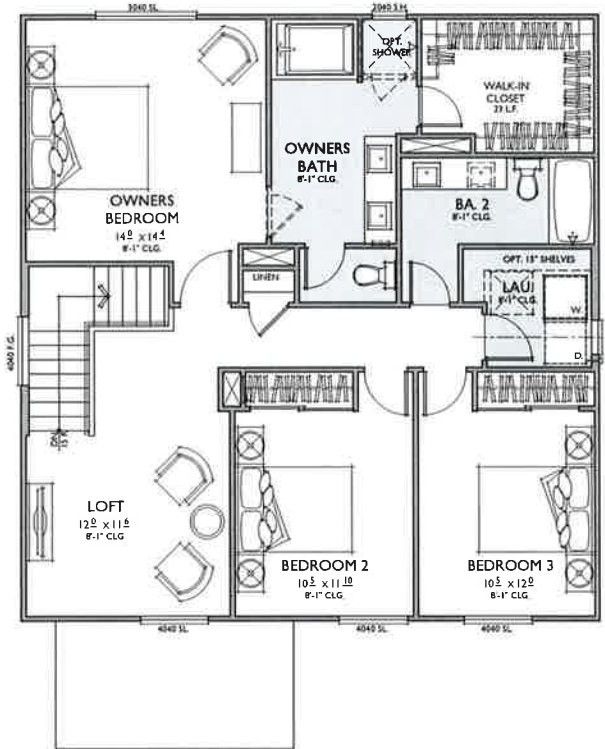
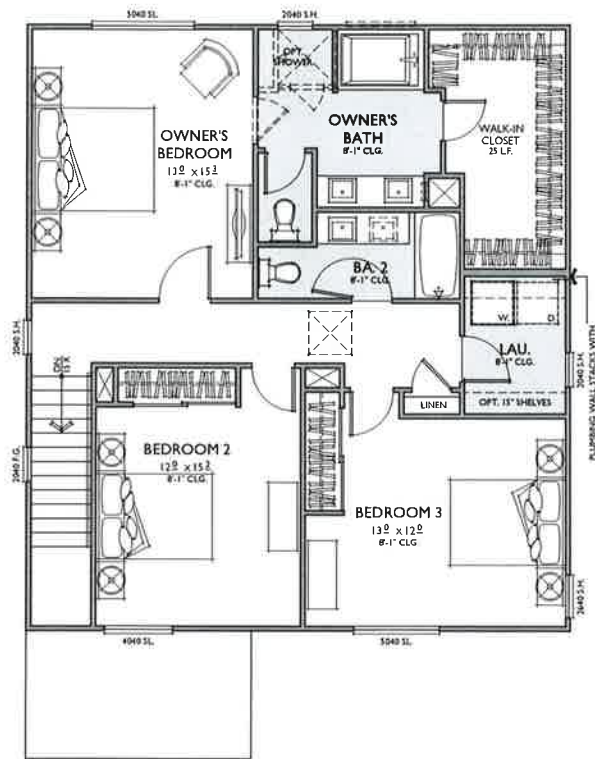
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

**PLAN 4**  
**2,267 SQ. FT.**  
 TARGET: 2,203 SQ. FT.  
 4 BEDROOMS / 2.5 BATHS + LOFT / OPT.  
 BEDROOM 5 + OPT. DEN  
 2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	944 SQ. FT.
2ND FLOOR	1,344 SQ. FT.
<b>TOTAL LIVING</b>	<b>2267 SQ. FT.</b>
2 - CAR GARAGE	422 SQ. FT.
PORCH	41 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION





## SECOND FLOOR

### PLAN 1

**1,793 SQ. FT.**

TARGET: 1,789 SQ. FT.  
3 BEDROOMS / 2.5 BATHS  
2 - CAR GARAGE

#### FLOOR AREA TABLE

1ST FLOOR	714 SQ. FT.
2ND FLOOR	1,079 SQ. FT.
<b>TOTAL LIVING</b>	<b>1793 SQ. FT.</b>
2 - CAR GARAGE	422 SQ. FT.
PORCH	99 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

### PLAN 2

**2,021 SQ. FT.**

TARGET: 2,000 SQ. FT.  
3 BEDROOMS / 2.5 BATHS + LOFT + DEN / OPT.  
BEDROOM 4 AND BATH 3  
2 - CAR GARAGE

#### FLOOR AREA TABLE

1ST FLOOR	869 SQ. FT.
2ND FLOOR	1,152 SQ. FT.
<b>TOTAL LIVING</b>	<b>2021 SQ. FT.</b>
2 - CAR GARAGE	421 SQ. FT.
PORCH	16 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

### PLAN 3

**2,267 SQ. FT.**

TARGET: 2,203 SQ. FT.  
4 BEDROOMS / 2.5 BATHS + LOFT / OPT.  
BEDROOM 5 + OPT. DEN  
2 - CAR GARAGE

#### FLOOR AREA TABLE

1ST FLOOR	944 SQ. FT.
2ND FLOOR	1,344 SQ. FT.
<b>TOTAL LIVING</b>	<b>2267 SQ. FT.</b>
2 - CAR GARAGE	422 SQ. FT.
PORCH	41 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.

### PLAN 4

**2,267 SQ. FT.**

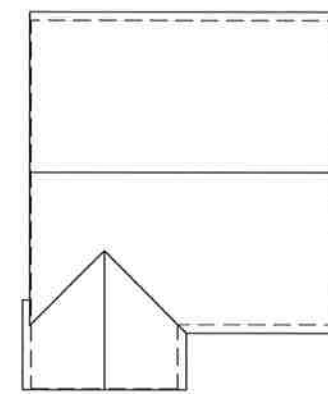
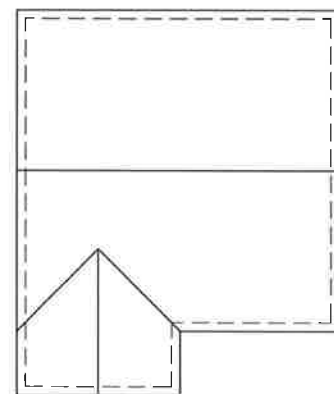
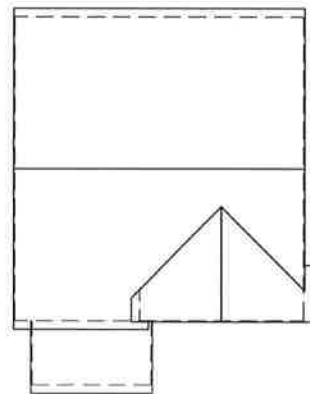
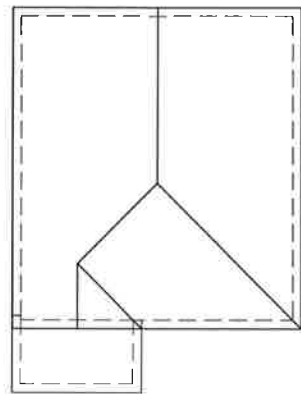
TARGET: 2,203 SQ. FT.  
4 BEDROOMS / 2.5 BATHS + LOFT / OPT.  
BEDROOM 5 + OPT. DEN  
2 - CAR GARAGE

#### FLOOR AREA TABLE

1ST FLOOR	944 SQ. FT.
2ND FLOOR	1,344 SQ. FT.
<b>TOTAL LIVING</b>	<b>2267 SQ. FT.</b>
2 - CAR GARAGE	422 SQ. FT.
PORCH	41 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION.





PLAN 1A  
SPANISH COLONIAL

PLAN 2B  
SANTA BARBARA

PLAN 3C  
CRAFTSMAN

PLAN 4B  
SANTA BARBARA

NOTE: OPTIONAL COACH LIGHTS SHOWN

# CONCEPTUAL STREET SCENE

## WESTLAKE TRACT 33267

Lake Elsinore, Ca

0 2 4 8 023.18157

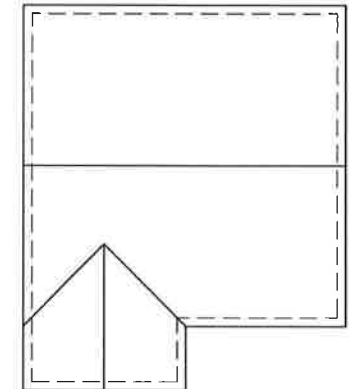
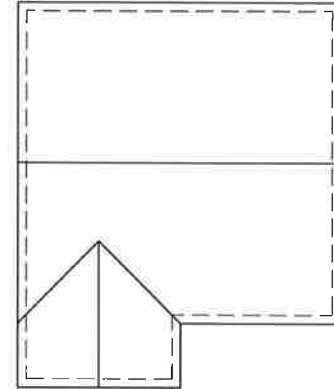
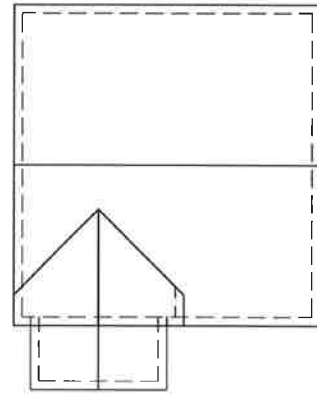
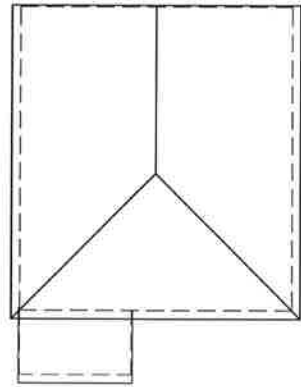
N MACADAM 2019 Template/ELA LOGO color 01

Copyright 2017 Bessenien | Laguna Architects

2017 Oakland Drive, Suite 100  
Tempe, AZ 85283, USA  
Tel: +1 480 333 9100  
Fax: +1 480 333 9106

01.25.19





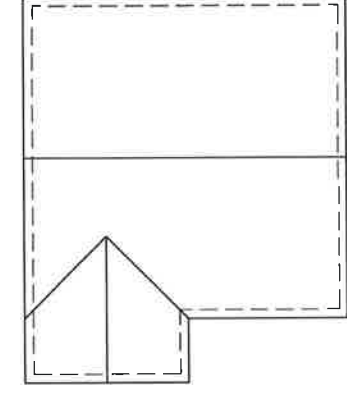
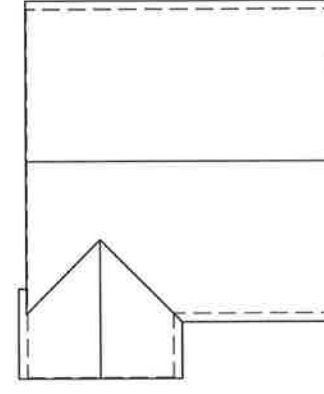
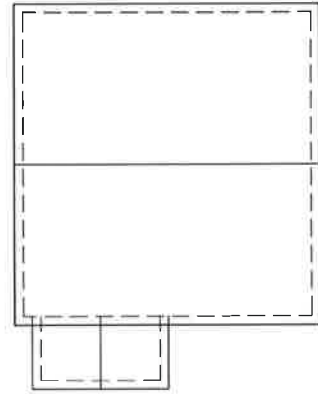
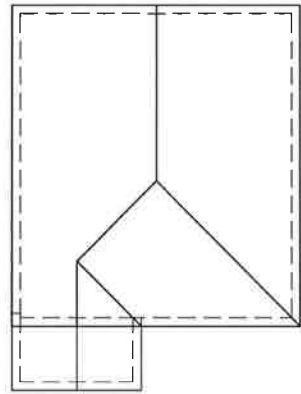
PLAN 1B  
SANTA BARBARA

PLAN 2C  
CRAFTSMAN

PLAN 3A  
SPANISH COLONIAL

PLAN 4C  
CRAFTSMAN

NOTE: OPTIONAL COACH LIGHTS SHOWN



PLAN 1C  
CRAFTSMAN

PLAN 2A  
SPANISH COLONIAL

PLAN 3B  
SANTA BARBARA

PLAN 4A  
SPANISH COLONIAL

NOTE: OPTIONAL COACH LIGHTS SHOWN

# CONCEPTUAL STREET SCENE

WESTLAKE TRACT 33267

Lake Elsinore, Ca

0 2 4 8 023.18157



PLAN 1AR  
SPANISH COLONIAL  
LOT 81

PLAN 2CR  
CRAFTSMAN  
LOT 80

PLAN 3BR  
SANTA BARBARA  
LOT 79

NOTE: OPTIONAL COACH LIGHTS SHOWN



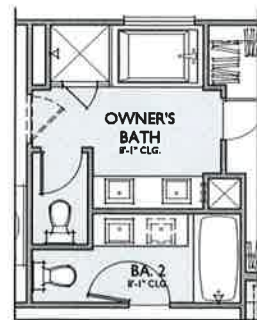
FRONT A - SPANISH COLONIAL  
NOTE: OPTIONAL COACH LIGHT SHOWN  
1/4"=1'-0"



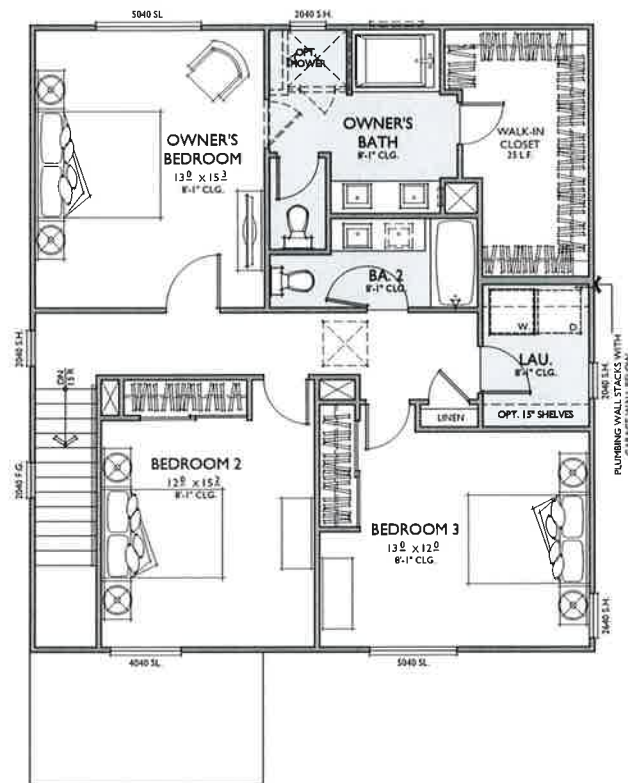
FRONT B - SANTA BARBARA  
NOTE: OPTIONAL COACH LIGHT SHOWN  
1/4"=1'-0"



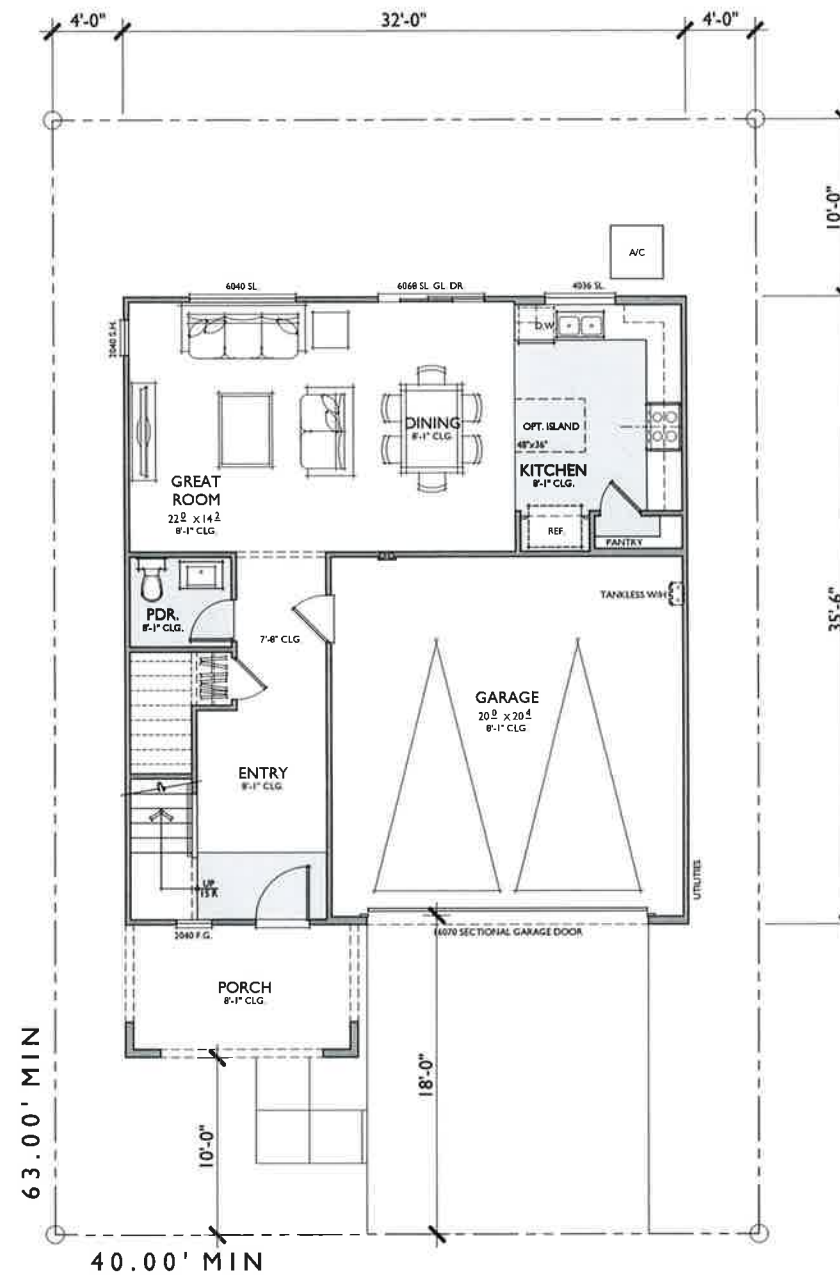
FRONT C - CRAFTSMAN  
NOTE: OPTIONAL COACH LIGHT SHOWN  
1/4"=1'-0"



OPT. SHOWER  
AT OWNER'S BATH



SECOND FLOOR



FIRST FLOOR

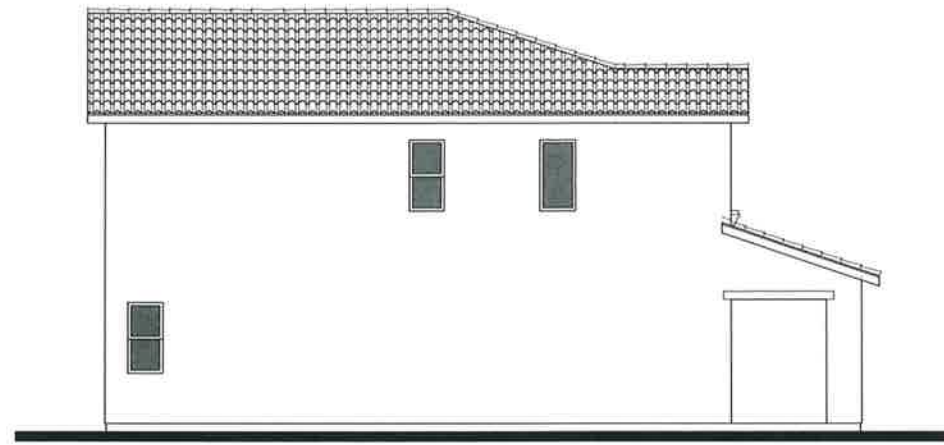
**PLAN I**  
**1,793 SQ. FT.**  
TARGET: 1,789 SQ. FT.  
3 BEDROOMS / 2.5 BATHS  
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	714 SQ. FT.
2ND FLOOR	1,079 SQ. FT.
<b>TOTAL LIVING</b>	<b>1793 SQ. FT.</b>
2 - CAR GARAGE	422 SQ. FT.
PORCH	99 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

WINDOW SCHEDULE	
2040 S.H.	4
2040 F.G.	2
2640 F.G.	1
4036 SL.	1
4040 SL.	1
5040 SL.	2
6040 SL.	1
<b>TOTAL</b>	<b>13</b>

LINEAR FEET OF KITCHEN CABS	
BASE CABINETS	17'-2"
UPPER CABINETS	14'-4"



LEFT



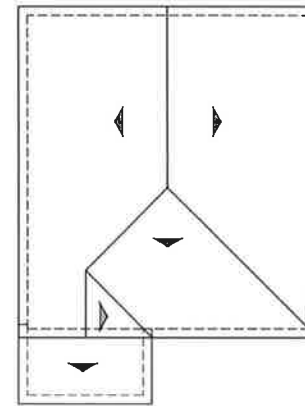
FRONT

NOTE: OPTIONAL COACH LIGHT SHOWN

A - SPANISH COLONIAL

1/4" = 1'-0"

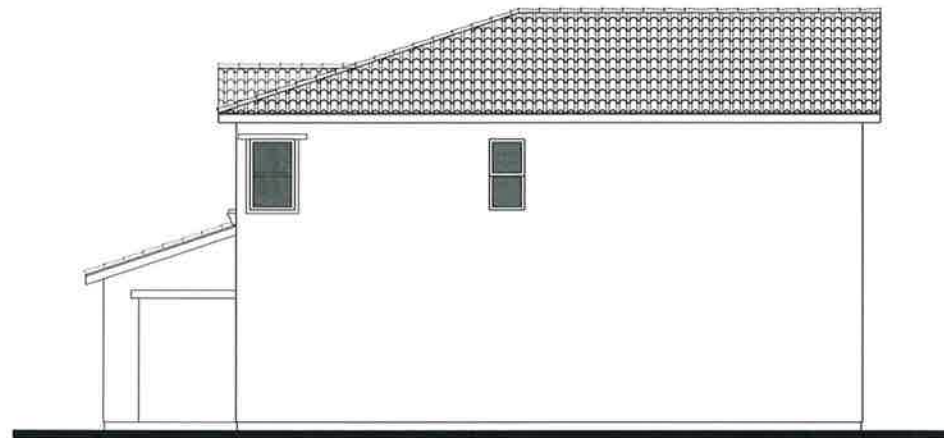
±23'-8"  
OVERALL BUILDING HEIGHT



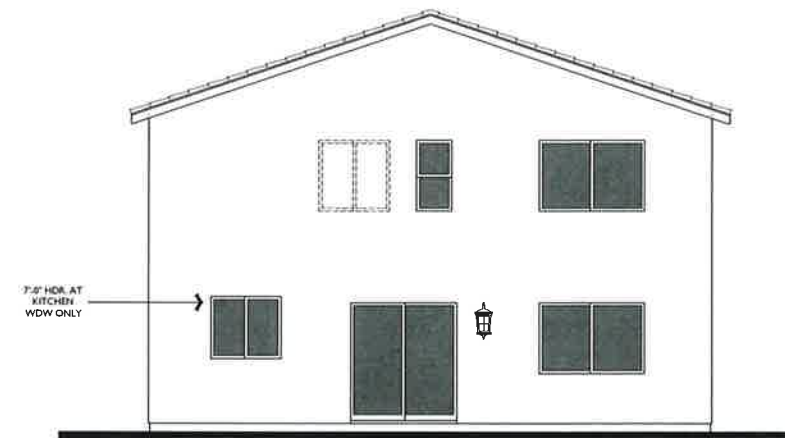
ROOF PLAN

A

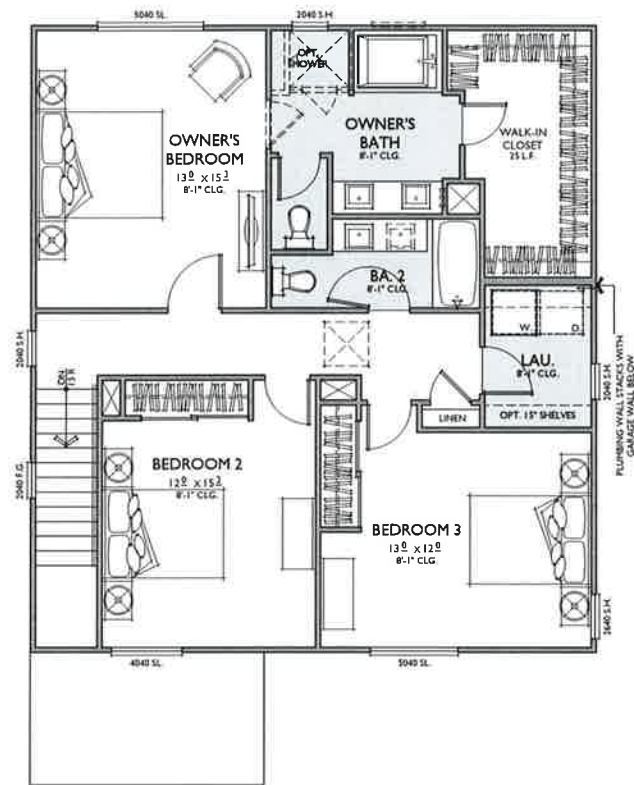
FITCH: 4:12  
RAKE: 12"  
EAVE: 12"  
ROOF MATERIAL: CONCRETE 'S' TILE



RIGHT



REAR



SECOND FLOOR



FIRST FLOOR

**PLAN I**  
**1,793 SQ. FT.**  
 TARGET: 1,789 SQ. FT.  
 3 BEDROOMS / 2.5 BATHS  
 2 - CAR GARAGE

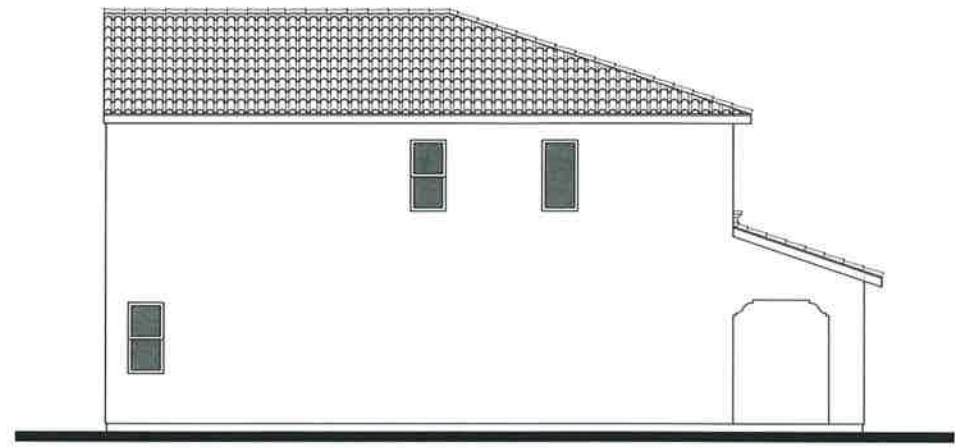
FLOOR AREA TABLE	
1ST FLOOR	714 SQ. FT.
2ND FLOOR	1,079 SQ. FT.
<b>TOTAL LIVING</b>	<b>1793 SQ. FT.</b>
2 - CAR GARAGE	422 SQ. FT.
PORCH	99 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

WINDOW SCHEDULE	
2040 S.H.	4
2040 F.G.	2
2640 F.G.	1
4036 SL.	1
4040 SL.	1
5040 SL.	2
6040 SL.	1
<b>TOTAL</b>	<b>13</b>

LINEAR FEET OF KITCHEN CABS	
BASE CABINETS	17'-2"
UPPER CABINETS	14'-4"





LEFT

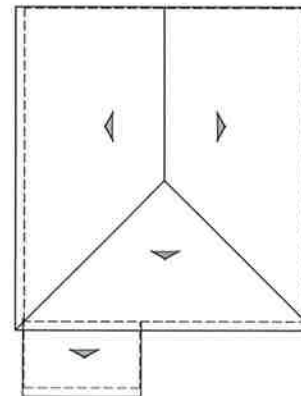


FRONT

B - SANTA BARBARA

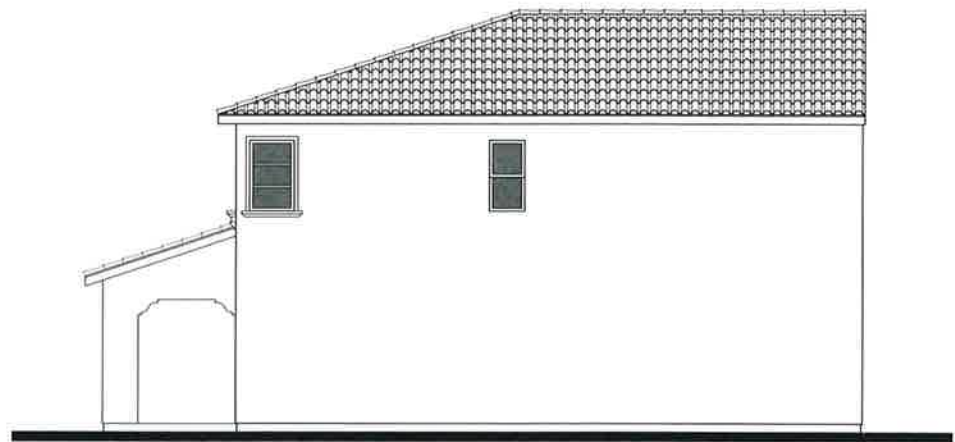
NOTE: OPTIONAL COACH LIGHT SHOWN

1/4"=1'-0"

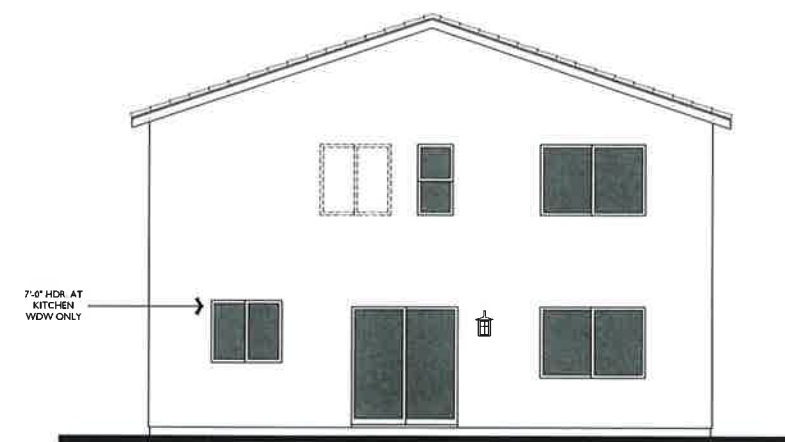


ROOF PLAN B

PITCH: 4:12  
 RAKE: 1-1/2"  
 EAVE: 12"  
 ROOF MATERIAL: CONCRETE S' TILE

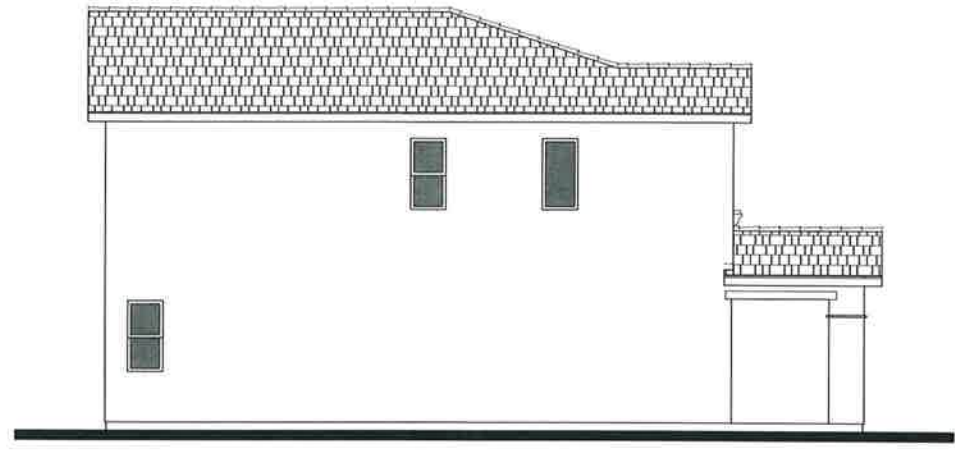


RIGHT



REAR





LEFT

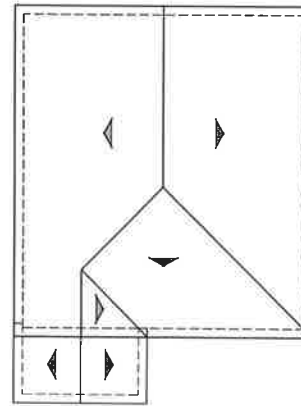
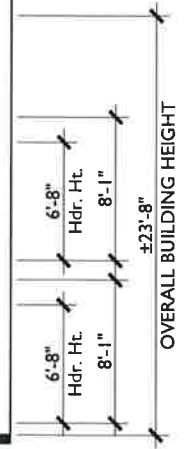


FRONT

NOTE: OPTIONAL COACH LIGHT SHOWN

C - CRAFTSMAN

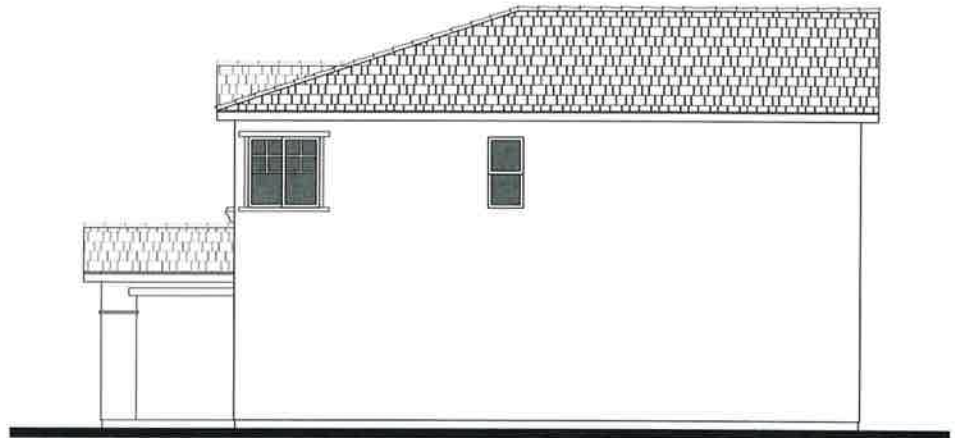
1/4"=1'-0"



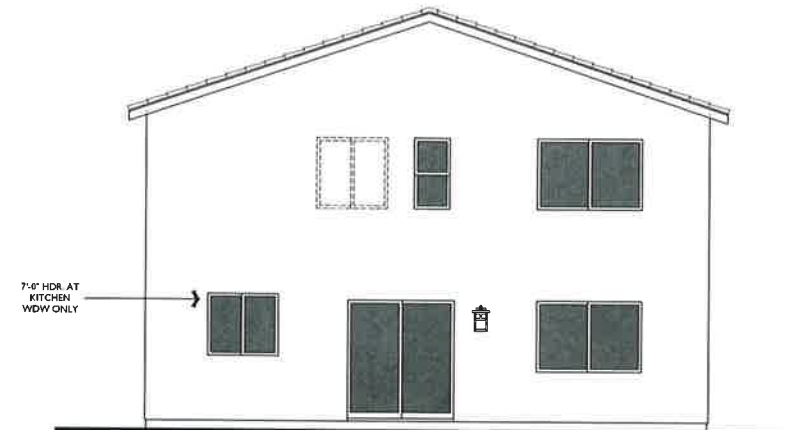
ROOF PLAN

C

PITCH: 4:12  
RAKE: 12"  
EAVE: 12"  
ROOF MATERIAL: CONCRETE FLAT TILE



RIGHT



REAR

7'-0" HDR. AT  
KITCHEN  
WDW ONLY



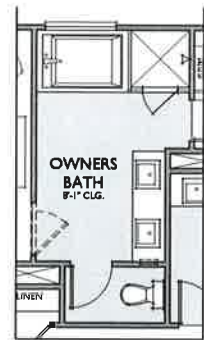
**FRONT**  
NOTE: OPTIONAL COACH LIGHT SHOWN  
**A - SPANISH COLONIAL**  
1/4"=1'-0"



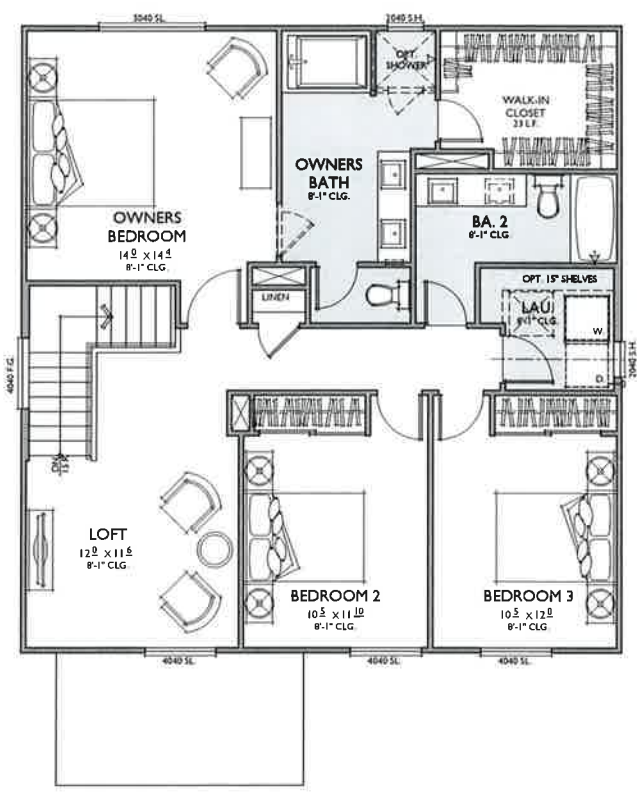
**FRONT**  
NOTE: OPTIONAL COACH LIGHT SHOWN  
**B - SANTA BARBARA**  
1/4"=1'-0"



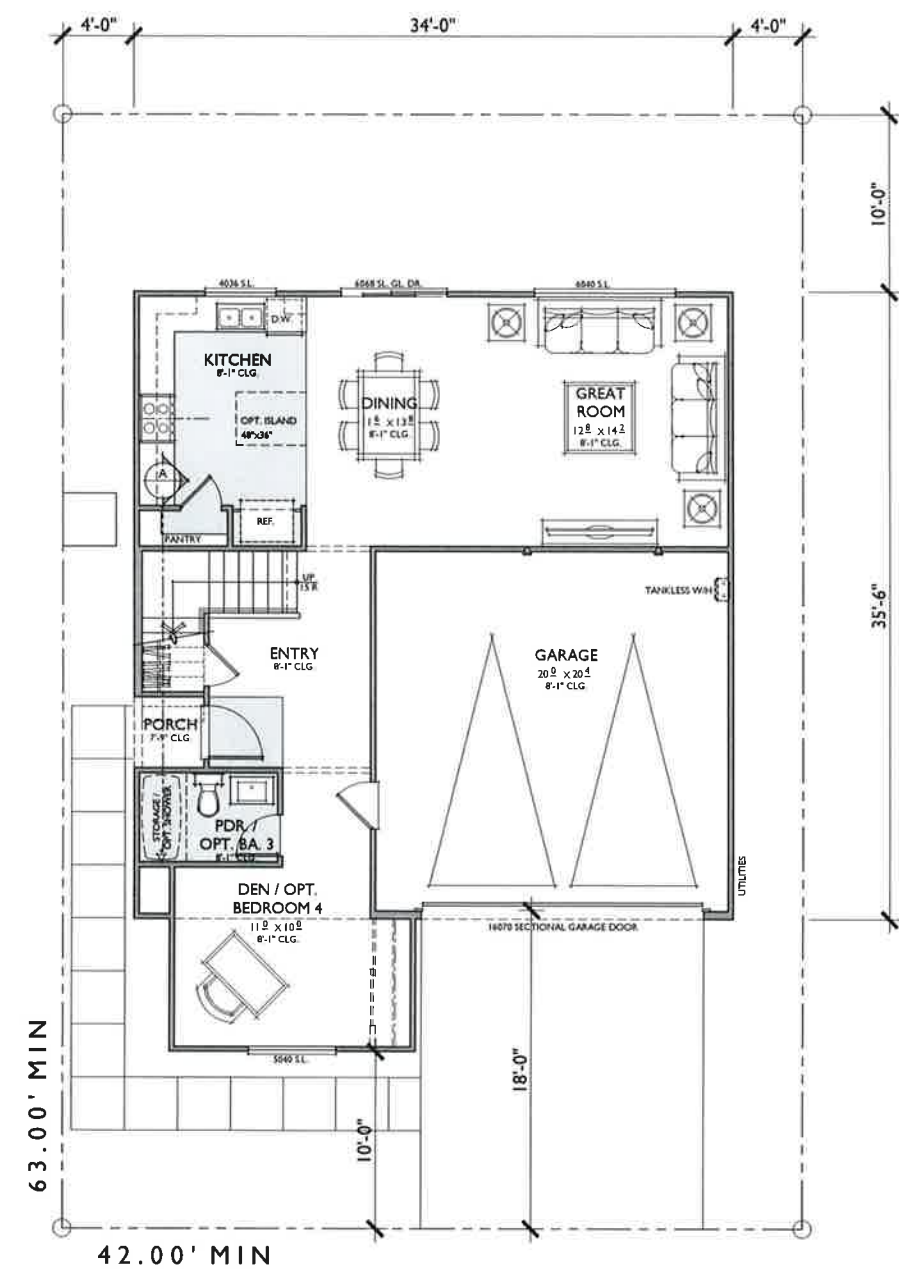
**FRONT**  
NOTE: OPTIONAL COACH LIGHT SHOWN  
**C - CRAFTSMAN**  
1/4"=1'-0"



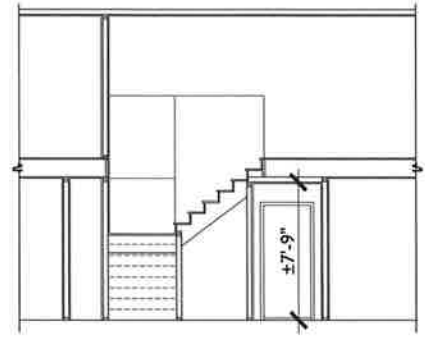
**OPT. SHOWER**  
AT OWNERS BATH



**SECOND FLOOR**



**FIRST FLOOR**



**SECTION A**  
AT STAIR OVER PORCH (3068 ENTRY DOOR SHOWN)

**PLAN 2**  
**2,021 SQ. FT.**

TARGET: 2,000 SQ. FT.  
3 BEDROOMS / 2.5 BATHS + LOFT + DEN / OPT. BEDROOM 4 AND BATH 3  
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	869 SQ. FT.
2ND FLOOR	1,152 SQ. FT.
<b>TOTAL LIVING</b>	<b>2021 SQ. FT.</b>
2 - CAR GARAGE	421 SQ. FT.
PORCH	16 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

WINDOW SCHEDULE	
2040 S.H.	2
4040 F.G.	1
4036 SL.	1
4040 SL.	3
5040 SL.	2
6040 SL.	1
<b>TOTAL</b>	<b>11</b>

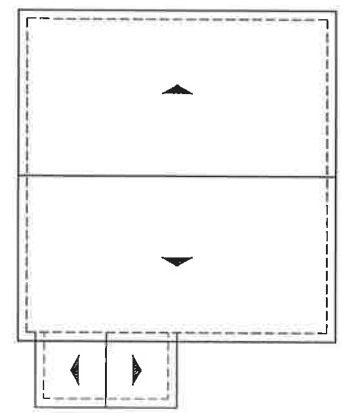
LINEAR FEET OF KITCHEN CABS	
BASE CABINETS	17'-4"
UPPER CABINETS	14'-4"



LEFT  
NOTE: OPTIONAL COACH LIGHT SHOWN



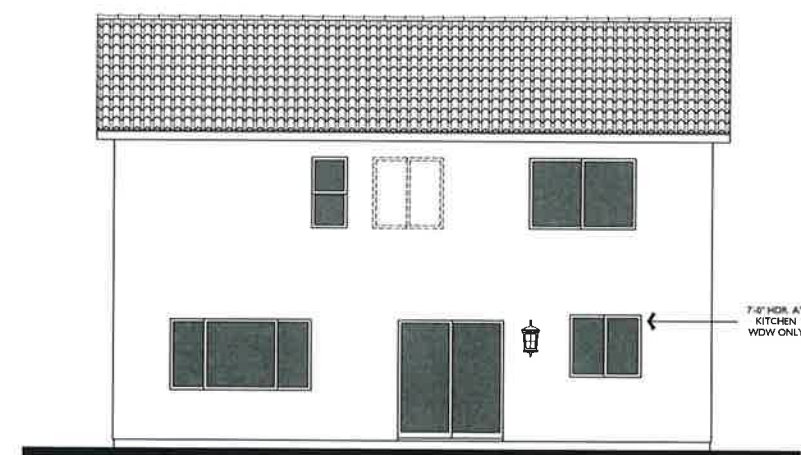
FRONT  
NOTE: OPTIONAL COACH LIGHT SHOWN  
A - SPANISH COLONIAL  
1/4"=1'-0"



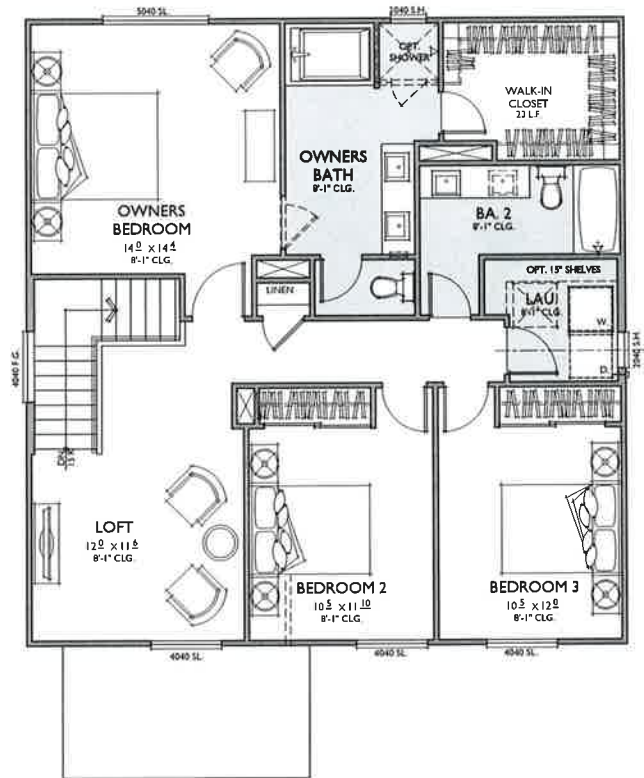
ROOF PLAN A  
PITCH: 4:12  
RAKE: 12"  
EAVE: 12"  
ROOF MATERIAL: CONCRETE 'S' TILE



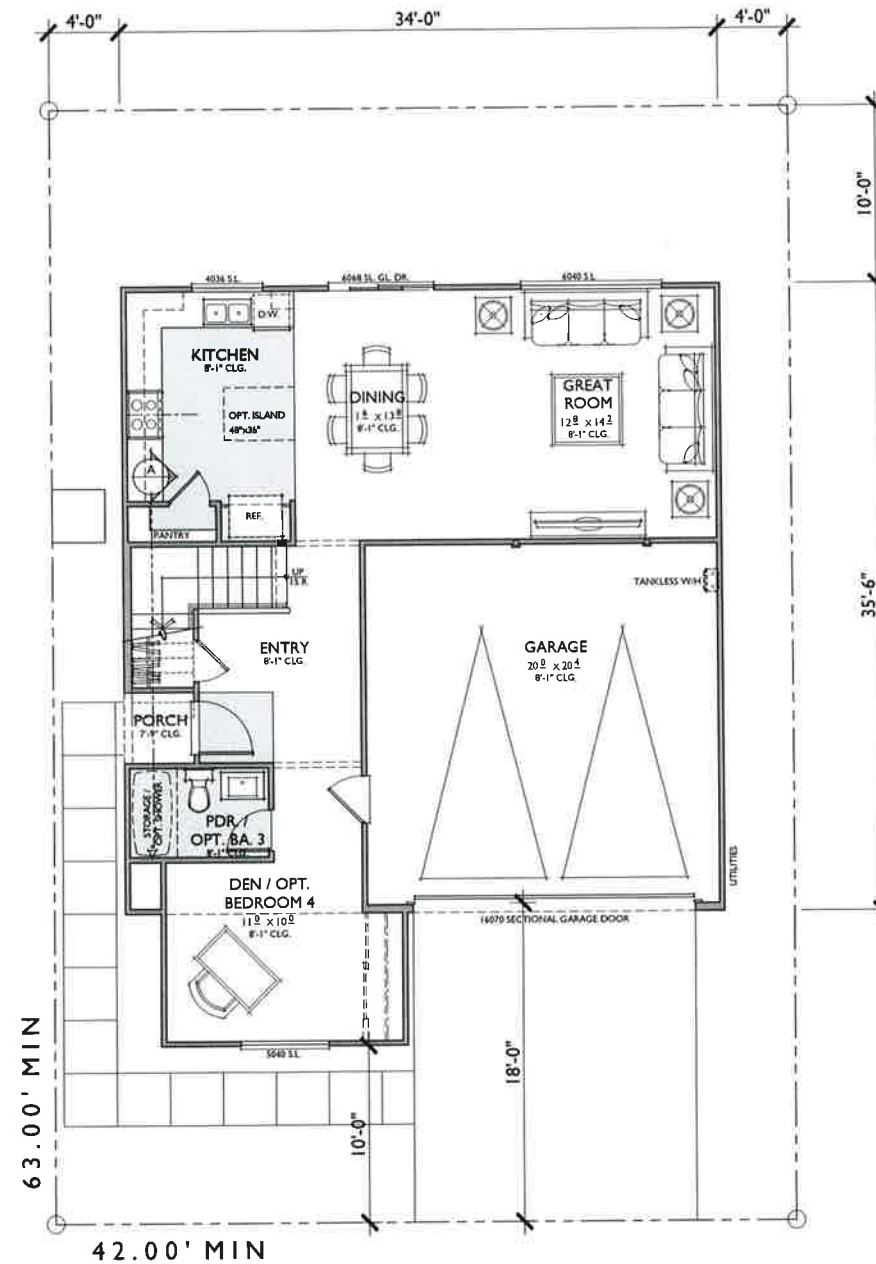
RIGHT



REAR



SECOND FLOOR



FIRST FLOOR

**PLAN 2**  
**2,021 SQ. FT.**

TARGET: 2,000 SQ. FT.  
3 BEDROOMS / 2.5 BATHS + LOFT + DEN + OPT. BEDROOM 4 AND BATH 3  
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	869 SQ. FT.
2ND FLOOR	1,152 SQ. FT.
<b>TOTAL LIVING</b>	<b>2021 SQ. FT.</b>
2 - CAR GARAGE	421 SQ. FT.
PORCH	16 SQ. FT.

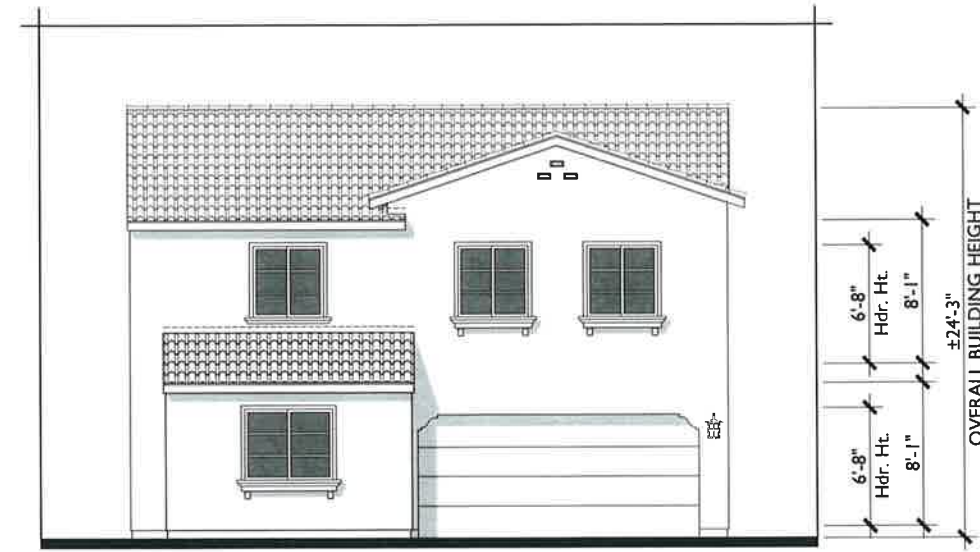
NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

WINDOW SCHEDULE	
2040 S.H.	2
4040 F.G.	1
4036 SL	1
4040 SL	3
5040 SL	2
6040 SL	1
<b>TOTAL</b>	<b>11</b>

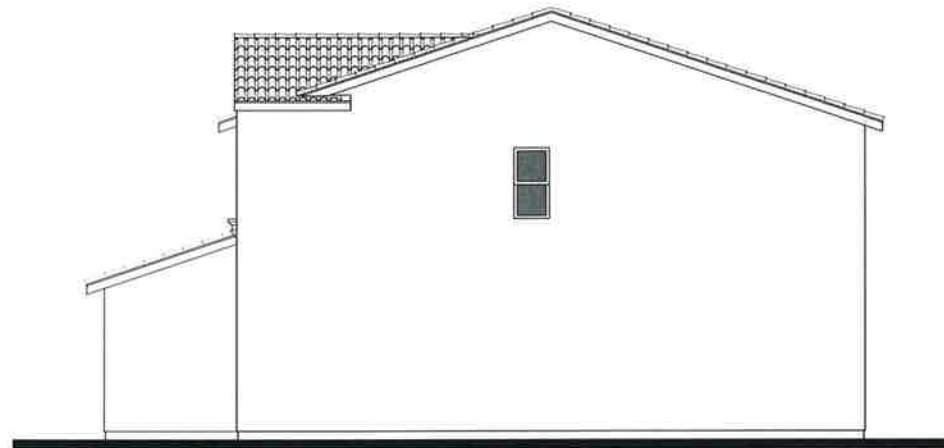
LINEAR FEET OF KITCHEN CABS	
BASE CABINETS	17'-4"
UPPER CABINETS	14'-4"



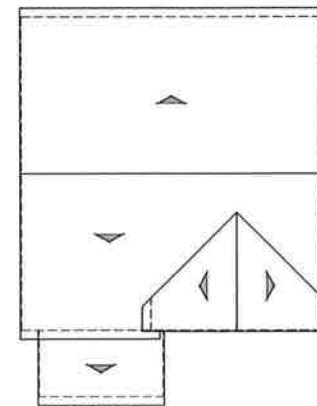
LEFT  
NOTE: OPTIONAL COACH LIGHT SHOWN



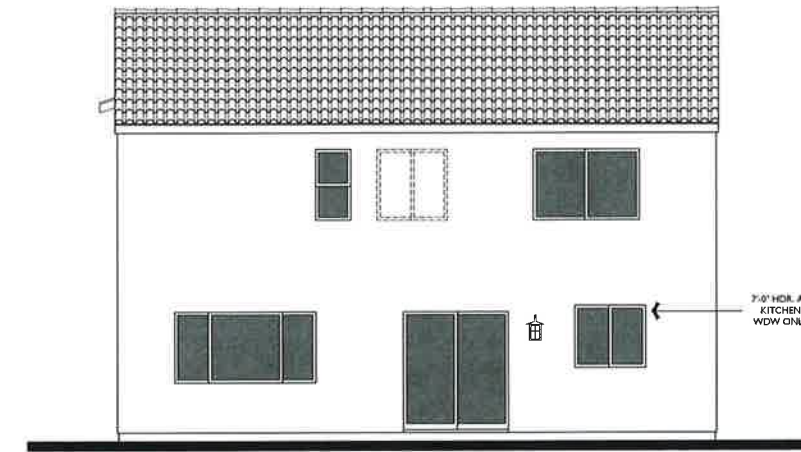
FRONT  
NOTE: OPTIONAL COACH LIGHT SHOWN  
B - SANTA BARBARA  
1/4"=1'-0"



RIGHT

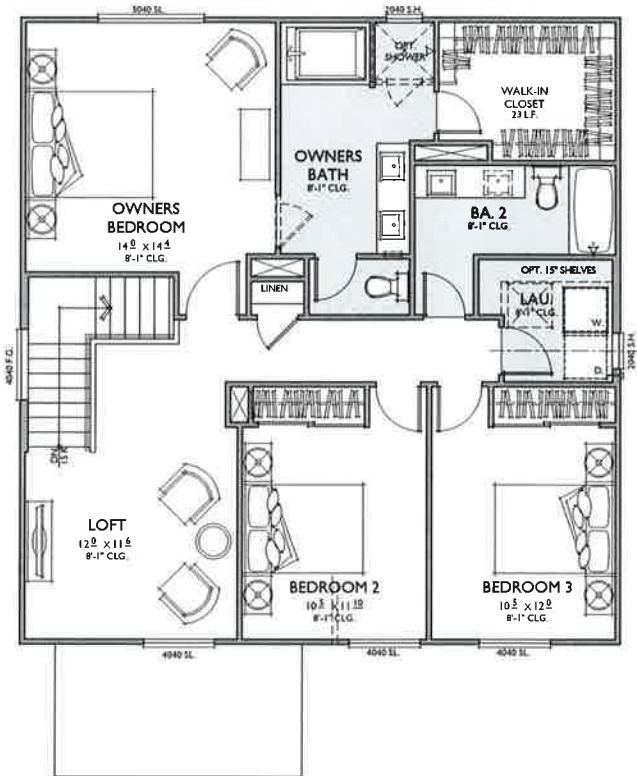


ROOF PLAN  
PITCH: 4:12  
RAKE: TIGHT  
EAVE: 12"  
ROOF MATERIAL: CONCRETE 'S' TILE  
B

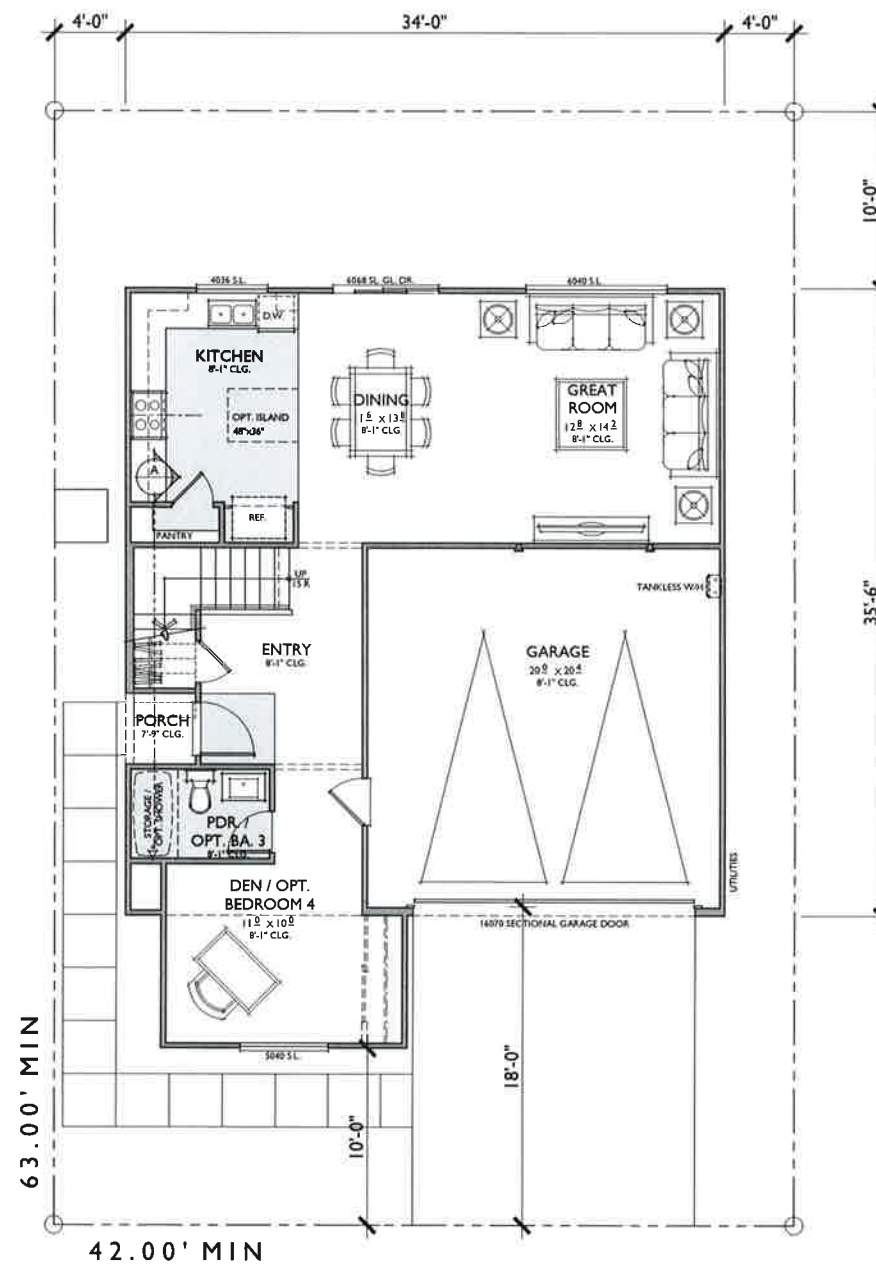


REAR





SECOND FLOOR



FIRST FLOOR

**PLAN 2**  
**2,021 SQ. FT.**

TARGET: 2,000 SQ. FT.  
3 BEDROOMS / 2.5 BATHS + LOFT + DEN / OPT.  
BEDROOM 4 AND BATH 3  
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	869 SQ. FT.
2ND FLOOR	1,152 SQ. FT.
<b>TOTAL LIVING</b>	<b>2021 SQ. FT.</b>
2 - CAR GARAGE	421 SQ. FT.
PORCH	16 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

WINDOW SCHEDULE	
2040 S.H.	2
4040 F.G.	1
4036 SL.	1
4040 SL.	3
5040 SL.	2
6040 SL.	1
<b>TOTAL</b>	<b>11</b>

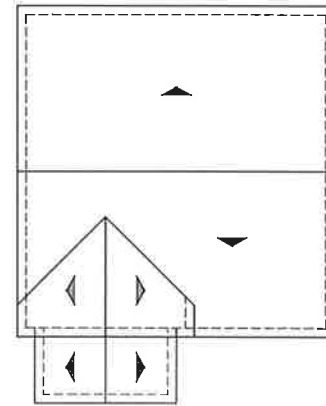
LINEAR FEET OF KITCHEN CABS	
BASE CABINETS	17'-4"
UPPER CABINETS	14'-4"



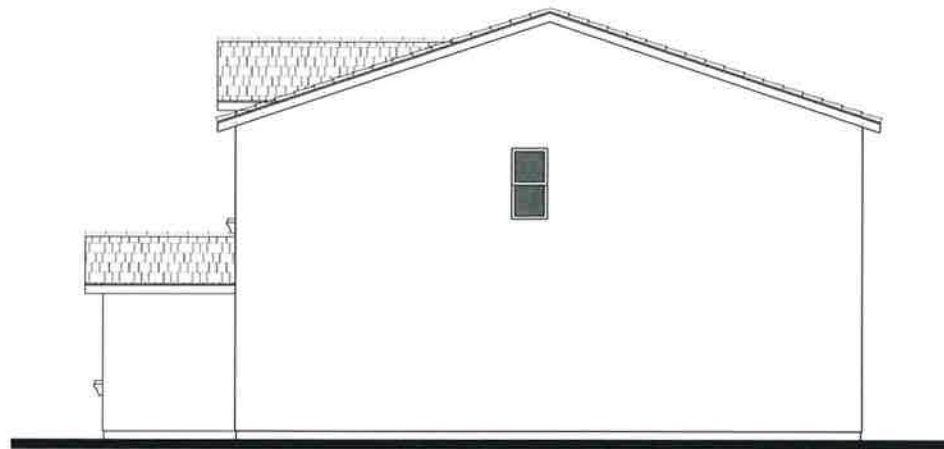
LEFT  
NOTE: OPTIONAL COACH LIGHT SHOWN



FRONT  
NOTE: OPTIONAL COACH LIGHT SHOWN  
C - CRAFTSMAN  
1/4"=1'-0"



ROOF PLAN  
PITCH: 4:12  
RAKE: 12"  
EAVE: 12"  
ROOF MATERIAL: CONCRETE FLAT TILE



RIGHT



REAR



FRONT  
NOTE: OPTIONAL COACH LIGHT SHOWN  
A - SPANISH COLONIAL  
1/4"=1'-0"



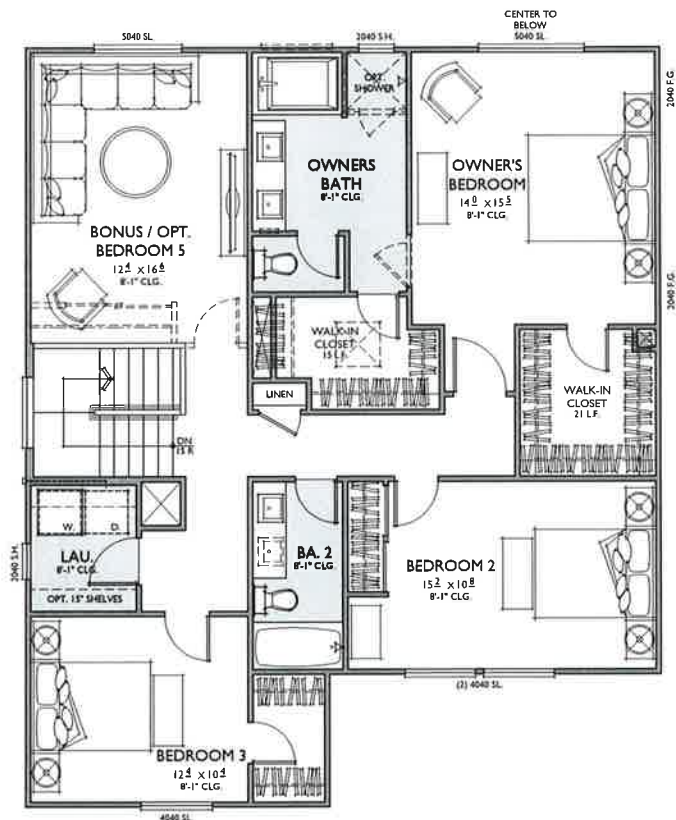
FRONT  
NOTE: OPTIONAL COACH LIGHT SHOWN  
B - SANTA BARBARA  
1/4"=1'-0"



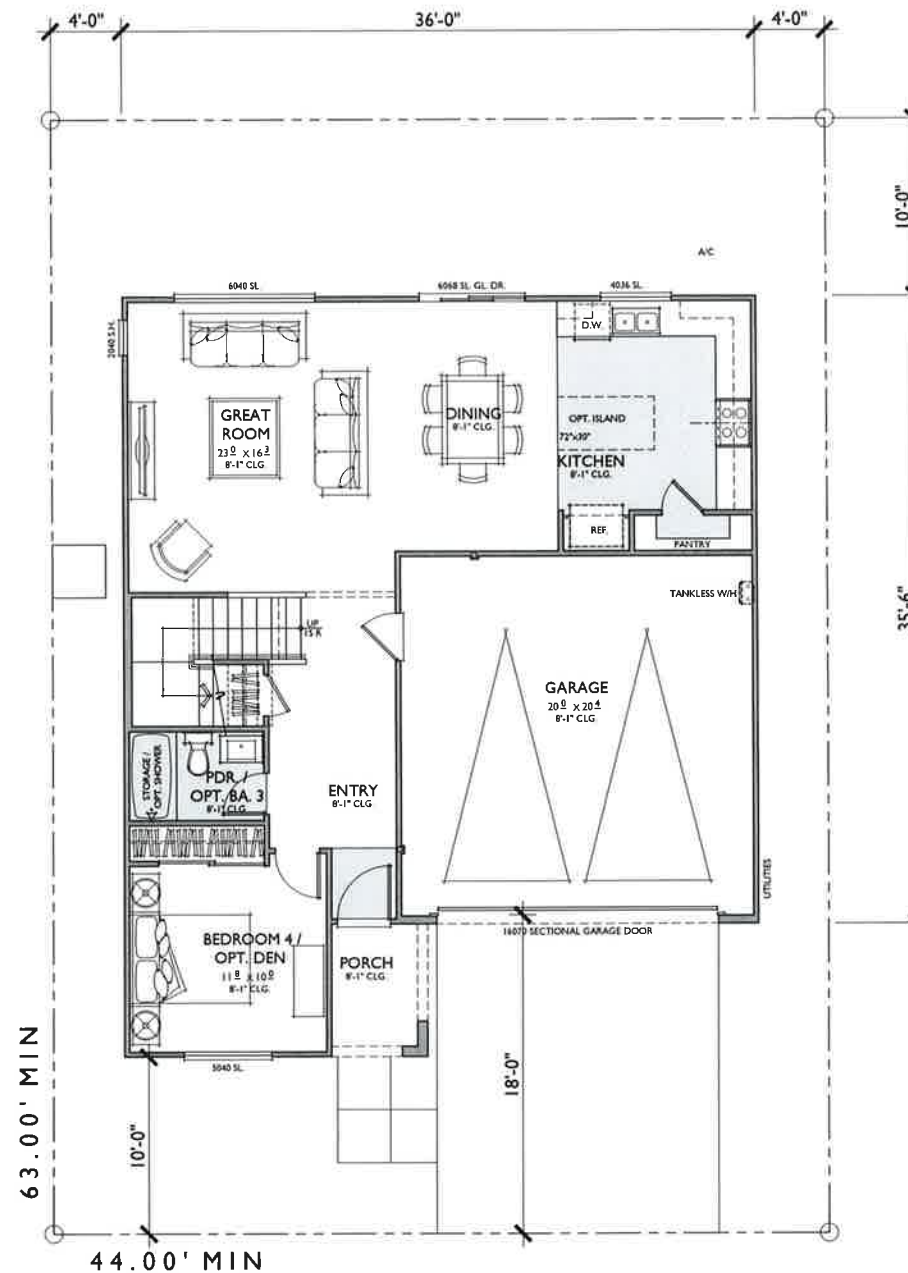
FRONT  
NOTE: OPTIONAL COACH LIGHT SHOWN  
C - CRAFTSMAN  
1/4"=1'-0"



OPT. SHOWER  
AT OWNERS BATH



SECOND FLOOR



FIRST FLOOR

**PLAN 3**  
**2,267 SQ. FT.**

TARGET: 2,203 SQ. FT.  
4 BEDROOMS / 2.5 BATHS + LOFT / OPT.  
BEDROOM 5 + OPT. DEN  
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	944 SQ. FT.
2ND FLOOR	1,344 SQ. FT.
<b>TOTAL LIVING</b>	<b>2267 SQ. FT.</b>
2 - CAR GARAGE	422 SQ. FT.
PORCH	41 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

WINDOW SCHEDULE	
2040 S.H.	3
2040 F.G.	2
4040 F.G.	1
4036 SL.	1
4040 SL.	3
5040 SL.	3
6040 SL.	1
<b>TOTAL</b>	<b>14</b>

LINEAR FEET OF KITCHEN CABS	
BASE CABINETS	18'-10"
UPPER CABINETS	15'-10"



LEFT

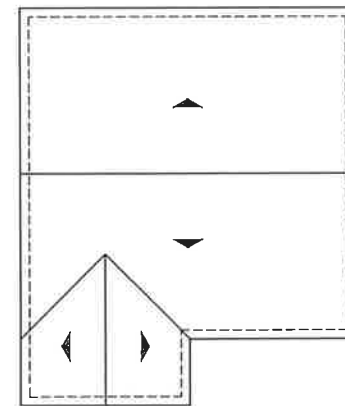
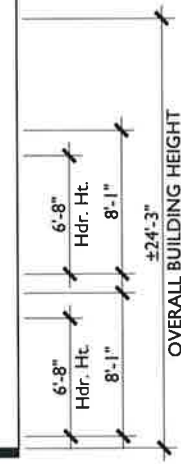


FRONT

NOTE: OPTIONAL COACH LIGHT SHOWN

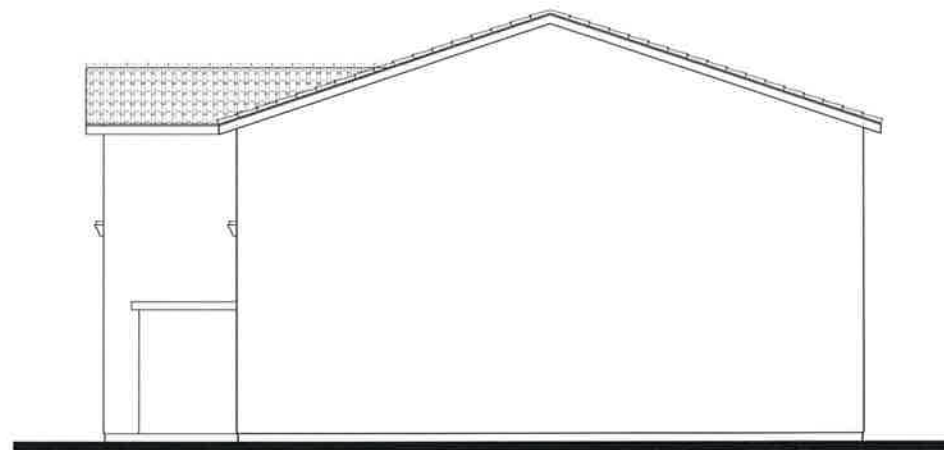
A - SPANISH COLONIAL

1/4"=1'-0"

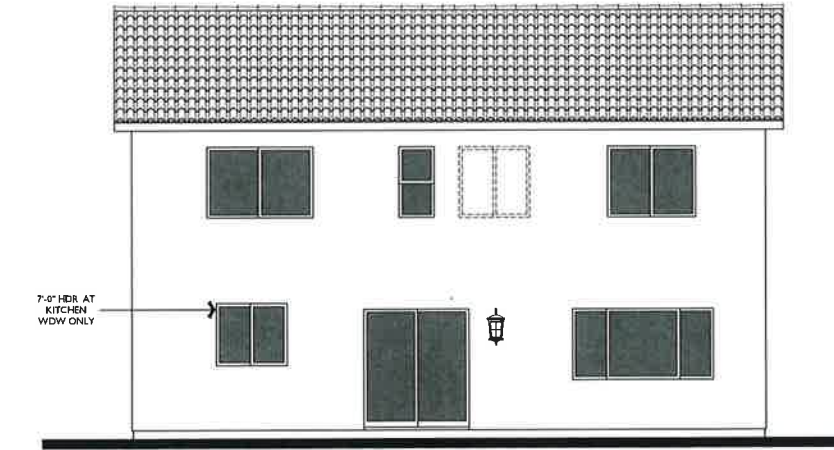


ROOF PLAN A

PITCH: 4:12  
 RAKE: 12"  
 EAVE: 12"  
 ROOF MATERIAL: CONCRETE S' TILE

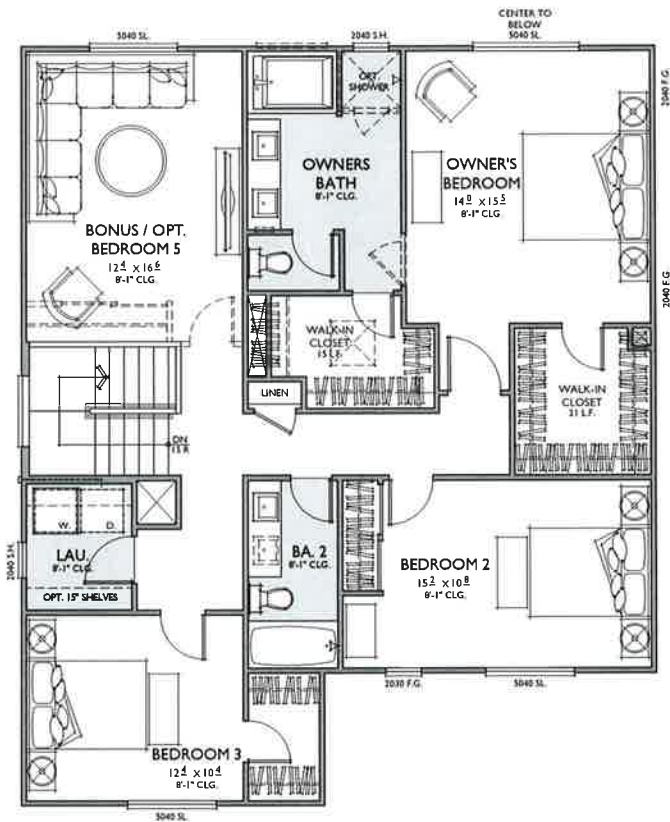


RIGHT

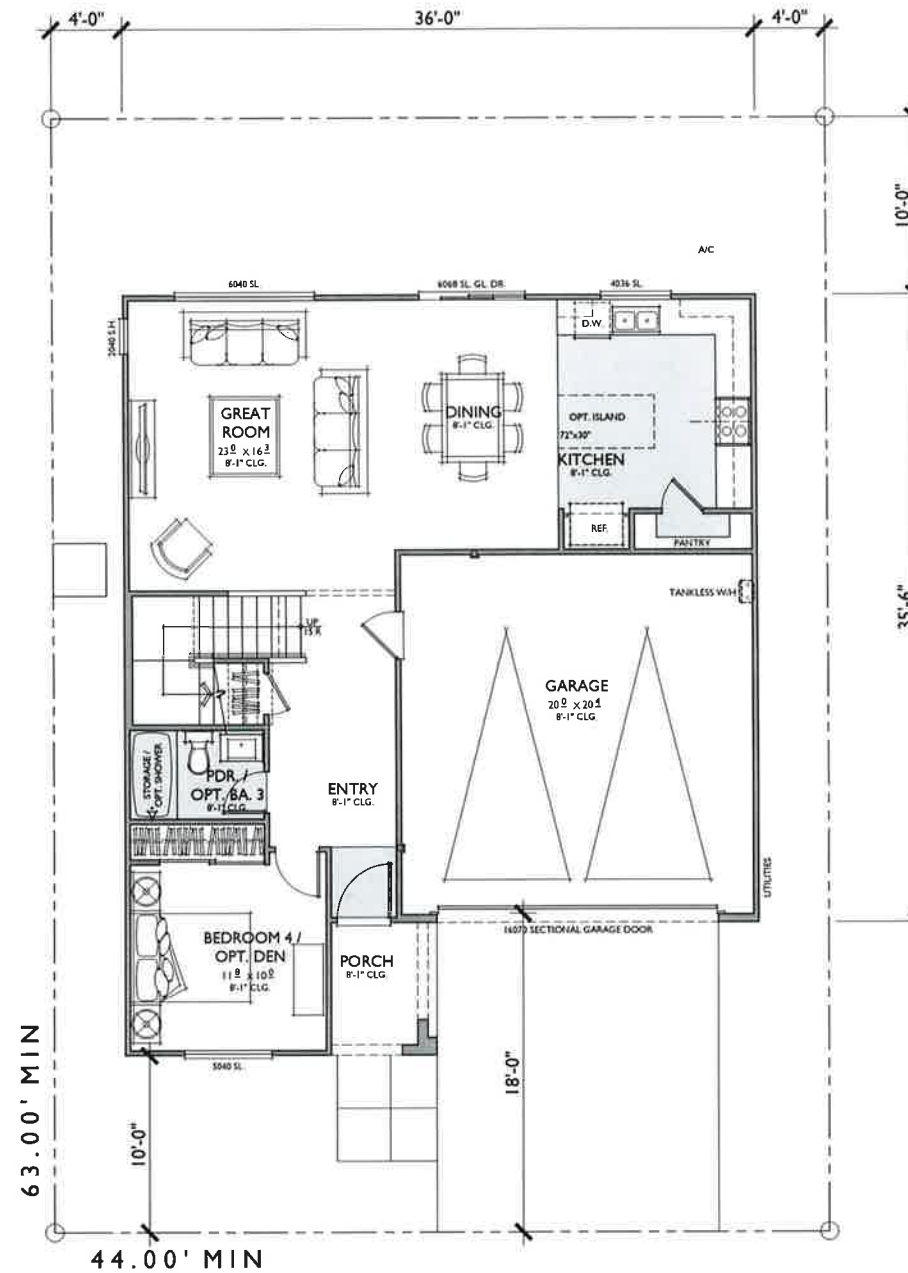


7'-0" HDR AT KITCHEN WDW ONLY

REAR



SECOND FLOOR



FIRST FLOOR

**PLAN 3**  
**2,270 SQ. FT.**

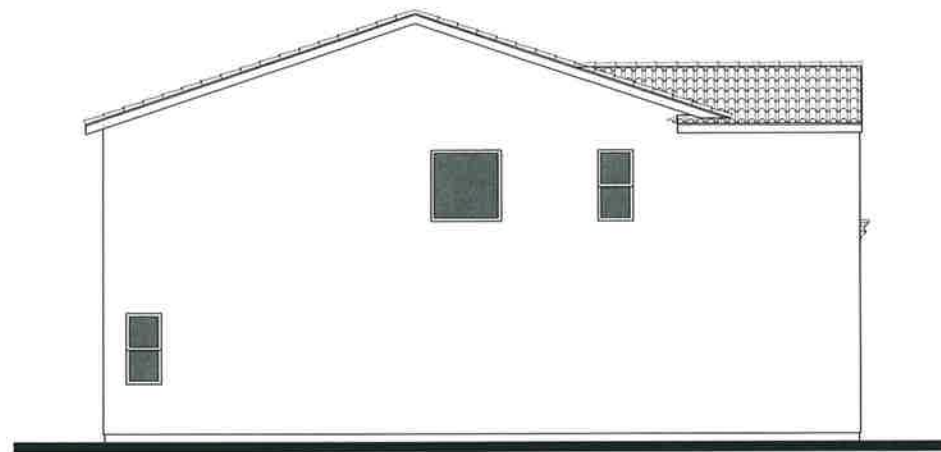
TARGET: 2,203 SQ. FT.  
4 BEDROOMS / 2.5 BATHS + LOFT / OPT.  
BEDROOM 5 + OPT. DEN  
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	944 SQ. FT.
2ND FLOOR	1,346 SQ. FT.
<b>TOTAL LIVING</b>	<b>2270 SQ. FT.</b>
2 - CAR GARAGE	422 SQ. FT.
PORCH	41 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

WINDOW SCHEDULE	
2040 S.H.	1
2040 F.G.	2
4040 F.G.	1
4036 SL	1
2030 F.G.	1
5040 SL	5
6040 SL	1
<b>TOTAL</b>	<b>14</b>

LINEAR FEET OF KITCHEN CABS	
BASE CABINETS	18'-10"
UPPER CABINETS	15'-10"



LEFT

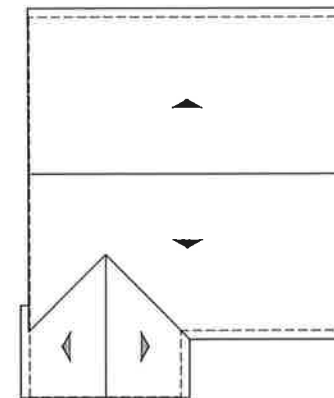


FRONT

NOTE: OPTIONAL COACH LIGHT SHOWN

B - SANTA BARBARA

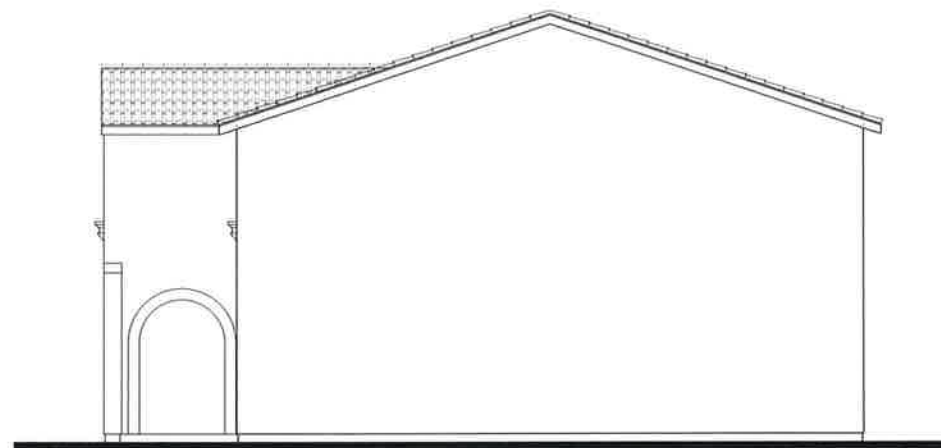
1/4"=1'-0"



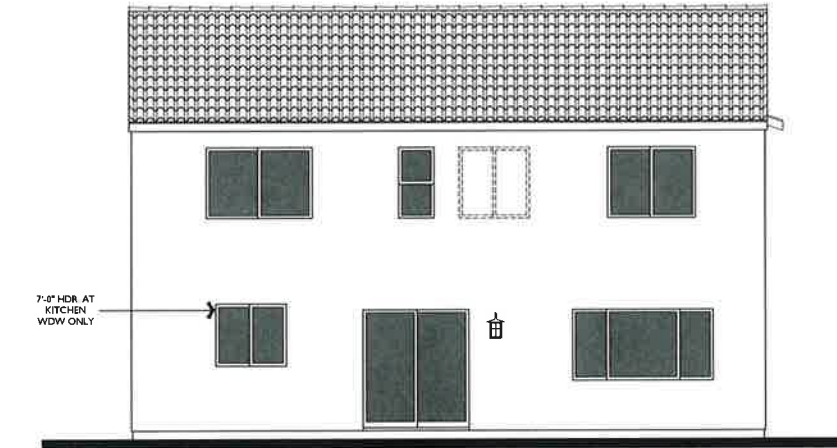
ROOF PLAN

B

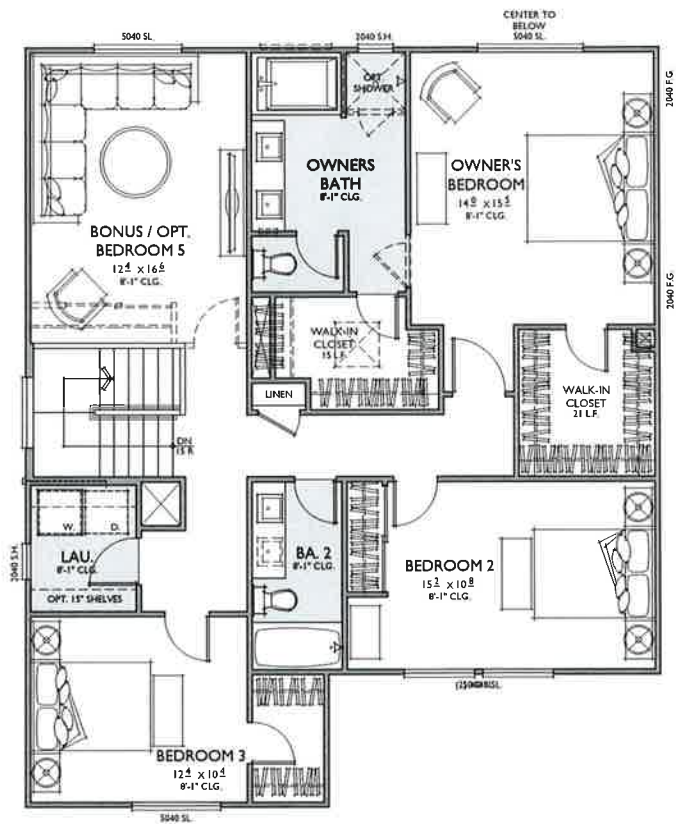
PITCH: 4:12  
RAKE: TIGHT  
EAVE: 12"  
ROOF MATERIAL: CONCRETE 'S' TILE



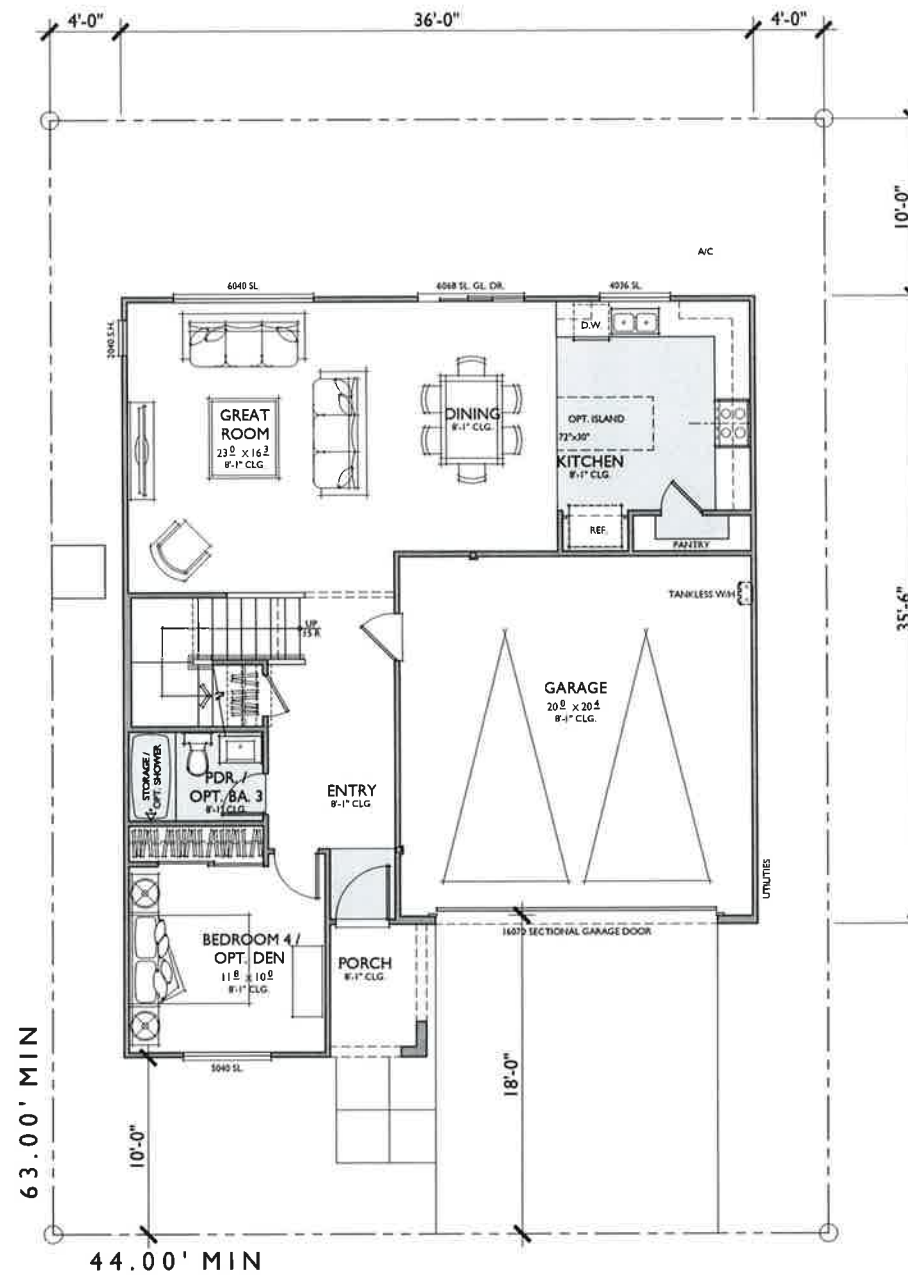
RIGHT



REAR



SECOND FLOOR



FIRST FLOOR

**PLAN 3**  
**2,270 SQ. FT.**

TARGET: 2,203 SQ. FT.  
4 BEDROOMS / 2.5 BATHS + LOFT / OPT.  
BEDROOM 5 + OPT. DEN  
2 - CAR GARAGE

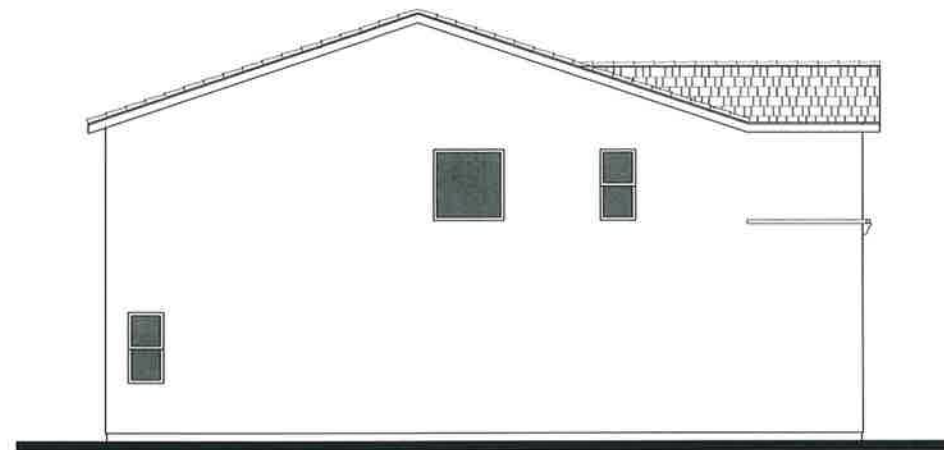
FLOOR AREA TABLE	
1ST FLOOR	944 SQ. FT.
2ND FLOOR	1,346 SQ. FT.
<b>TOTAL LIVING</b>	<b>2270 SQ. FT.</b>
2 - CAR GARAGE	422 SQ. FT.
PORCH	41 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

WINDOW SCHEDULE	
2040 S.H.	3
2040 F.G.	2
4040 F.G.	1
4036 SL.	1
5040 SL.	5
6040 SL.	1
<b>TOTAL</b>	<b>13</b>

LINEAR FEET OF KITCHEN CABS	
BASE CABINETS	18'-10"
UPPER CABINETS	15'-10"





LEFT



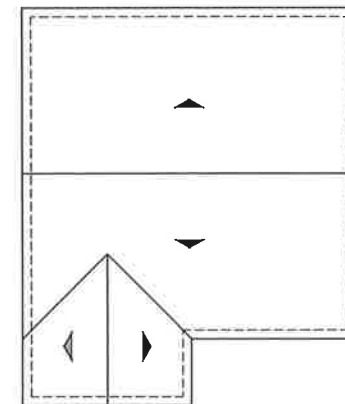
FRONT

NOTE: OPTIONAL COACH LIGHT SHOWN

C - CRAFTSMAN

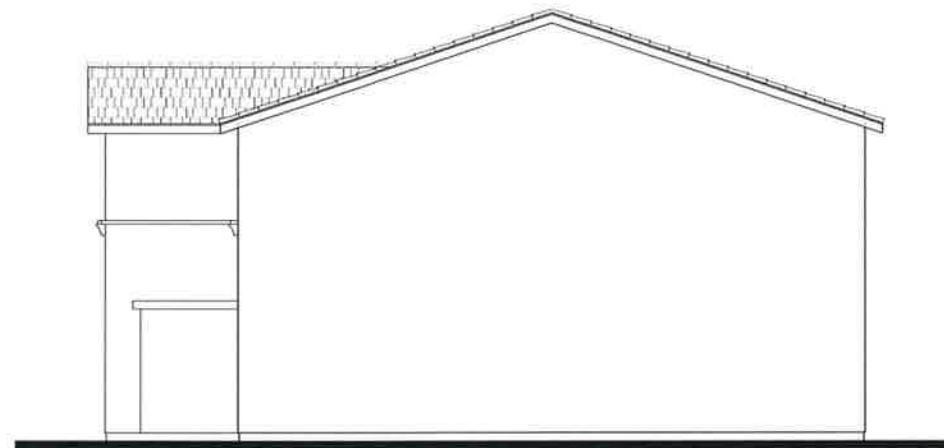
1/4"=1'-0"

OVERALL BUILDING HEIGHT



ROOF PLAN C

PITCH: 4:12  
 RAKE: 12"  
 EAVE: 12"  
 ROOF MATERIAL: CONCRETE FLAT TILE



RIGHT



REAR



FRONT

NOTE: OPTIONAL COACH LIGHT SHOWN

A - SPANISH COLONIAL

1/4"=1'-0"



FRONT

NOTE: OPTIONAL COACH LIGHT SHOWN

B - SANTA BARBARA

1/4"=1'-0"

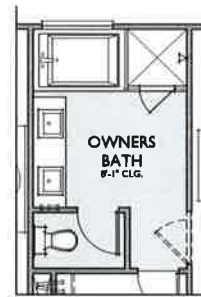


FRONT

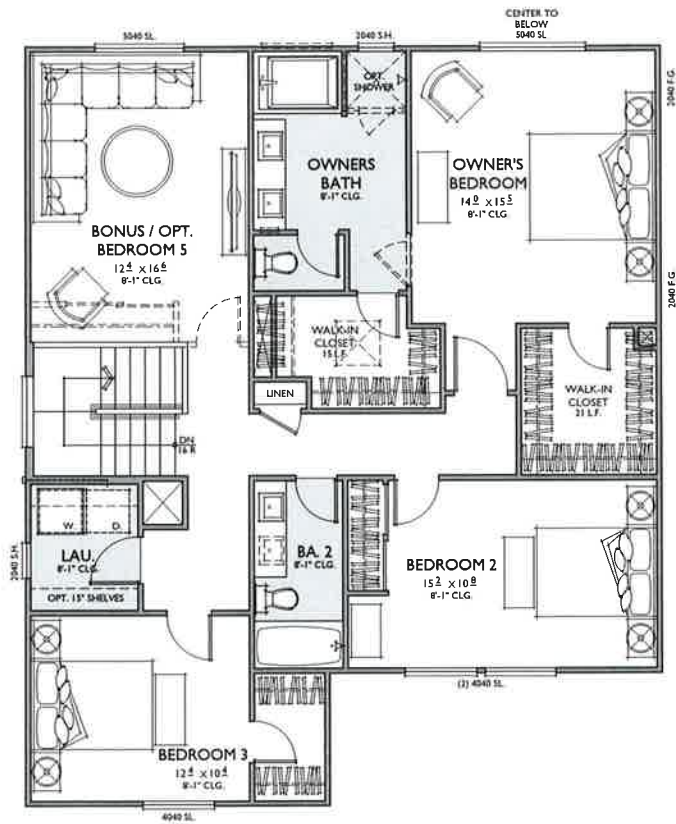
NOTE: OPTIONAL COACH LIGHT SHOWN

C - CRAFTSMAN

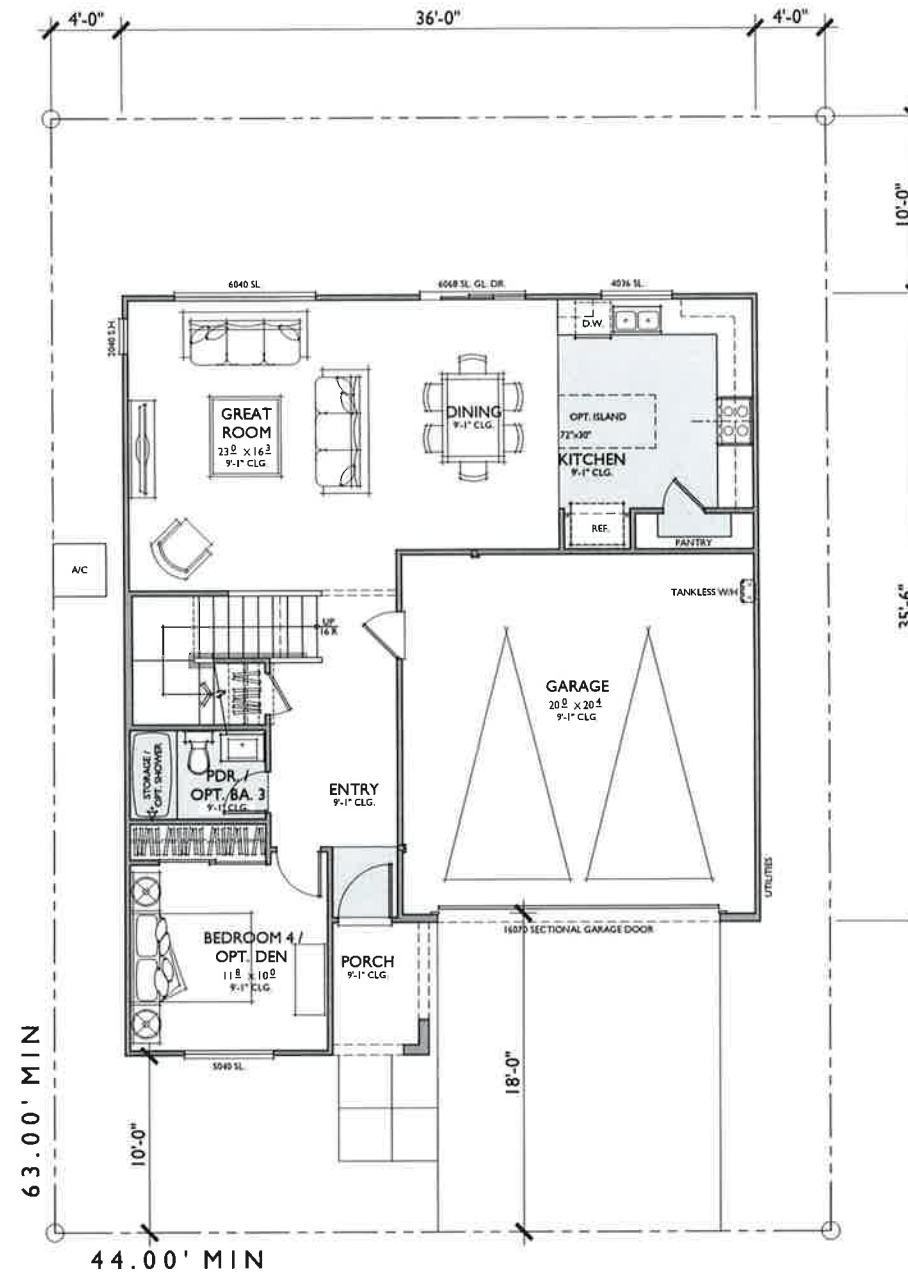
1/4"=1'-0"



**OPT. SHOWER**  
AT OWNERS BATH



**SECOND FLOOR**



**FIRST FLOOR**

**PLAN 4**  
**2,267 SQ. FT.**

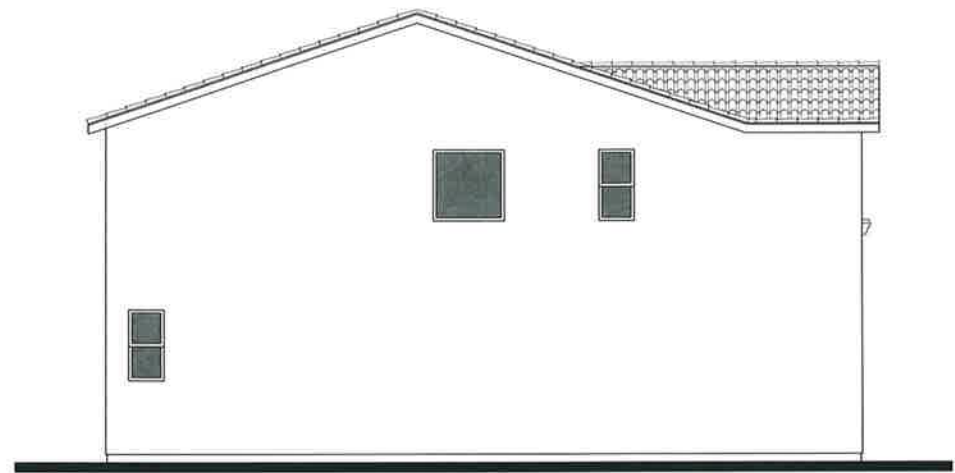
TARGET: 2,203 SQ. FT.  
4 BEDROOMS / 2.5 BATHS + LOFT / OPT.  
BEDROOM 5 + OPT. DEN  
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	944 SQ. FT.
2ND FLOOR	1,344 SQ. FT.
<b>TOTAL LIVING</b>	<b>2267 SQ. FT.</b>
2 - CAR GARAGE	422 SQ. FT.
PORCH	41 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

WINDOW SCHEDULE	
2040 S.H.	3
2040 F.G.	2
4040 F.G.	1
4036 SL.	1
4040 SL.	3
5040 SL.	3
6040 SL.	1
<b>TOTAL</b>	<b>14</b>

LINEAR FEET OF KITCHEN CABS	
BASE CABINETS	18'-10"
UPPER CABINETS	15'-10"



LEFT

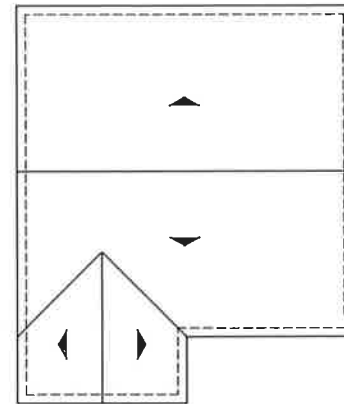


FRONT

NOTE: OPTIONAL COACH LIGHT SHOWN

A - SPANISH COLONIAL

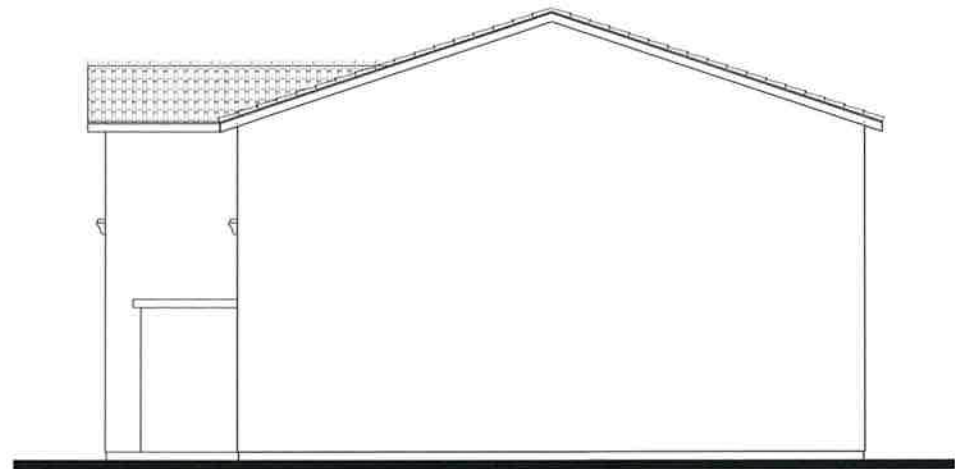
1/4"=1'-0"



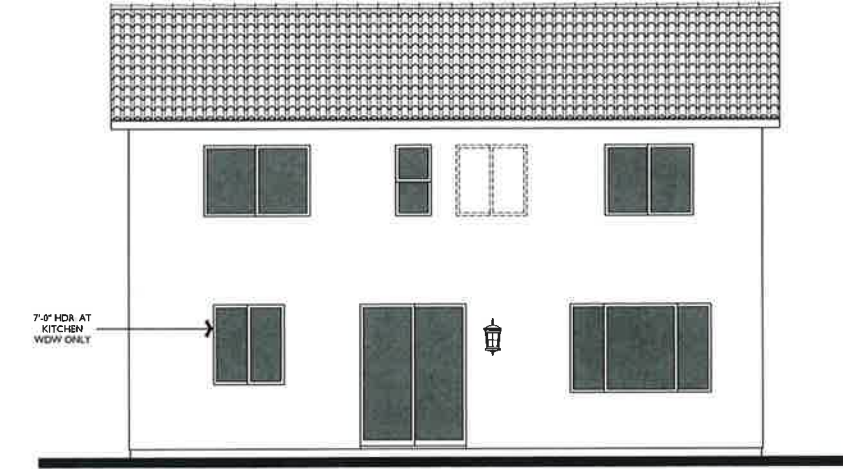
ROOF PLAN

A

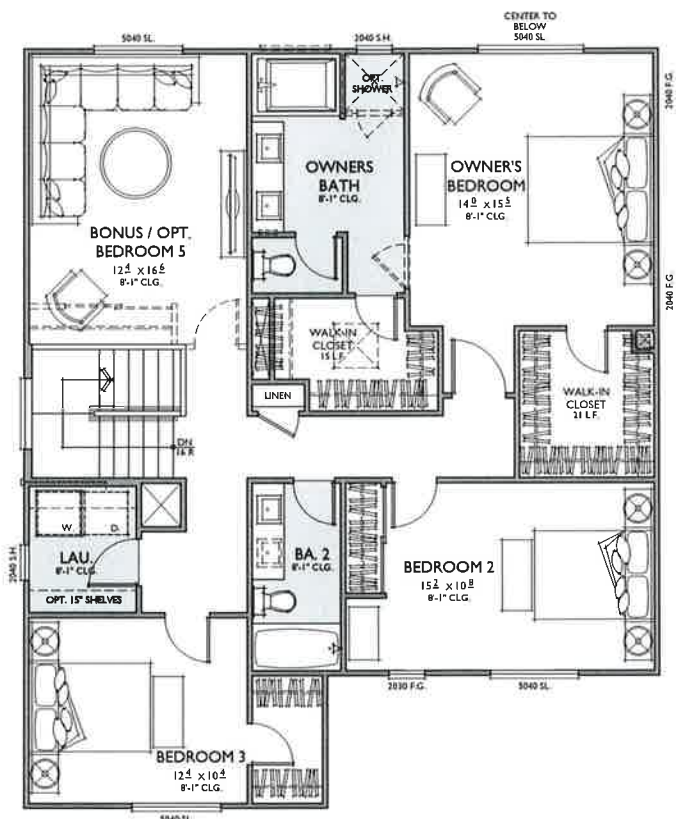
PITCH: 4:12  
RAKE: 12"  
EAVE: 12"  
ROOF MATERIAL: CONCRETE S' TILE



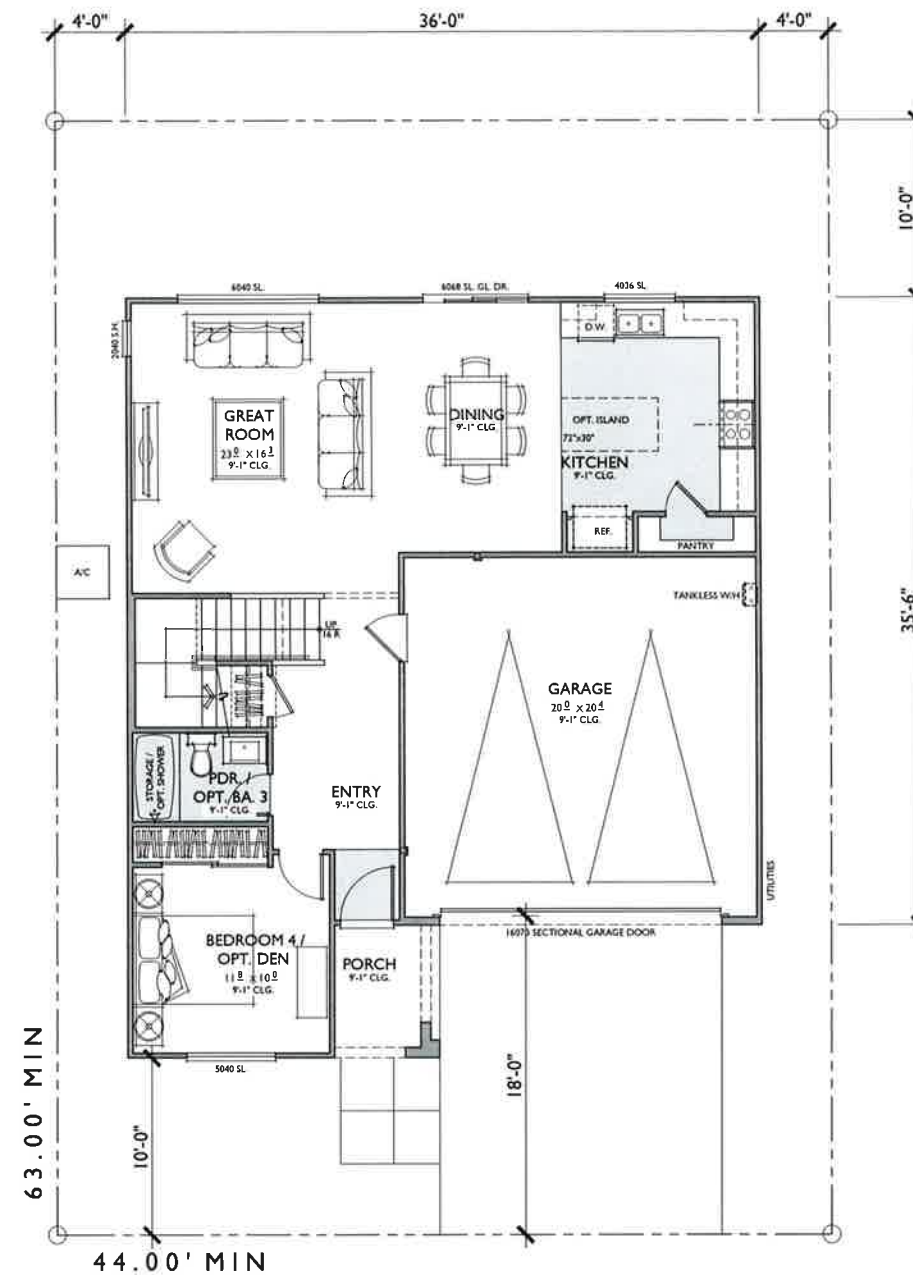
RIGHT



REAR



**SECOND FLOOR**



**FIRST FLOOR**

**PLAN 4**  
**2,267 SQ. FT.**

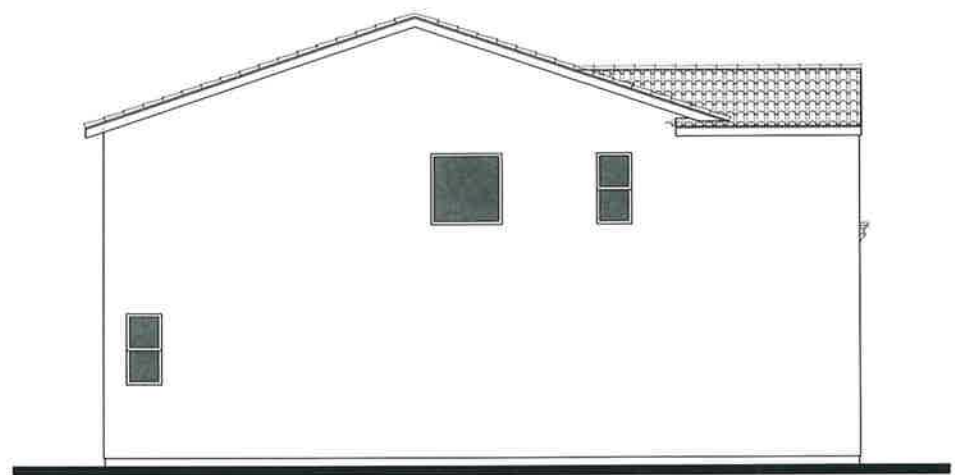
TARGET: 2,203 SQ. FT.  
4 BEDROOMS / 2.5 BATHS + LOFT / OPT.  
BEDROOM 5 + OPT. DEN  
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	944 SQ. FT.
2ND FLOOR	1,344 SQ. FT.
<b>TOTAL LIVING</b>	<b>2267 SQ. FT.</b>
2 - CAR GARAGE	422 SQ. FT.
PORCH	41 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

WINDOW SCHEDULE	
2040 S.H.	1
2040 F.G.	2
4040 F.G.	1
4036 SL.	1
2030 F.G.	1
5040 SL.	5
6040 SL.	1
<b>TOTAL</b>	<b>14</b>

LINEAR FEET OF KITCHEN CABS	
BASE CABINETS	18'-10"
UPPER CABINETS	15'-10"

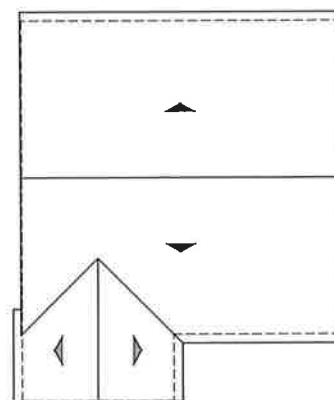


LEFT

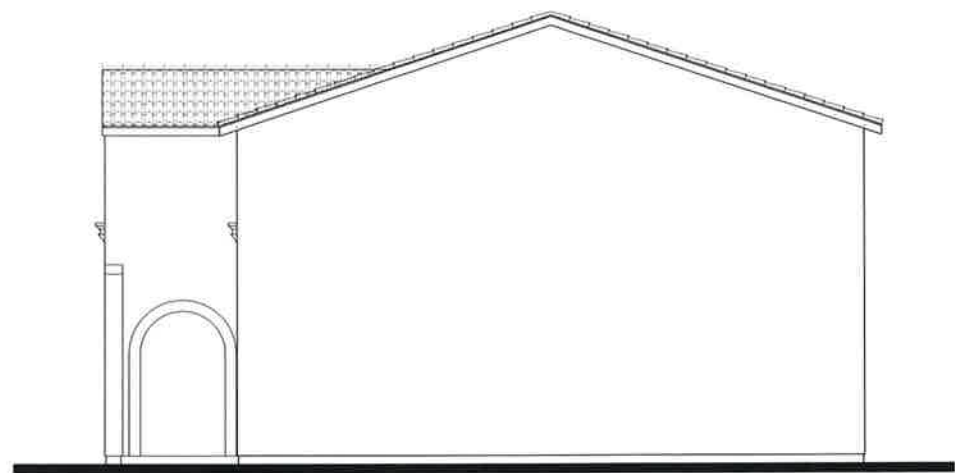


FRONT  
NOTE: OPTIONAL COACH LIGHT SHOWN

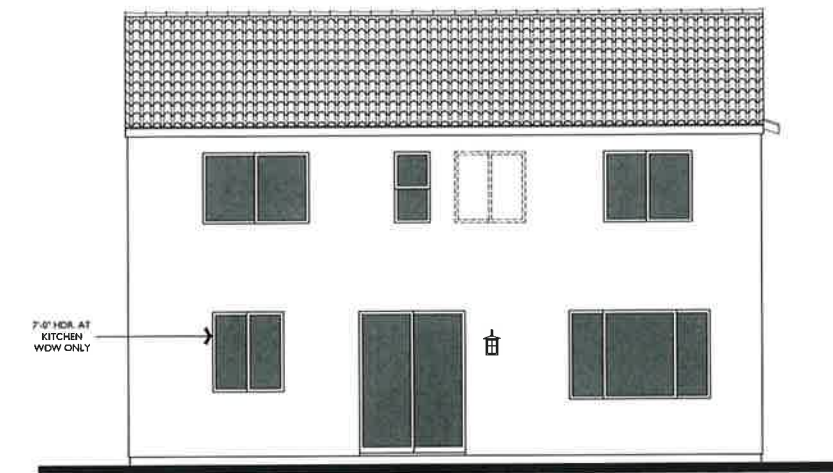
B - SANTA BARBARA  
1/4"=1'-0"



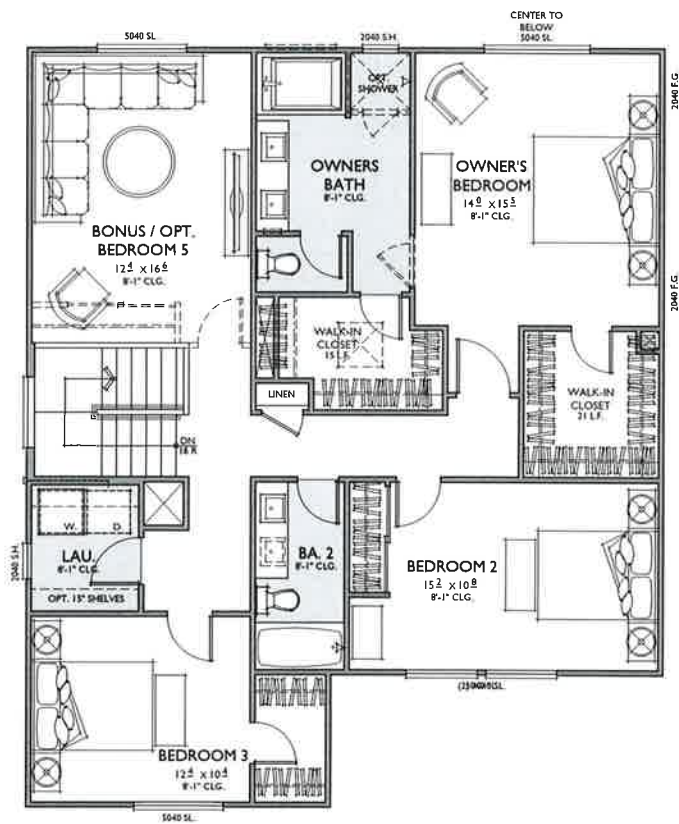
ROOF PLAN B  
PITCH: 4:12  
RAKE: TIGHT  
EAVE: 12"  
ROOF MATERIAL: CONCRETE 'S' TILE



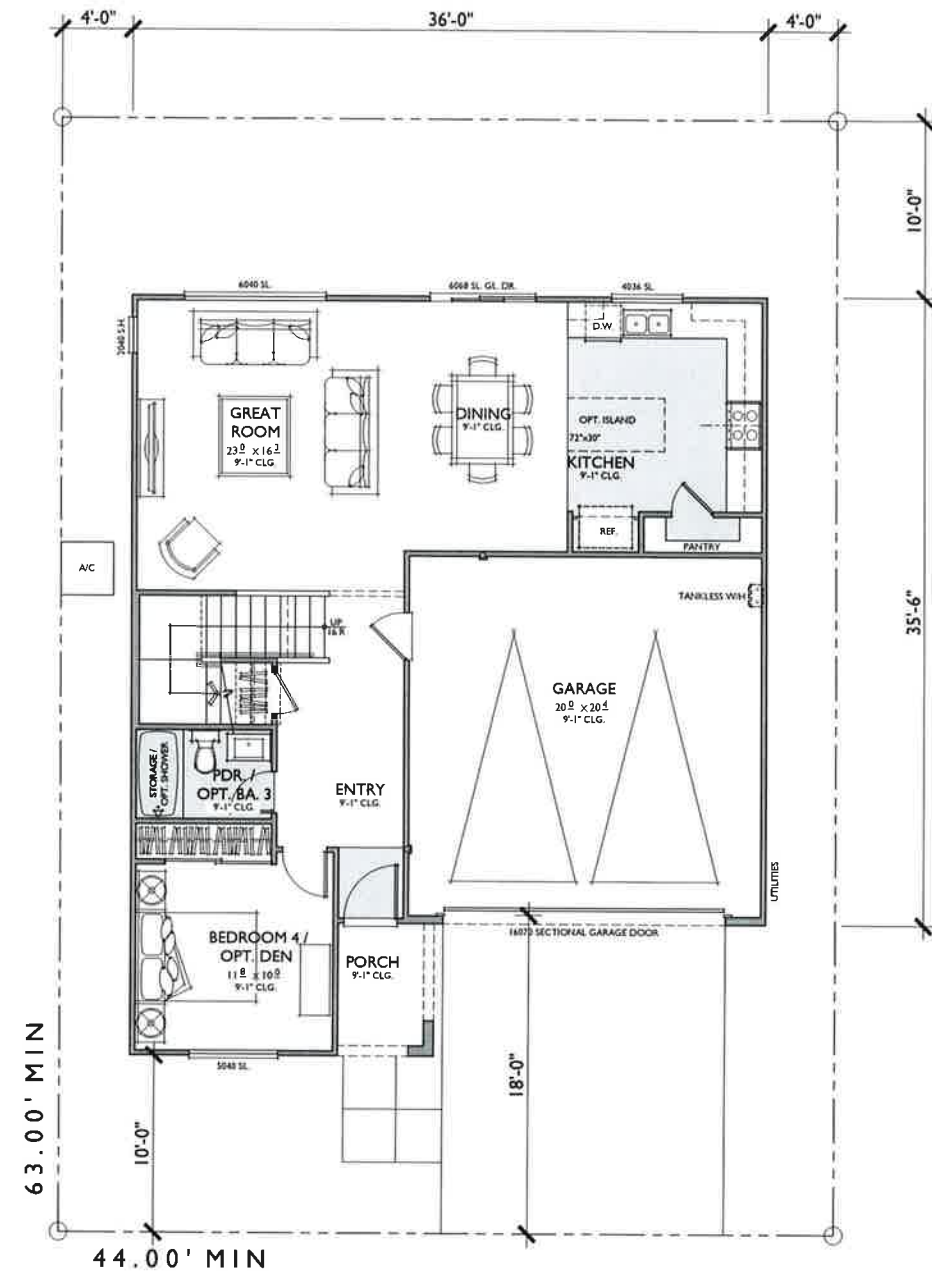
RIGHT



REAR



SECOND FLOOR



FIRST FLOOR

**PLAN 4**  
**2,267 SQ. FT.**

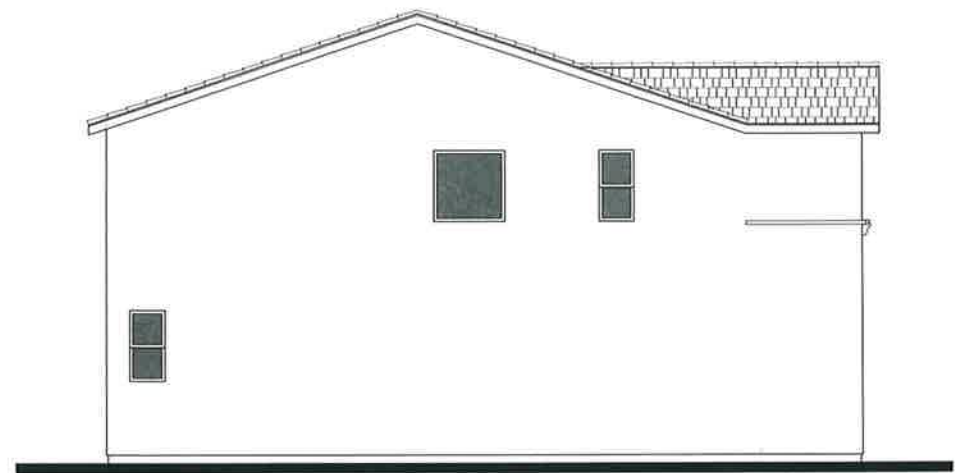
TARGET: 2,203 SQ. FT.  
4 BEDROOMS / 2.5 BATHS + LOFT / OPT.  
BEDROOM 5 + OPT. DEN  
2 - CAR GARAGE

FLOOR AREA TABLE	
1ST FLOOR	944 SQ. FT.
2ND FLOOR	1,344 SQ. FT.
<b>TOTAL LIVING</b>	<b>2267 SQ. FT.</b>
2 - CAR GARAGE	422 SQ. FT.
PORCH	41 SQ. FT.

NOTE: SQUARE FOOTAGE MAY VARY DUE TO METHOD OF CALCULATION

WINDOW SCHEDULE	
2040 S.H.	3
2040 F.G.	2
4040 F.G.	1
4036 SL	1
5040 SL	5
6040 SL	1
<b>TOTAL</b>	<b>13</b>

LINEAR FEET OF KITCHEN CABS	
BASE CABINETS	18'-10"
UPPER CABINETS	15'-10"

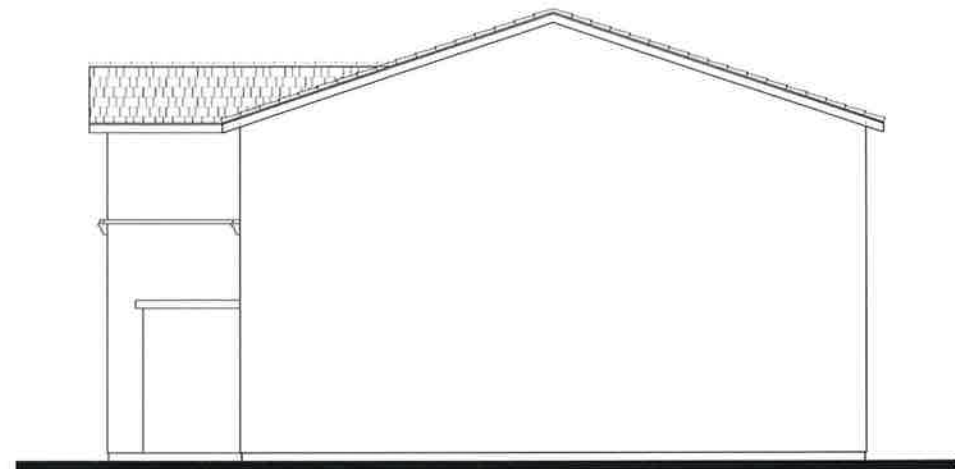


LEFT

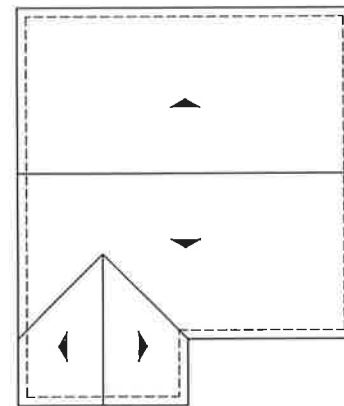


FRONT  
NOTE: OPTIONAL COACH LIGHT SHOWN

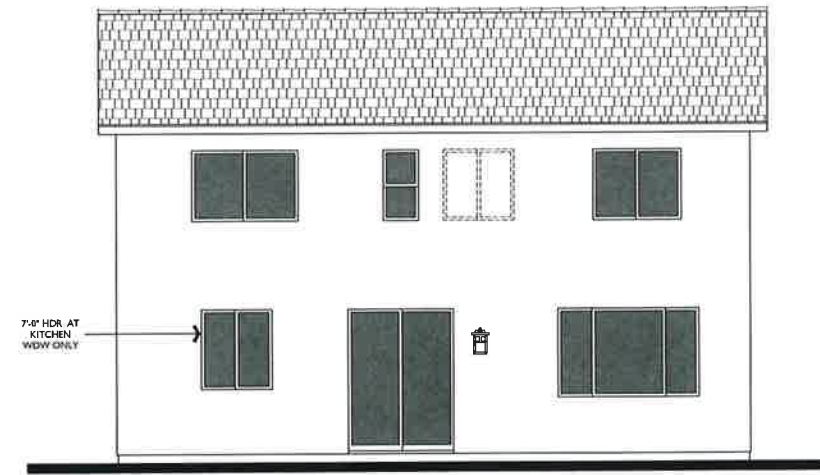
C - CRAFTSMAN  
1/4"=1'-0"



RIGHT



ROOF PLAN C  
PITCH: 4:12  
RAKE: 12"  
EAVE: 12"  
ROOF MATERIAL: CONCRETE FLAT TILE



REAR





# ELSINORE VALLEY MUNICIPAL WATER DISTRICT

## WESTLAKE - TM 33267

### WATER & SEWER IMPROVEMENT PLANS

#### IN THE CITY OF LAKE ELSINORE, COUNTY OF RIVERSIDE

#### GENERAL NOTES

- ALL WORK SHALL CONFORM TO THE ELSINORE VALLEY MUNICIPAL WATER DISTRICT (EVMWD) DESIGN AND CONSTRUCTION STANDARDS FOR WATER, RECYCLED WATER AND SANITARY SEWER FACILITIES.
- CONSTRUCTION MATERIALS TESTING AND INSPECTION SHALL COMPLY WITH STANDARDS AND SPECIFICATIONS AND SHALL MEET OR EXCEED THE REQUIREMENTS OF THE GOVERNING AGENCY, THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION ("GREEN BOOK") AND THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM) STANDARDS. FAILURE TO MEET ANY OF THE ABOVE REQUIREMENTS SHALL BE CAUSE FOR REJECTION.
- THE CONTRACTOR SHALL NOTIFY EVMWD (5) FIVE WORKING DAYS PRIOR TO BEGINNING WORK (95) 674-3146.
- DEPTH AND LOCATION OF EXISTING UNDERGROUND FACILITIES SHALL BE DETERMINED BY THE CONTRACTOR BY POTHOLING AND A FIELD SURVEY OF THE ELEVATIONS AND SHALL BE GIVEN TO THE INSPECTOR PRIOR TO TRENCHING. THE CONTRACTOR SHALL ALSO CONTACT UNDERGROUND SERVICE ALERT (811) PRIOR TO ANY EXCAVATION WORK.
- ALL CONSTRUCTION AND OPERATIONS BY THE CONTRACTOR SHALL BE IN ACCORDANCE WITH CAL-OSHA REQUIREMENTS.
- THE CONTRACTOR SHALL KEEP A COMPLETE RECORD OF ALL CONSTRUCTION CHANGES AND SHALL MAKE INFORMATION AVAILABLE TO THE INSPECTOR FOR PREPARATION OF "AS BUILT" DRAWINGS. THE "AS BUILT" DRAWINGS SHALL BE SUBMITTED TO EVMWD FOR REVIEW PRIOR TO FINAL REVIEW AND ACCEPTANCE OF THE PROJECT.
- WHERE THE WATER MAIN AND SEWER CROSS STORM DRAINS, OTHER PIPELINES, TELEPHONE AND ELECTRIC DUCTS, OR SIMILAR INSTALLATIONS, A MINIMUM OF 12 INCHES OF VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN THE MAIN OR SEWER AND OTHER INSTALLATIONS UNLESS OTHERWISE DIRECTED BY EVMWD PERSONNEL.
- SEPARATION OF SEWER AND WATER LINES MUST COMPLY WITH EVMWD STANDARD PLANS S-3 OR W-2 AND SHALL MEET OR EXCEED THE REQUIREMENTS OF THE STATE OF CALIFORNIA, DEPARTMENT OF PUBLIC HEALTH TITLE 22, CHAPTER 16, ARTICLE 4, SECTION 64572.
- CONNECTIONS TO EXISTING EVMWD SEWER OR WATER LINES SHALL BE IN ACCORDANCE WITH STANDARD EVMWD PROCEDURES AND SHALL NOT BE MADE UNLESS EVMWD INSPECTOR IS PRESENT.
- UNLESS WAIVED BY EVMWD AN INSULATED COPPER SOLID CORE 10 GAGE TRACER WIRE SHALL BE PLACED WITH EACH SEWER MAIN TO ASSIST WITH FUTURE LOCATION. WARNING TAPE SHALL BE PLACED AT LEAST 6" ABOVE SEWER MAIN & SEWER LATERALS, BUT NOT DEEPER THAN 24" BELOW THE EXISTING FINISHED GRADE. WATER MAINS SHALL ALSO HAVE TRACER WIRE AND WARNING TAPE INSTALLED IN THE TRENCH.
- THE LENGTH OF OPEN TRENCH AT ANY ONE TIME SHALL BE LIMITED TO 600 FEET ALONG ROAD RIGHT-OF-WAY UNLESS OTHERWISE AGREED TO IN WRITING BY EVMWD. TRENCH SHALL BE BACKFILLED AND COMPACTED AT THE CONCLUSION OF EACH DAY. OPEN TRENCH LIMITS ARE SUBJECT TO CITY REQUIREMENTS.
- SURFACE IMPROVEMENTS DAMAGED OR REMOVED AS A RESULT OF THE CONTRACTOR'S OPERATIONS SHALL BE RECONSTRUCTED BY THE CONTRACTOR TO THE LOCAL GOVERNING AGENCY'S REQUIREMENTS AT THE CONTRACTOR'S EXPENSE.
- ALL REVISIONS TO THESE DRAWINGS MUST BE APPROVED BY EVMWD ENGINEERING MANAGER.
- IT IS THE PROJECT ENGINEER'S RESPONSIBILITY TO TIE OUT ANY EXISTING STREET MONUMENTATION EITHER VISIBLE OR BURIED, PRIOR TO CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ANY STREET MONUMENTATION IN PLACE. IF ANY MONUMENT IS DISTURBED OR DESTROYED, THE CONTRACTOR WILL BE REQUIRED TO CONTRACT WITH A REGISTERED LAND SURVEYOR FOR THE RE-ESTABLISHMENT AND MAPPING OF THE DESTROYED MONUMENT AT THE CONTRACTOR'S EXPENSE.
- THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED BY A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF EVMWD KNOWLEDGE THERE ARE NO EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT ON RECORD OR NOT SHOWN ON THESE PLANS OR MARKED ON THE GROUND BY UNDERGROUND SERVICE ALERT.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER OR CONTRACTOR TO APPLY FOR ANY NECESSARY ENCROACHMENT PERMIT FROM ALL GOVERNING AGENCIES.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR/DEVELOPER TO STAMP A 2" HIGH "S", "W" OR "TW" ON THE CURB FACE FOR ALL SEWER, WATER, AND IRRIGATION LATERALS AT THE LOCATION WHERE THE LATERAL PASSES BENEATH THE CURB. A "V" SHALL BE STAMPED ON THE CURB FACE AT ALL VALVES.
- A STEEL ROD OR STAKE 6" ABOVE THE GROUND OR 10 GAGE COPPER WIRE WITH 2" COPPER TAG, SHALL BE INSTALLED AT THE END OF EACH SEWER LATERAL TO ASSIST IN LOCATING AT A LATER DATE. IN NEW TRACT DEVELOPMENT A 3"x8" PVC PIPE OR 2"x4"x8" BOARD SHALL BE USED TO MARK THE ENDS OF LATERALS.

#### GENERAL NOTES (CONT.)

- ALL SEWERS SHALL BE BALLED, AIR TESTED, MANDREL TESTED AND CCTV INSPECTED PRIOR TO ACCEPTANCE BY THE DISTRICT. AIR TEST SHALL BE PER UNI-B-6; MANDREL TEST SHALL BE IN ACCORDANCE WITH SECTION 306-1.2.12 OF THE STANDARD SPECIFICATION FOR PUBLIC WORKS CONSTRUCTION AND CLOSED CIRCUIT TELEVISION INSPECTION PER DISTRICT STANDARDS.
- A PROPERTY LINE CLEANOUT WILL BE INSTALLED, 5-1/2' DEEP MINIMUM, OUTSIDE OF RIGHT-OF-WAY LINE. THE 1/4" BEND AND 45° WYE CONNECTION SHALL BE POLYVINYL CHLORIDE (PVC) OR ACRYLONITRILE BUTADIENE STYRENE (ABS).
- PROTECT PIPE, JOINTS, LINING AND COATING, AND BED PIPE CAREFULLY TO PROVIDE CONTINUOUS BEARING AND PREVENT UNEVEN SETTLEMENT. PIPE SHALL BE PROTECTED AGAINST FLOTATION AT ALL TIMES. OPEN ENDS OF THE INSTALLED SEWER PIPE SHALL BE SEALED AT ALL TIMES WHEN CONSTRUCTION IS NOT IN PROCESS.
- PIPE JOINTS SHALL NOT BE DEFLECTED GREATER THAN 80% OF THE MAXIMUM ANGLE RECOMMENDED BY THE PIPE MANUFACTURER.
- SEWER AND WATER PIPE TRENCH BACKFILL SHALL BE IN ACCORDANCE WITH EVMWD STANDARD DRAWINGS S-1 & W-3 AND THE GOVERNING AGENCY. A FULL TIME SOILS TECHNICIAN MUST BE ON SITE DURING BACKFILLING AND COMPACTION.
- ALL SERVICE LATERALS SHALL BE LOCATED AT RIGHT ANGLES TO THE MAIN UNLESS OTHERWISE INDICATED ON THE PLANS AND ACCEPTED BY EVMWD. MATERIALS FOR LATERALS SHALL MEET EVMWD SPECIFICATIONS. SEWER ELEVATIONS SHOWN ARE FLOWLINE (CONDUIT INVERT).
- MINIMUM COVER FOR ALL WATER MAINS LESS THAN 12 INCHES IN DIAMETER SHALL BE 3.5 FEET. WATER MAINS 12 INCHES AND GREATER SHALL HAVE A MINIMUM COVER OF 4 FEET. MAXIMUM COVER FOR WATER MAINS SHALL BE 8 FEET, UNLESS ACCEPTED BY THE EVMWD ENGINEERING MANAGER.
- WHEREVER VALVES ARE TO BE INSTALLED, THE INVERT SLOPE OF THE MAIN SHALL NOT EXCEED SIX PERCENT. VALVES SHALL BE LOCATED SO THAT THERE WILL BE A MINIMUM CLEARANCE OF 6 INCHES BETWEEN THE TOP OF THE VALVE AND THE BOTTOM OF THE VALVE BOX COVER AT STREET SECTIONS.
- THE MINIMUM CLEARANCE BETWEEN FIRE HYDRANTS AND UTILITY POLES, LIGHT STANDARDS AND SIGN POSTS SHALL BE 3 FEET.
- NO WATER METER BOXES SHALL BE INSTALLED IN DRIVEWAYS OR SIDEWALKS. METER BOXES SHALL BE SET AT HIGH GRADE TO ELIMINATE WATER RUNOFF. INSTALL REDUCED PRESSURE PRINCIPLE OR BACK FLOW DEVICE AFTER IRRIGATION METER. INSTALL A PRESSURE REGULATOR ON HOMES OR BUSINESSES IF THE PRESSURE IS OVER 80 PSI. A PRESSURE REGULATOR SHALL BE INSTALLED PRIOR TO ENTERING IN THE PIPING THE HOUSE/BUILDING PLUMBING.
- ANY CHANGE IN FLOW DIRECTION (BENDS, TEES, FIRE HYDRANTS, ETC.) SHALL UTILIZE RESTRAINED DUCTILE IRON PIPE AND FITTINGS, IN LIEU OF THRUST BLOCKS.
- AIR VALVES SHALL BE INSTALLED AT HIGH POINTS AND BLOWOFFS AT ALL LOW POINTS ON THE LINE AS PER EVMWD STANDARD DRAWINGS W-16 AND W-17.
- IF REQUIRED, A RESERVOIR AND BOOSTER PUMP STATION WILL HAVE TO BE CONSTRUCTED AND IN SERVICE BEFORE ANY SERVICE CAN BE PROVIDED TO THE UNITS CONSTRUCTED WITHIN THIS SUBDIVISION.
- PRIOR TO PAVING THE STREET SECTION, ALL UNDERGROUND FACILITIES WITH LATERALS, INCLUDING BUT NOT LIMITED TO SEWER, WATER, TELEPHONE, ELECTRIC POWER, GAS, CABLE TELEVISION AND DRAINAGE FACILITIES SHALL BE IN PLACE, TESTED AND ACCEPTED BY THE RESPONSIBLE UTILITY/AGENCY.
- HOUSE SLAB ELEVATIONS THAT ARE LOWER THAN THE UPSTREAM MANHOLE RIM ELEVATION SHALL BE EQUIPPED WITH BACKWATER VALVES. THE PROJECT ENGINEER SHALL INDICATE ON THE SEWER LATERAL TABLE WHICH LOTS ARE INVOLVED.
- PRIOR TO THE CONSTRUCTION OF ANY BACKFLOW PROTECTION DEVICE, THE CONTRACTOR SHALL NOTIFY THE DISTRICT BACKFLOW ASSEMBLY INSPECTOR 24 HOURS PRIOR TO THE CONSTRUCTION OF ASSEMBLY. THE DISTRICT BACKFLOW INSPECTOR SHALL PROVIDE FINAL INSPECTION, TESTING AND ACCEPTANCE PRIOR TO TURNING ON THE WATER SUPPLY.
- SURVEY STAKING FOR WATER PIPELINES IS AT 50-FOOT INTERVALS PLUS ALL APPURTENANCES, HORIZONTAL ALIGNMENT CHANGES, SURVEY STAKING FOR SEWER PIPELINES IS AT 25-FOOT INTERVALS PLUS ALL LATERALS, MANHOLES IN AND OUT, APPURTENANCES, CLEANOUTS, HORIZONTAL & VERTICAL ALIGNMENT CHANGES.
- ALL WATER VALVES IN UNPAVED AREAS SHALL BE SURROUNDED BY AN ASPHALT PAD INSTALLED IN ACCORDANCE WITH EVMWD STANDARD DRAWING W-27. A VALVE MARKER SHALL BE INSTALLED IN UNPAVED AREAS IN ACCORDANCE WITH EVMWD STANDARD DRAWING W-28.
- ALL MANHOLES INSTALLED IN UNPAVED AREAS SHALL BE SURROUNDED BY AN ASPHALT PAD INSTALLED IN ACCORDANCE WITH EVMWD STANDARD DRAWING S-10.
- ALL FACILITIES LOCATED DOWNSTREAM OF THE WATER METER AND FIRE DETECTOR CHECK METER ARE PRIVATE AND ARE TO BE MAINTAINED BY THE OWNER.
- INTERIOR OF SEWER MANHOLES SHALL RECEIVE SPRAY-ON EPOXY COATING OR POLYURETHANE LINING. REFER TO ACCEPTED MATERIALS GUIDELINE LIST OF APPROVED MANUFACTURERS.

#### SHEET INDEX

SHEET NO.	DESCRIPTION
1	TITLE SHEET
2	INDEX MAP AND CONSTRUCTION NOTES
3	DATA TABLES
4	LATERAL DATA TABLES
5	WESTLAKE POINTE CAPSTAN COURT
6	PACIFICA PLACE STA 10+00.00 TO 17+50.00
7	PACIFICA PLACE STA 17+50.00 TO 21+21.47 TEMPE STREET
8	MIDDLEGATE PLACE STA 10+00.00 TO 17+50.00
9	MIDDLEGATE PLACE STA 17+50.00 TO 22+27.99 BASIN SEWER LINE
10	CROWN POINT LANE STA 10+00.00 TO 17+50.00
11	CROWN POINT LANE STA 17+50.00 TO 22+25.73
12	SHORECREST WAY, HALYARD COURT
13	BREEZEPORT WAY, INLET WAY

#### ASSESSOR'S PARCEL NUMBERS

379-050-006, 379-050-034

#### LEGAL DESCRIPTION

THAT PORTION OF LOTS 1 AND 2 IN BLOCK "C" OF THE LA LAGUNA RANCH, INT THE CITY OF LAKE ELSINORE, AS SHOWN BY MAP ON FILE IN BOOK 1 PAGE(S) 36 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF RIVERSIDE COUNTY, CALIFORNIA

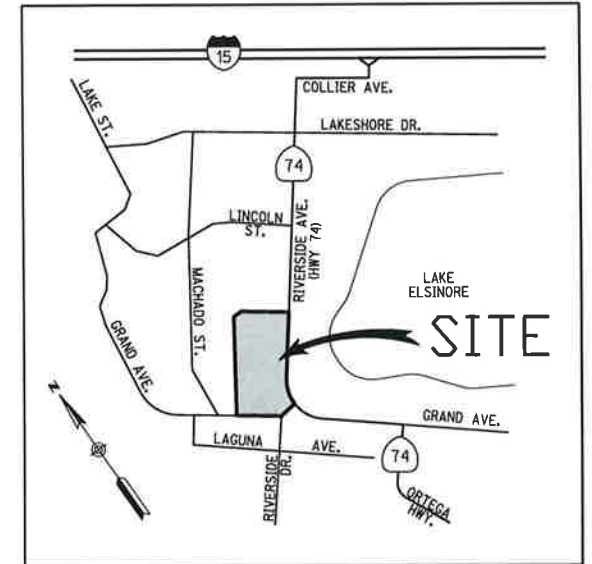
#### WATER RIGHTS STATEMENT

AS A CONDITION OF SERVICE, THE APPLICANT SHALL EXECUTE A NOTARIZED GRANT DEED CONVEYING TO THE DISTRICT ALL RIGHTS TO WATER, INCLUDING SURFACE AND GROUNDWATER RIGHTS OVER, UPON AND UNDER THE PROPERTY AND WHICH ARE APPURTENANT THERETO OR ARE OTHERWISE ASSOCIATED WITH THE PROPERTY. THE DISTRICT SHALL PROVIDE THE APPLICANT WITH A GRANT DEED, THE GRANT DEED SHALL BE COMPLETED AND RETURNED TO THE DISTRICT, AND SHALL BE RECORDED WITH THE COUNTY RECORDER'S OFFICE.

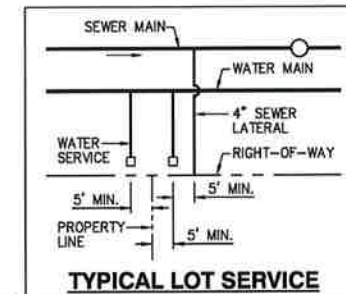
RECORDED DOCUMENT # \_\_\_\_\_

#### NOTIFICATIONS

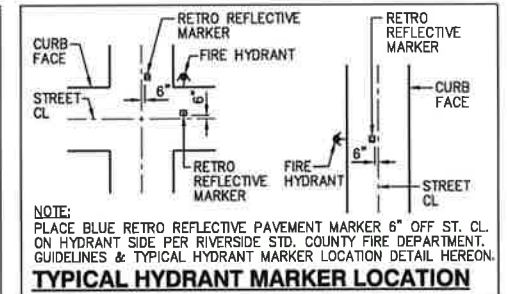
NOTE: THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITIES OR AGENCIES FORTY-EIGHT (48) HOURS PRIOR TO STARTING CONSTRUCTION OR EXCAVATION.  
 CITY OF LAKE ELSINORE 1-951-674-3124  
 ELSINORE VALLEY MUNICIPAL WATER DISTRICT 1-951-674-3146  
 VERIZON TELEPHONE 1-951-225-3617  
 SOUTHERN CALIFORNIA GAS COMPANY 1-909-335-7530  
 SOUTHERN CALIFORNIA EDISON COMPANY 1-714-796-9920  
 ADELPHIA CABLEVISION 1-909-652-0020  
 UNDERGROUND SERVICE ALERT (U.S.A.) 1-800-227-2600



VICINITY MAP  
NOT TO SCALE



TYPICAL LOT SERVICE



TYPICAL HYDRANT MARKER LOCATION  
NOTE: PLACE BLUE RETRO REFLECTIVE PAVEMENT MARKER 6" OFF ST. CL. ON HYDRANT SIDE PER RIVERSIDE STD. COUNTY FIRE DEPARTMENT. GUIDELINES & TYPICAL HYDRANT MARKER LOCATION DETAIL HEREON.

#### Underground Service Alert



THE DESIGN AND CONSTRUCTION OF THE PROJECT AS WELL AS THE ACCURACY OF FIGURES, ARE THE RESPONSIBILITY OF THE DESIGN ENGINEER. PLAN CHECK SERVICES BY E.V.M.W.D. WILL BE LIMITED TO ADHERENCE OF THE DISTRICT'S STANDARDS, MATERIALS, QUANTITIES AND SIZE OF FACILITIES, AS THEY RELATE TO THE SERVICE DEMANDS OR THE APPROVED MASTER PLAN.

#### RIVERSIDE COUNTY FIRE DEPARTMENT

APPROVED BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

I CERTIFY THAT THE DESIGN OF THE WATER SYSTEM IS IN ACCORDANCE WITH THE REQUIREMENTS PRESCRIBED BY THE RIVERSIDE COUNTY FIRE DEPARTMENT

BARRY J. COWAN DATE \_\_\_\_\_

#### BENCHMARK

ELEVATION: XX  
DATE: XX  
DATUM: XX  
DESCRIPTION: CA DOT BM 13-B-93 LOCATION WESTERLY CURB RIVERSIDE DRIVE OPPOSITE FIRE HYDRANT AND 365 FEET NORTHERLY OF JOY STREET.

#### VERIFY SCALES

BAR IS ONE INCH ON ORIGINAL DRAWING  
0 1  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

#### EXISTING UTILITY DISCLAIMER NOTE

APPROVAL OF THIS PLAN BY THE ELSINORE VALLEY MUNICIPAL WATER DISTRICT DOES NOT CONSTITUTE A REPRESENTATION AS TO THE ACCURACY OF THE LOCATION OF, OR THE EXISTENCE OF, ANY UNDERGROUND UTILITY, PIPE, OR STRUCTURE WITHIN THE LIMITS OF THIS PROJECT.

#### OWNER/DEVELOPER

PARDEE HOMES  
1250 CORONA POINTE COURT,  
SUITE 600  
CORONA, CA 92879  
(951) 428-4400

WATER/SEWER APPROVED BY:  
ELSINORE VALLEY MUNICIPAL WATER DISTRICT

ASSISTANT GENERAL MANAGER DATE \_\_\_\_\_

#### DEPARTMENT APPROVALS

ENGINEERING WATER WASTEWATER

DESIGNED BY: DB DRAWN BY: DB CHECKED BY: XX



SUBMITTED BY:

BARRY J. COWAN R.C.E. 46568 EXP. 6/30/19

DATE: \_\_\_\_\_

PLANS PREPARED BY:

**RICK**  
ENGINEERING COMPANY  
36 DISCOVERY - SUITE 240  
IRVINE, CA 92618  
949-589-0707  
San Diego - Riverside - Sacramento - San Luis Obispo - Florence - Tucson - Denver

RES: XX

P.Z.: XX

#### ELSINORE VALLEY MUNICIPAL WATER DISTRICT

WATER AND SEWER IMPROVEMENT PLANS  
WESTLAKE - TM 33267

TITLE SHEET

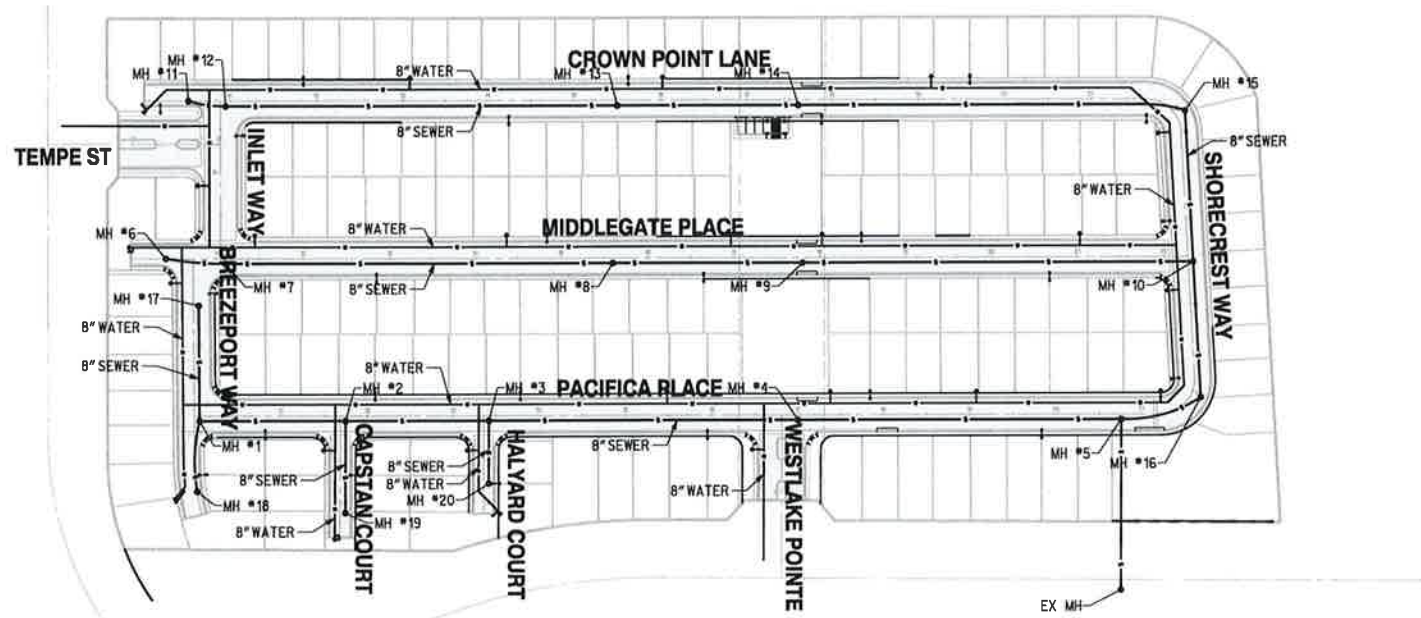
SHEET NO.

1

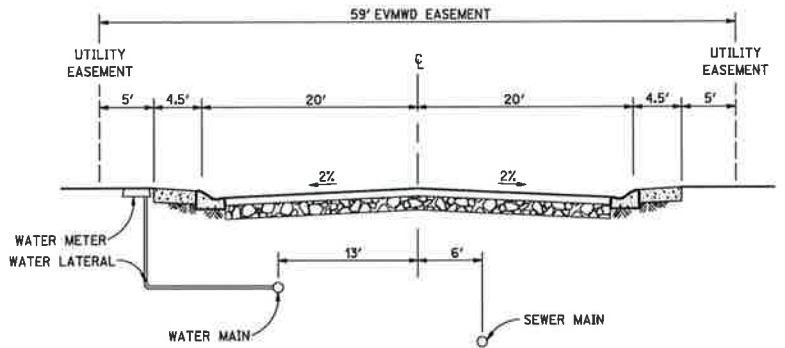
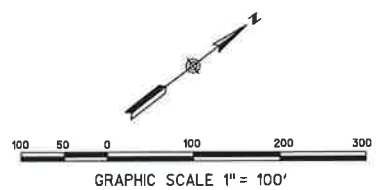
OF 13 SHTS

FILE NO.

XX



INDEX MAP



TYPICAL STREET SECTION (40' CURB TO CURB)  
NO SCALE

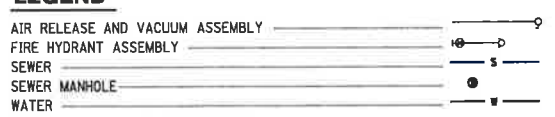
**WATER CONSTRUCTION NOTES**

- ① INSTALL HIGH DEFLECTION COUPLING (DI FITTINGS WITH RESTRAINED JOINTS AND THRUST BLOCKS) \_\_\_\_\_ XX
- ② INSTALL 8" PVC C900 WATER MAIN (CL-235) PER EVMWD STD W-3, WITH RESTRAINED JOINTS PER EVMWD STD W-4. \_\_\_\_\_ XX
- ③ INSTALL 8" 45° DI RESTRAINED JOINT BEND PER EVMWD STD W-4. \_\_\_\_\_ XX
- ④ INSTALL 8"x8"x8" DI TEE PER EVMWD STD W-4 (RESTRAINED). \_\_\_\_\_ XX
- ⑤ INSTALL 8" GATE VALVE, FLxFL, VALVE WELL AND RISER DETAIL PER EVMWD STD W-13. \_\_\_\_\_ XX
- ⑥ INSTALL 1" AIR RELEASE & VACUUM RELIEF ASSEMBLY PER EVMWD STD W-16. \_\_\_\_\_ XX
- ⑦ INSTALL 6"x4"x2.5" FIRE HYDRANT ASSEMBLY WITH BLUE RETROREFLECTIVE PAVEMENT MARKER PER EVMWD STD W-7. COLOR CODE = CHROME YELLOW BARREL W/ CAPS & TOPS GREEN (CLASS A) \_\_\_\_\_ XX
- ⑧ INSTALL 1" WATER SERVICE CONNECTION WITH 3/4" METER PER EVMWD STD W-9a. \_\_\_\_\_ XX

**SEWER CONSTRUCTION NOTES**

- ⑨ INSTALL 8" PVC SDR-35 SEWER MAIN PER EVMWD STD S-1 \_\_\_\_\_ XX
- ⑩ CONSTRUCT 5' DIAMETER SEWER MANHOLE PER EVMWD STD S-5 \_\_\_\_\_ XX
- ⑪ INSTALL 4" PVC SDR-35 SEWER LATERAL PER EVMWD STD S-12, S-13 & S-14. \_\_\_\_\_ XX

**LEGEND**



**ABBREVIATIONS**

- BC \_\_\_\_\_ BEGIN CURVE
- EC \_\_\_\_\_ END CURVE
- FH \_\_\_\_\_ FIRE HYDRANT
- MH \_\_\_\_\_ MANHOLE
- IE \_\_\_\_\_ INVERT ELEVATION
- FG \_\_\_\_\_ FINISH GRADE
- GB \_\_\_\_\_ GRADE BREAK
- DI \_\_\_\_\_ DUCTILE IRON
- FL \_\_\_\_\_ FLANGE
- MJ \_\_\_\_\_ MECHANICAL JOINT

**TOTAL ESTIMATED QUANTITIES**

0:\18190-0 The V11100a of Lokeshora.dwg  
 0:\18190-0 The V11100a of Lokeshora.dwg  
 22-SEP-2018 13:06



**BASIS OF BEARING**  
DESCRIPTION: CENTER LINE OF GRAND AVENUE, N52°53'08"W

**VERIFY SCALES**  
BAR IS ONE INCH ON ORIGINAL DRAWING  
0 1  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

**SUBMITTED BY:**  
BARRY J. COWAN R.C.E. 48568  
EXP. 6/30/19  
DATE: \_\_\_\_\_

REV	BY	DATE	REVISIONS	APPR.	DATE

DESIGNED BY: DK      DRAWN BY: DK      CHECKED BY: DB



PLANS PREPARED BY:  
**RICK ENGINEERING COMPANY**  
36 DISCOVERY - SUITE 240  
IRVINE, CA 92618  
949-588-0707  
rickengineering.com  
Orange      San Diego - Riverside - Sacramento - San Luis Obispo - Phoenix - Tucson - Denver

SEE SHEET 3 FOR DATA TABLES

**ELSOR VALLEY MUNICIPAL WATER DISTRICT**  
WATER AND SEWER IMPROVEMENT PLANS  
WESTLAKE - TM 33267  
INDEX MAP AND CONSTRUCTION NOTES

RES: \_\_\_\_\_      P.Z.: 1750

PRELIMINARY  
NOT FOR CONSTRUCTION

SHEET NO. **2**  
OF 13 SHTS  
FILE NO. XX

PLAN SET DATE: 09/02/15

ENG. W.O.# XXXX-XXX      INSPECTION W.O.# \_\_\_\_\_

CENTERLINE DATA				
NO.	DELTA OR BRG.	RADIUS	LENGTH	REMARKS
1	N52° 29' 04" W		189.22'	WESTLAKE POINTE
2	N37° 10' 10" E		750.00'	PACIFICA PLACE
3	N37° 10' 10" E		371.47'	PACIFICA PLACE
4	N37° 10' 10" E		750.00'	MIDDLEGATE PLACE
5	N37° 10' 10" E		477.99'	MIDDLEGATE PLACE
6	N37° 10' 10" E		750.00'	CROWN POINT LANE
7	N37° 10' 10" E		414.99'	CROWN POINT LANE
8	Δ=87° 00' 00"	40.00'	60.74'	CROWN POINT LANE
9	N55° 49' 50" W		284.39'	SHORECREST WAY
10	Δ=93° 00' 00"	40.00'	64.93'	SHORECREST WAY
11	N53° 13' 21" W		231.18'	BREEZEPORT WAY
12	Δ=13° 29' 31"	280.00'	65.93'	BREEZEPORT WAY
13	N52° 49' 50" W		182.00'	INLET WAY
14	N52° 29' 04" W		140.99'	CAPSTAN COURT
15	N52° 29' 04" W		113.70'	HALYARD COURT
16	N37° 07' 23" E		202.04'	TEMPE ST

WATER DATA				
NO.	DELTA OR BRG.	RADIUS	LENGTH	REMARKS
1	N37° 10' 10" E		1142.55'	
2	N37° 10' 10" E		1216.79'	
3	N07° 49' 50" W		36.77'	
4	N37° 10' 10" E		1120.48'	
5	N79° 10' 10" E		60.40'	
6	N55° 49' 50" W		304.57'	
7	N07° 49' 50" W		27.48'	
8	N53° 13' 21" W		244.27'	
9	Δ=06° 17' 48"	293.00'	32.20'	
10	N14° 31' 09" W		19.37'	
11	N52° 49' 50" W		182.00'	
12	N52° 29' 04" W		156.45'	
13	N52° 29' 04" W		100.66'	
14	N82° 30' 56" E		36.77'	
15	N37° 07' 23" E		173.06'	

SEWER DATA				
NO.	DELTA OR BRG.	RADIUS	LENGTH	REMARKS
1	N37° 10' 10" E		168.94'	
2	N37° 10' 10" E		167.00'	
3	N37° 10' 10" E		358.01'	
4	N37° 10' 10" E		375.74'	
5	Δ=09° 48' 51"	410.00'	70.23'	
6	N37° 10' 10" E		449.35'	
7	N37° 10' 10" E		220.00'	
8	N37° 10' 10" E		454.31'	
9	Δ=15° 44' 26"	160.00'	43.96'	
10	N37° 10' 10" E		454.85'	
11	N37° 10' 10" E		210.00'	
12	N37° 10' 10" E		401.21'	
13	Δ=17° 37' 40"	160.00'	49.23'	
14	N55° 49' 50" W		174.73'	
15	N55° 49' 50" W		157.20'	
16	Δ=32° 28' 20"	160.00'	90.68'	
17	N52° 26' 51" W		197.86'	
18	N53° 13' 21" W		133.59'	
19	Δ=23° 35' 35"	200.00'	82.36'	
20	N52° 29' 04" W		106.73'	
21	N52° 29' 04" W		72.75'	

05-18190-0 The Village of Lakebore TM 33267 CIVIL SHEETS, ENR0018190\_04103.dgn  
 05-18190-0 The Village of Lakebore TM 33267 CIVIL SHEETS, ENR0018190\_04103.dgn  
 25-SEP-2018 13:06



**BASIS OF BEARING**  
 DESCRIPTION: CENTER LINE OF GRAND AVENUE, N52°53'08" W

**VERIFY SCALES**  
 BAR IS ONE INCH ON ORIGINAL DRAWING  
 0 1  
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

**SUBMITTED BY:**  
 BARRY J. COWAN R.C.E. 48588  
 EXP. 6/30/19

THE DESIGN AND CONSTRUCTION OF THE PROJECT AS WELL AS THE ACCURACY OF FIGURES, ARE THE RESPONSIBILITY OF THE DESIGN ENGINEER. PLAN CHECK SERVICES BY E.V.M.W.D. WILL BE LIMITED TO ADHERENCE OF THE DISTRICT'S STANDARDS, MATERIALS, QUANTITIES AND SIZE OF FACILITIES, AS THEY RELATE TO THE SERVICE DEMANDS OR THE APPROVED MASTER PLAN.

REV	BY	DATE	REVISIONS	APPR.	DATE

DESIGNED BY: DK      DRAWN BY: DK      CHECKED BY: DB



PLANS PREPARED BY:

**RICK ENGINEERING COMPANY**  
 36 DISCOVERY - SUITE 240  
 IRVINE, CA 92618  
 949-588-0707  
 J-18190  
 rickengineering.com  
 Orange San Diego - Riverside - Sacramento - San Luis Obispo - Phoenix - Tucson - Denver

SEE SHEET 3 FOR DATA TABLES

**ELSOR VALLEY MUNICIPAL WATER DISTRICT**  
 WATER AND SEWER IMPROVEMENT PLANS  
 WESTLAKE - TM 33267  
 DATA TABLES

RES: \_\_\_\_\_ P.Z.: 1750

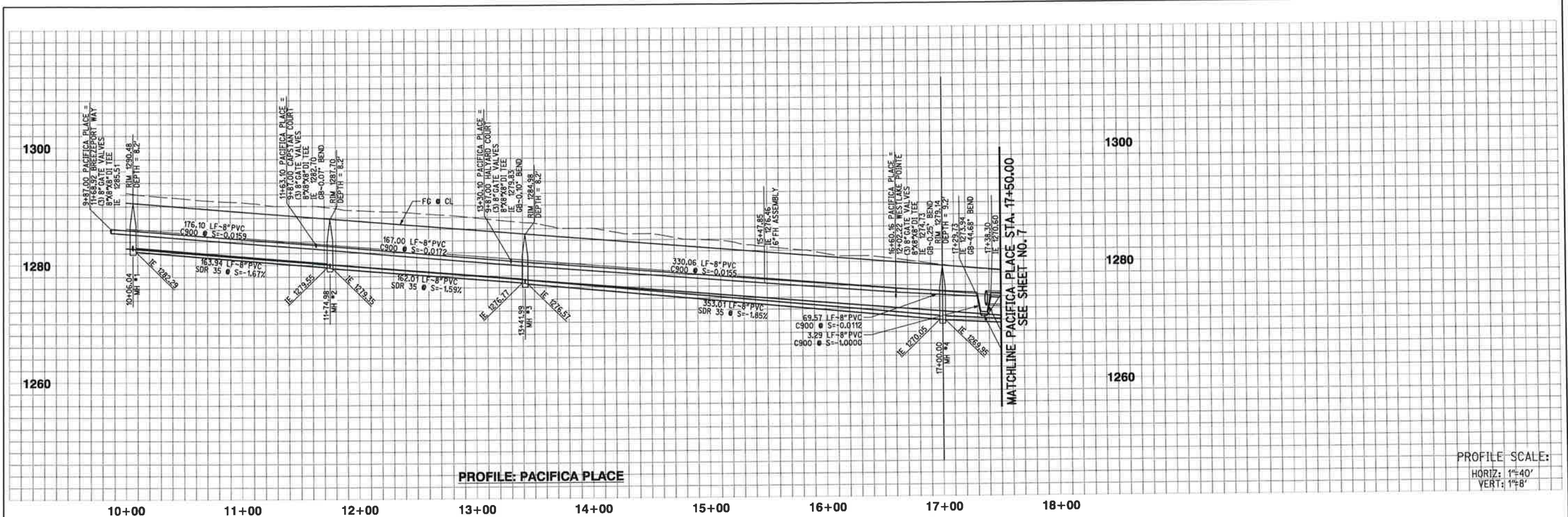
PRELIMINARY  
 NOT FOR CONSTRUCTION

SHEET NO. 3 OF 13 SHTS  
 FILE NO. XX  
 PLAN SET DATE: 09/02/15

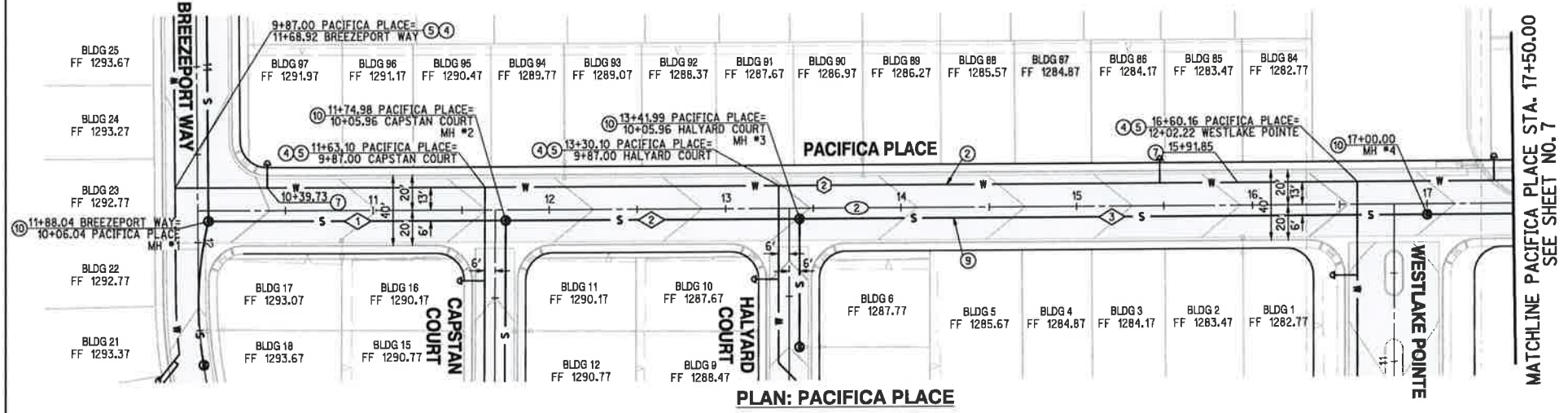
ENCL. W.O.# XXXX-XXXX INSPECTION W.O.#







PROFILE SCALE:  
 HORIZ: 1"=40'  
 VERT: 1"=8'



**WATER CONSTRUCTION NOTES**

- ① INSTALL HIGH DEFLECTION COUPLING (DI FITTINGS WITH RESTRAINED JOINTS AND THRUST BLOCKS)
- ② INSTALL 8" PVC C900 WATER MAIN (CL-235) PER EVMWD STD W-3, WITH RESTRAINED JOINTS PER EVMWD STD W-4.
- ③ INSTALL 8" 45° DI RESTRAINED JOINT BEND PER EVMWD STD W-4.
- ④ INSTALL 8"x8"x8" DI TEE PER EVMWD STD W-4 (RESTRAINED).
- ⑤ INSTALL 8" GATE VALVE, FLxFL, VALVE WELL AND RISER DETAIL PER EVMWD STD W-13.
- ⑥ INSTALL 1" AIR RELEASE & VACUUM RELIEF ASSEMBLY PER EVMWD STD W-16.
- ⑦ INSTALL 6"x4"x2.5" FIRE HYDRANT ASSEMBLY WITH BLUE RETROREFLECTIVE PAVEMENT MARKER PER EVMWD STD W-7. COLOR CODE = CHROME YELLOW BARREL W/ CAPS & TOPS GREEN (CLASS A)
- ⑧ INSTALL 1" WATER SERVICE CONNECTION WITH 3/4" METER PER EVMWD STD W-9a.

**SEWER CONSTRUCTION NOTES**

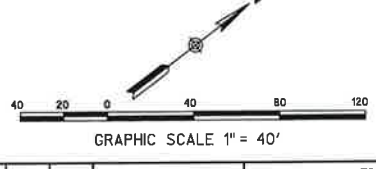
- ⑨ INSTALL 8" PVC SDR-35 SEWER MAIN PER EVMWD STD S-1
- ⑩ CONSTRUCT 5' DIAMETER SEWER MANHOLE PER EVMWD STD S-5
- ⑪ INSTALL 4" PVC SDR-35 SEWER LATERAL PER EVMWD STD S-12, S-13 & S-14.



**BASIS OF BEARING**  
 DESCRIPTION: CENTER LINE OF GRAND AVENUE, N52°53'08"W

**VERIFY SCALES**  
 BAR IS ONE INCH ON ORIGINAL DRAWING  
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

**SUBMITTED BY:**  
 BARRY J. COWAN R.C.E. 46588 EXP. 6/30/19  
 DATE:



THE DESIGN AND CONSTRUCTION OF THE PROJECT AS WELL AS THE ACCURACY OF FIGURES, ARE THE RESPONSIBILITY OF THE DESIGN ENGINEER. PLAN CHECK SERVICES BY E.V.M.W.D. WILL BE LIMITED TO ADHERENCE OF THE DISTRICT'S STANDARDS, MATERIALS, QUANTITIES AND SIZE OF FACILITIES, AS THEY RELATE TO THE SERVICE DEMANDS OR THE APPROVED MASTER PLAN.

REV	BY	DATE	REVISIONS	APPR.	DATE

DESIGNED BY: DK      DRAWN BY: DK      CHECKED BY: DB



PLANS PREPARED BY:  
**RICK ENGINEERING COMPANY**  
 36 DISCOVERY - SUITE 240  
 IRVINE, CA 92618  
 949-588-0707  
 J-18190  
 rickengineering.com  
 San Diego - Riverside - Sacramento - San Luis Obispo - Phoenix - Tucson - Denver

SEE SHEET 3 FOR DATA TABLES

**PRELIMINARY**  
 NOT FOR CONSTRUCTION

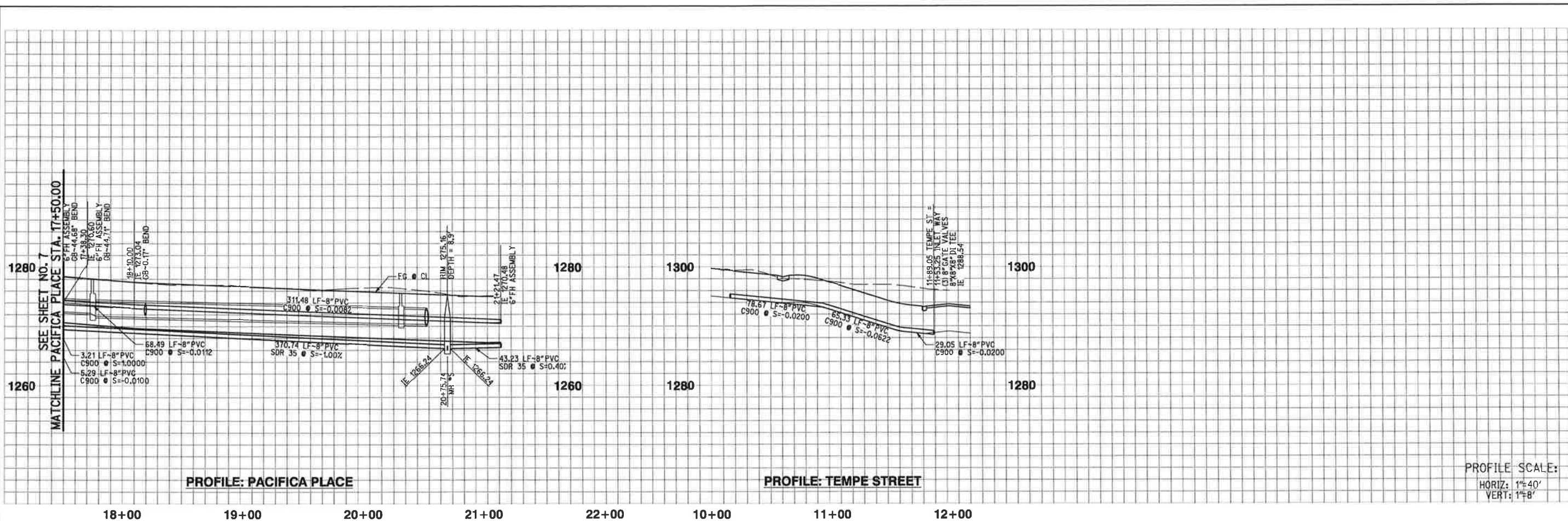
**ELSOR VALLEY MUNICIPAL WATER DISTRICT**  
 WATER AND SEWER IMPROVEMENT PLANS  
 WESTLAKE - TM 33267  
 PACIFICA PLACE STA 10+00.00 TO 17+50.00

SHEET NO. **6**  
 OF 13 SHTS  
 FILE NO. XX

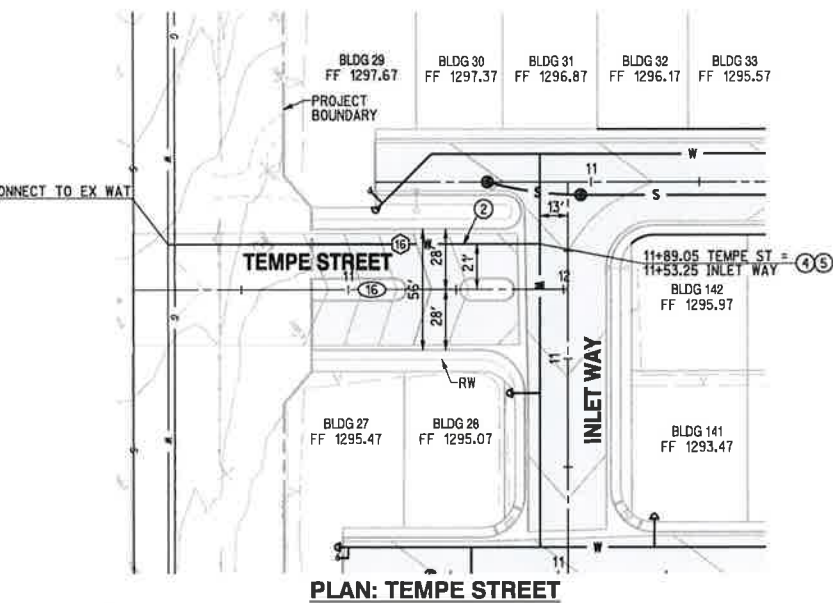
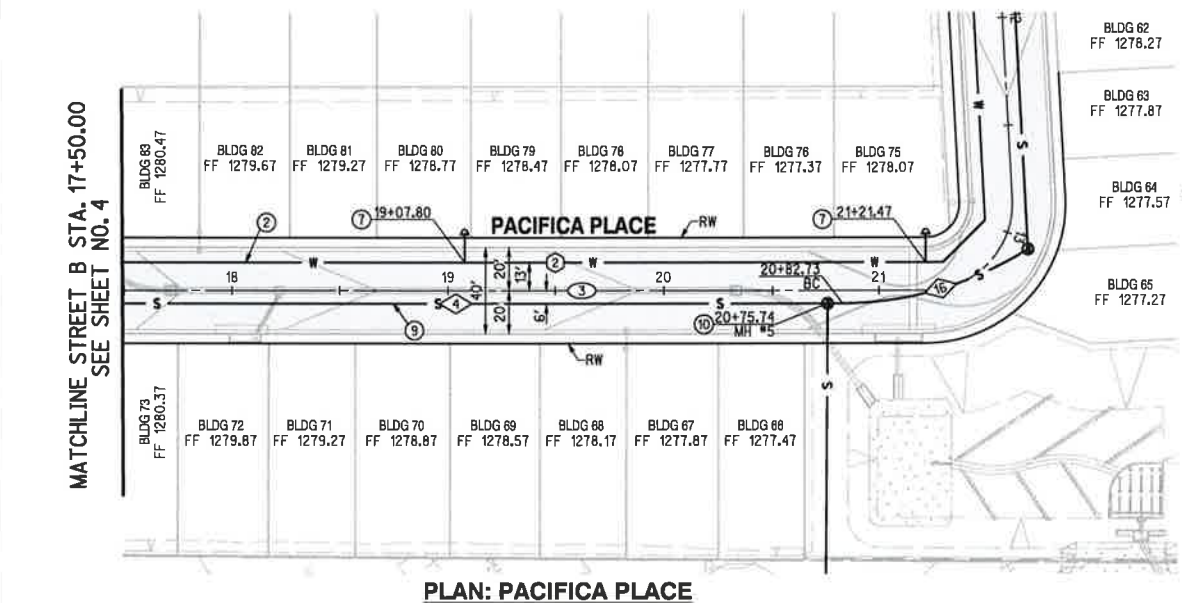
RES: \_\_\_\_\_      P.Z: 1750  
 PLAN SET DATE: 09/02/15

Q:\18190-0 The Village at Lakeshore TM 33267\1\1\Drawings\EVMD\18190\18190.dwg  
 Q:\18190-0 The Village at Lakeshore TM 33267\1\1\Drawings\EVMD\18190.dwg  
 25-SEP-2018 13:06

INSPECTION W.O.# XXXX-XXXX  
 ENG. W.O.#



PROFILE SCALE:  
 HORIZ: 1"=40'  
 VERT: 1"=8'



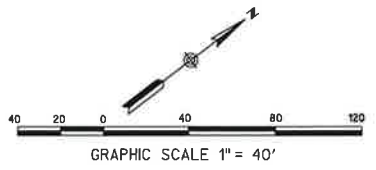
**WATER CONSTRUCTION NOTES**

- ① INSTALL HIGH DEFLECTION COUPLING (DI FITTINGS WITH RESTRAINED JOINTS AND THRUST BLOCKS)
- ② INSTALL 8" PVC C900 WATER MAIN (CL-235) PER EVMWD STD W-3, WITH RESTRAINED JOINTS PER EVMWD STD W-4.
- ③ INSTALL 8" 45° DI RESTRAINED JOINT BEND PER EVMWD STD W-4.
- ④ INSTALL 8"x8"x8" DI TEE PER EVMWD STD W-4 (RESTRAINED).
- ⑤ INSTALL 8" GATE VALVE, FLxFL, VALVE WELL AND RISER DETAIL PER EVMWD STD W-13.
- ⑥ INSTALL 1" AIR RELEASE & VACUUM RELIEF ASSEMBLY PER EVMWD STD W-16.
- ⑦ INSTALL 6"x4"x2.5" FIRE HYDRANT ASSEMBLY WITH BLUE RETROREFLECTIVE PAVEMENT MARKER PER EVMWD STD W-7, COLOR CODE = CHROME YELLOW BARREL W/ CAPS & TOPS GREEN (CLASS A)
- ⑧ INSTALL 1" WATER SERVICE CONNECTION WITH 3/4" METER PER EVMWD STD W-9a.

**SEWER CONSTRUCTION NOTES**

- ⑨ INSTALL 8" PVC SDR-35 SEWER MAIN PER EVMWD STD S-1
- ⑩ CONSTRUCT 5' DIAMETER SEWER MANHOLE PER EVMWD STD S-5
- ⑪ INSTALL 4" PVC SDR-35 SEWER LATERAL PER EVMWD STD S-12, S-13 & S-14.

<p>Underground Service Alert TWO WORKING DAYS BEFORE YOU DIG</p>	<p><b>BASIS OF BEARING</b>          DESCRIPTION: CENTER LINE OF GRAND AVENUE, N52°53'08"W</p>	<p><b>VERIFY SCALES</b>          BAR IS ONE INCH ON ORIGINAL DRAWING          0 1          IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY</p>	<p>SUBMITTED BY:          BARRY J. COWAN R.C.E. 48568 EXP. 6/30/19</p>
	<p>DATE:</p>		



REV	BY	DATE	REVISIONS	APPR.	DATE

DESIGNED BY: DK      DRAWN BY: DK      CHECKED BY: DB

PLANS PREPARED BY:

36 DISCOVERY - SUITE 240  
 IRVINE, CA 92618  
 949-588-0707

J-18190

rickengineering.com

San Diego - Riverside - Sacramento - San Luis Obispo - Phoenix - Tucson - Denver

PRELIMINARY  
 NOT FOR CONSTRUCTION

SEE SHEET 3 FOR DATA TABLES

ELSOR VALLEY MUNICIPAL WATER DISTRICT  
 WATER AND SEWER IMPROVEMENT PLANS  
 WESTLAKE - TM 33267  
 PACIFICA PLACE STA 17+50.00 TO 21+21.47  
 TEMPE STREET

RES: \_\_\_\_\_ P.Z.: 1750

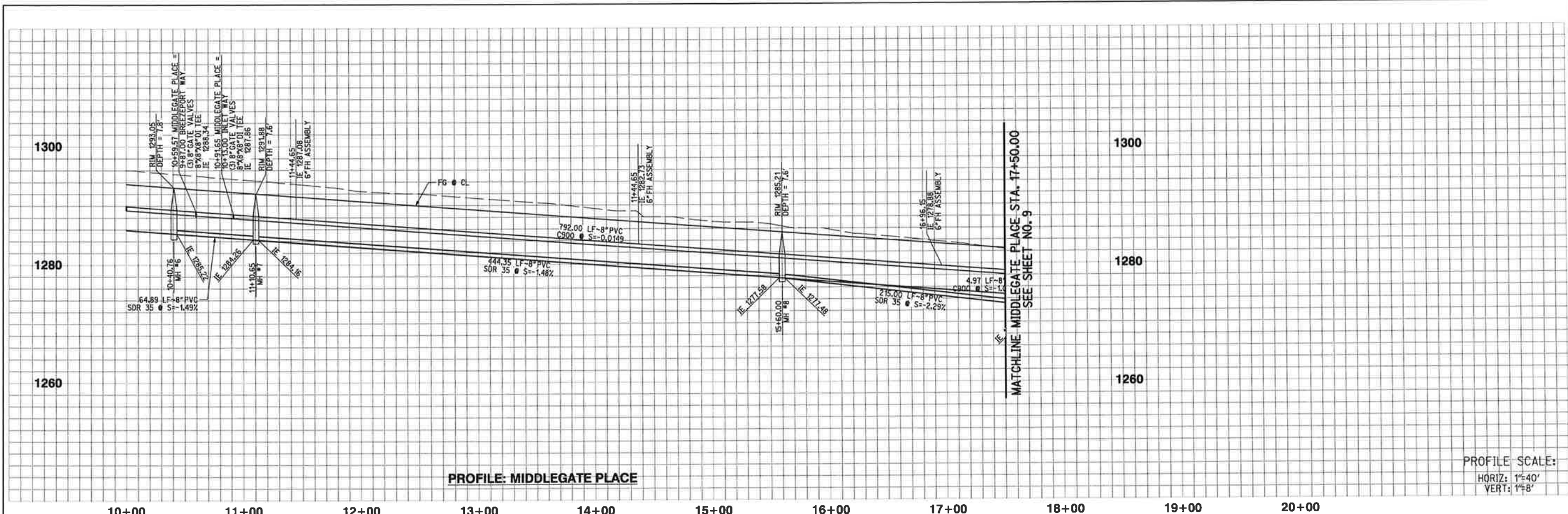
SHEET NO. 7  
 OF 13 SHTS  
 FILE NO. XX

PLAN SET DATE: 09/02/15

O:\18190-0 The Village of Lakeshore % TM 33267\Civil\Sheets\18190\_UJI07.dgn  
 O:\18190-0 The Village of Lakeshore % TM 33267\Civil\NORN Corp\5146 2005.dscr1.rvt  
 15-SEP-2018 13:06

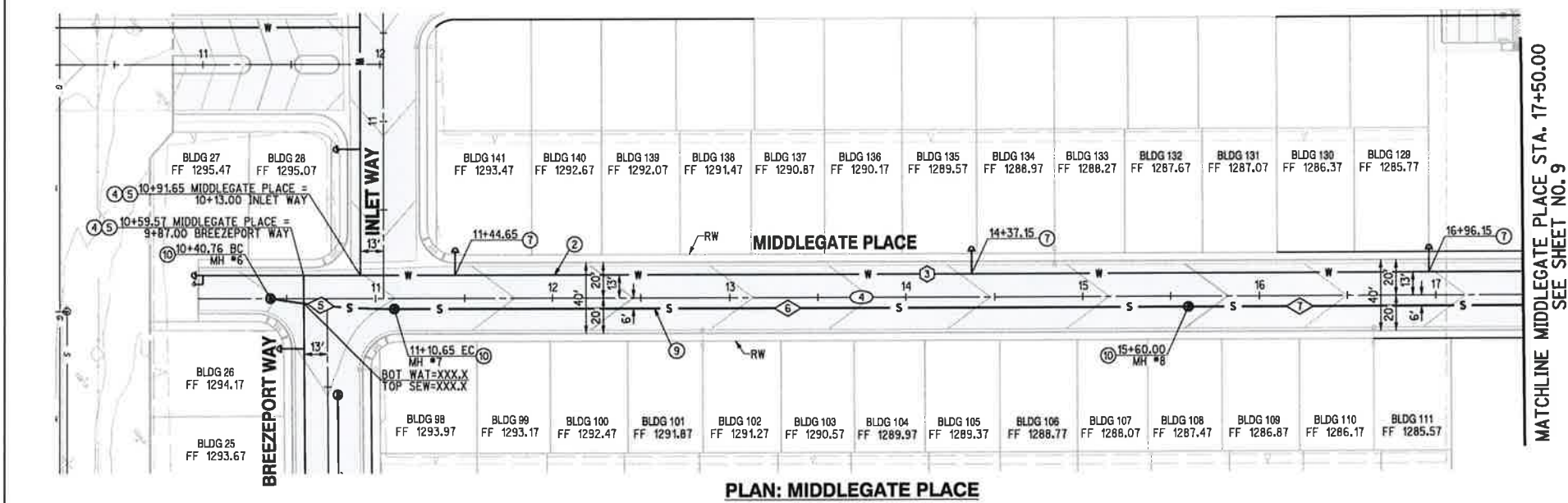
ENG. W.O.# XXXX-XXX INSPECTION W.O.#





PROFILE: MIDDLEGATE PLACE

PROFILE SCALE:  
HORIZ: 1"=40'  
VERT: 1"=8'



PLAN: MIDDLEGATE PLACE

**WATER CONSTRUCTION NOTES**

- ① INSTALL HIGH DEFLECTION COUPLING (DI FITTINGS WITH RESTRAINED JOINTS AND THRUST BLOCKS)
- ② INSTALL 8" PVC C900 WATER MAIN (CL-235) PER EVMWD STD W-3, WITH RESTRAINED JOINTS PER EVMWD STD W-4.
- ③ INSTALL 8" 45° DI RESTRAINED JOINT BEND PER EVMWD STD W-4.
- ④ INSTALL 8"x8"x8" DI TEE PER EVMWD STD W-4 (RESTRAINED).
- ⑤ INSTALL 8" GATE VALVE, FLxFL, VALVE WELL AND RISER DETAIL PER EVMWD STD W-13.
- ⑥ INSTALL 1" AIR RELEASE & VACUUM RELIEF ASSEMBLY PER EVMWD STD W-16.
- ⑦ INSTALL 6"x4"x2.5" FIRE HYDRANT ASSEMBLY WITH BLUE RETROREFLECTIVE PAVEMENT MARKER PER EVMWD STD W-7. COLOR CODE = CHROME YELLOW BARREL W/ CAPS & TOPS GREEN (CLASS A)
- ⑧ INSTALL 1" WATER SERVICE CONNECTION WITH 3/4" METER PER EVMWD STD W-9a.

**SEWER CONSTRUCTION NOTES**

- ⑨ INSTALL 8" PVC SDR-35 SEWER MAIN PER EVMWD STD S-1
- ⑩ CONSTRUCT 5' DIAMETER SEWER MANHOLE PER EVMWD STD S-5
- ⑪ INSTALL 4" PVC SDR-35 SEWER LATERAL PER EVMWD STD S-12, S-13 & S-14.

D:\18190-0 The Village at Lakeshore %  
 D:\18190-0 The Village at Lakeshore %  
 25-SEP-2018 13:10:06  
 TM 33267\CVI\1\Sheets\EVMD\18190\_uf108.dgn  
 TM 33267\CVI\1\NDR Corp\5rds\_2005.dscr1.plt

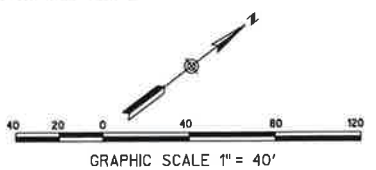


**Underground Service Alert**  
**811**  
 TWO WORKING DAYS BEFORE YOU DIG

**BASIS OF BEARING**  
 DESCRIPTION: CENTER LINE OF GRAND AVENUE, N52°53'08"W

**VERIFY SCALES**  
 BAR IS ONE INCH ON ORIGINAL DRAWING  
 0 1  
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

**SUBMITTED BY:**  
 BARRY J. COWAN R.C.E. 46568 EXP. 6/30/19  
 DATE:



SEE SHEET 3 FOR DATA TABLES

PRELIMINARY  
NOT FOR CONSTRUCTION

THE DESIGN AND CONSTRUCTION OF THE PROJECT AS WELL AS THE ACCURACY OF FIGURES, ARE THE RESPONSIBILITY OF THE DESIGN ENGINEER. PLAN CHECK SERVICES BY E.V.M.W.D. WILL BE LIMITED TO ADHERENCE OF THE DISTRICT'S STANDARDS, MATERIALS, QUANTITIES AND SIZE OF FACILITIES, AS THEY RELATE TO THE SERVICE DEMANDS OR THE APPROVED MASTER PLAN.

REV	BY	DATE	REVISIONS	APPR.	DATE

DESIGNED BY: DK      DRAWN BY: DK      CHECKED BY: DB



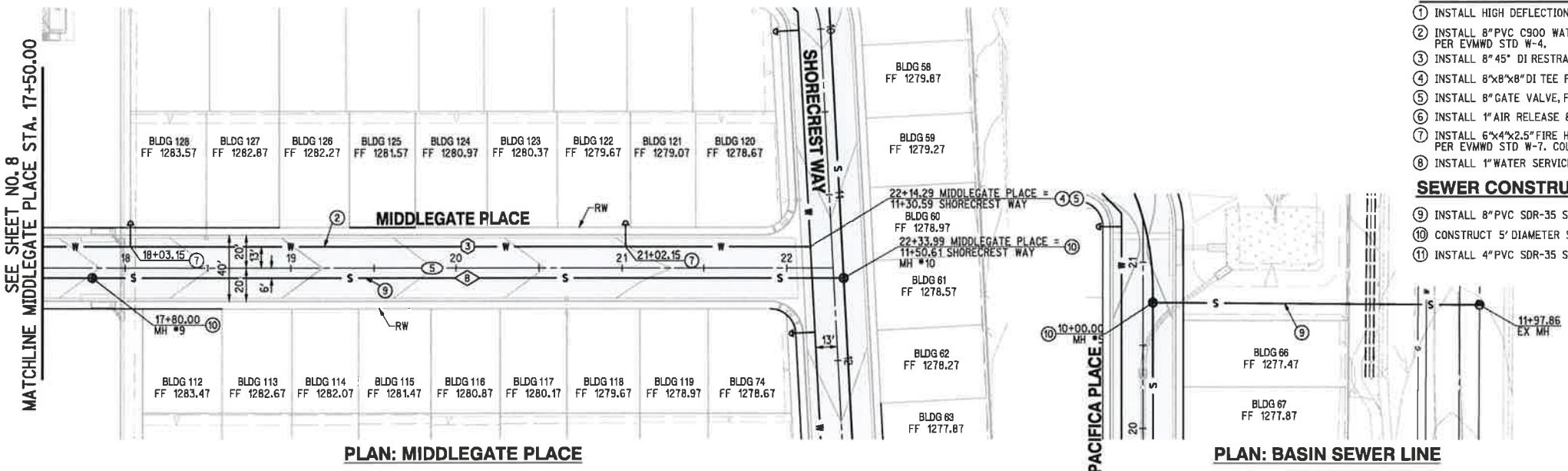
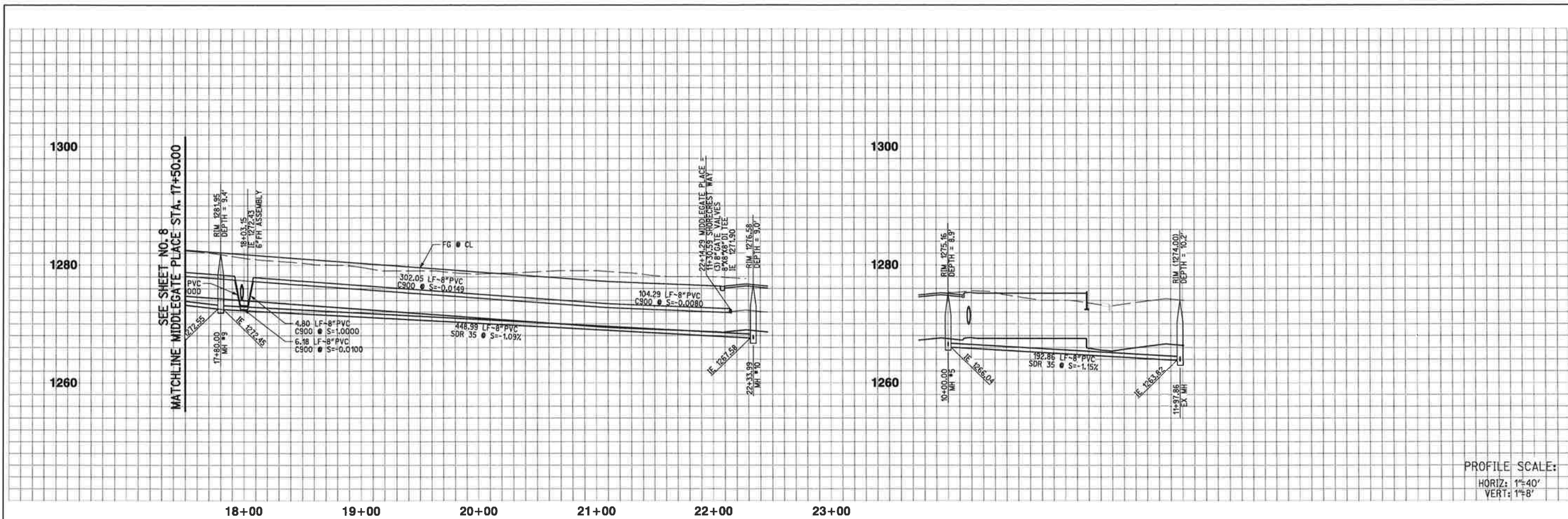
**RICK ENGINEERING COMPANY**  
 Orange

PLANS PREPARED BY:  
 36 DISCOVERY - SUITE 240  
 IRVINE, CA 92618  
 949-588-0707  
 J-18190  
 rickengineering.com  
 San Diego - Riverside - Sacramento - San Luis Obispo - Phoenix - Tucson - Denver

**ELSINORE VALLEY MUNICIPAL WATER DISTRICT**  
 WATER AND SEWER IMPROVEMENT PLANS  
 WESTLAKE - TM 33267  
 MIDDLEGATE PLACE STA 10+00.00 TO 17+50.00  
 RES: \_\_\_\_\_ P.Z: 1750

SHEET NO.  
**8**  
 OF 13 SHTS  
 FILE NO.  
 XX  
 PLAN SET DATE: 09/02/15

ENG. W.O.# XXXX-XXX INSPECTION W.O.#



- WATER CONSTRUCTION NOTES**
- INSTALL HIGH DEFLECTION COUPLING (DI FITTINGS WITH RESTRAINED JOINTS AND THRUST BLOCKS)
  - INSTALL 8" PVC C900 WATER MAIN (CL-235) PER EVMWD STD W-3, WITH RESTRAINED JOINTS PER EVMWD STD W-4.
  - INSTALL 8" x 8" DI RESTRAINED JOINT BEND PER EVMWD STD W-4.
  - INSTALL 8" x 8" DI TEE PER EVMWD STD W-4 (RESTRAINED).
  - INSTALL 8" GATE VALVE, FLxFL, VALVE WELL AND RISER DETAIL PER EVMWD STD W-13.
  - INSTALL 1" AIR RELEASE & VACUUM RELIEF ASSEMBLY PER EVMWD STD W-16.
  - INSTALL 6"x4"x2.5" FIRE HYDRANT ASSEMBLY WITH BLUE RETROREFLECTIVE PAVEMENT MARKER PER EVMWD STD W-7. COLOR CODE = CHROME YELLOW BARREL W/ CAPS & TOPS GREEN (CLASS A)
  - INSTALL 1" WATER SERVICE CONNECTION WITH 3/4" METER PER EVMWD STD W-9a.
- SEWER CONSTRUCTION NOTES**
- INSTALL 8" PVC SDR-35 SEWER MAIN PER EVMWD STD S-1
  - CONSTRUCT 5' DIAMETER SEWER MANHOLE PER EVMWD STD S-5
  - INSTALL 4" PVC SDR-35 SEWER LATERAL PER EVMWD STD S-12, S-13 & S-14.

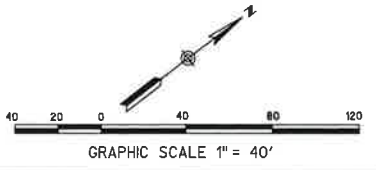
O:\18190-0 The Village at Lakeshore % TM 33267\Civil\Sheets\EVMD\18190\_UH109.dgn  
 O:\18190-0 The Village at Lakeshore % TM 33267\Civil\URN CorpSide 2005.dscr1.dwg  
 25-SEP-2016 13:06



**BASIS OF BEARING**  
 DESCRIPTION: CENTER LINE OF GRAND AVENUE, N52°53'08"W

**VERIFY SCALES**  
 BAR IS ONE INCH ON ORIGINAL DRAWING  
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

SUBMITTED BY:  
 BARRY J. COWAN R.C.E. 46568 EXP. 6/30/19  
 DATE:



THE DESIGN AND CONSTRUCTION OF THE PROJECT AS WELL AS THE ACCURACY OF FIGURES, ARE THE RESPONSIBILITY OF THE DESIGN ENGINEER. PLAN CHECK SERVICES BY E.V.M.W.D. WILL BE LIMITED TO ADHERENCE OF THE DISTRICT'S STANDARDS, MATERIALS, QUANTITIES AND SIZE OF FACILITIES, AS THEY RELATE TO THE SERVICE DEMANDS OR THE APPROVED MASTER PLAN.

REV	BY	DATE	REVISIONS	APPR.	DATE

DESIGNED BY: DK      DRAWN BY: DK      CHECKED BY: DB



PLANS PREPARED BY:  
**RICK ENGINEERING COMPANY**  
 36 DISCOVERY - SUITE 240  
 IRVINE, CA 92618  
 949-588-0707  
 J-18190  
 rickengineering.com  
 San Diego - Riverside - Sacramento - San Luis Obispo - Phoenix - Tucson - Denver

SEE SHEET 3 FOR DATA TABLES

**ELSOR VALLEY MUNICIPAL WATER DISTRICT**  
 WATER AND SEWER IMPROVEMENT PLANS  
 WESTLAKE - TM 33267  
 MIDDLEGATE PLACE STA 17+50.00 TO 22+27.99  
 BASIN SEWER LINE

PRELIMINARY  
 NOT FOR CONSTRUCTION

SHEET NO.  
**9**  
 OF 13 SHTS  
 FILE NO.  
 XX

ENG. W.O.# XXXX-XXX INSPECTION W.O.#

1300

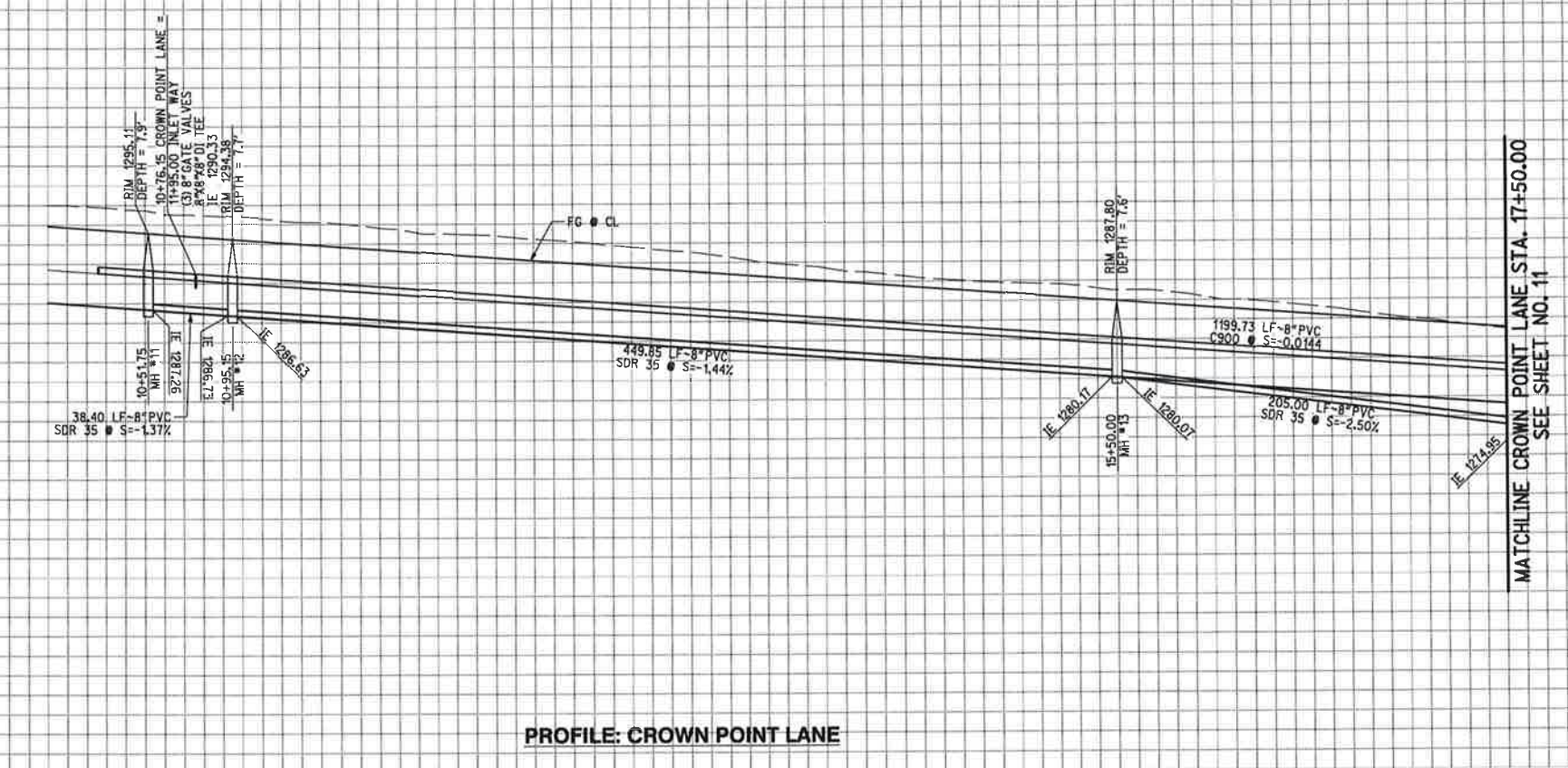
1280

1260

1300

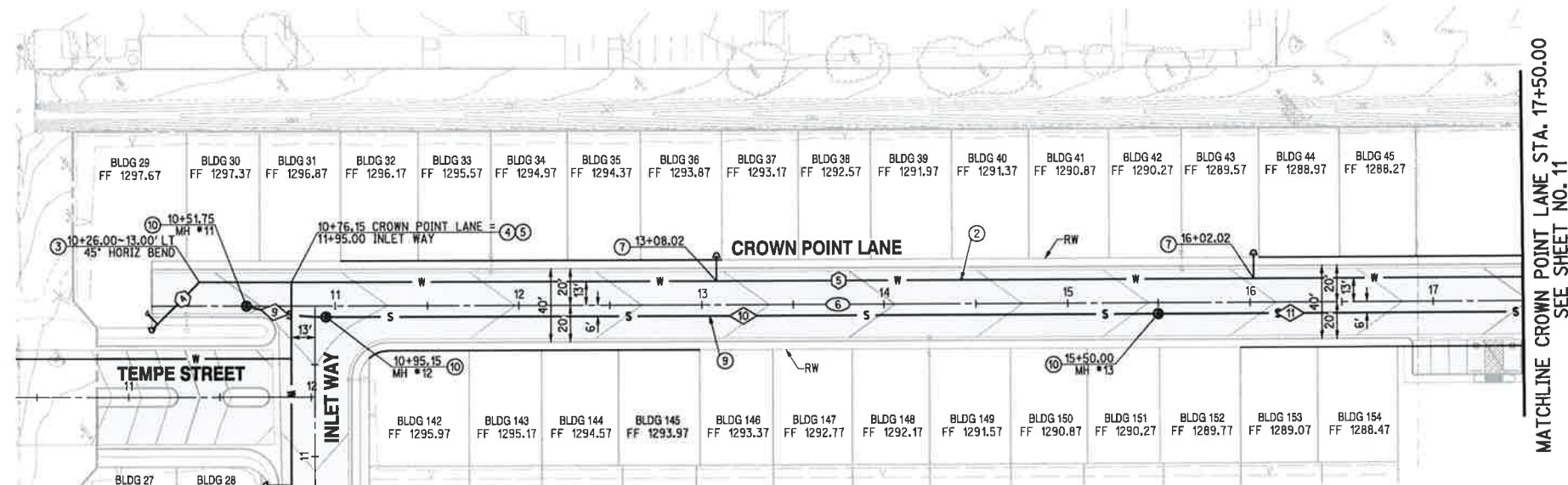
1280

1260



**PROFILE SCALE:**  
 HORIZ: 1"=40'  
 VERT: 1"=8'

10+00      11+00      12+00      13+00      14+00      15+00      16+00      17+00



Matchline Crown Point Lane Sta. 17+50.00 See Sheet No. 11

**WATER CONSTRUCTION NOTES**

- INSTALL HIGH DEFLECTION COUPLING (DI FITTINGS WITH RESTRAINED JOINTS AND THRUST BLOCKS)
- INSTALL 8" PVC C900 WATER MAIN (CL-235) PER EVMWD STD W-3, WITH RESTRAINED JOINTS PER EVMWD STD W-4.
- INSTALL 8" 45° DI RESTRAINED JOINT BEND PER EVMWD STD W-4.
- INSTALL 8"x8"x8" DI TEE PER EVMWD STD W-4 (RESTRAINED).
- INSTALL 8" GATE VALVE, FLxFL, VALVE WELL AND RISER DETAIL PER EVMWD STD W-13.
- INSTALL 1" AIR RELEASE & VACUUM RELIEF ASSEMBLY PER EVMWD STD W-16.
- INSTALL 6"x4"x2.5" FIRE HYDRANT ASSEMBLY WITH BLUE RETROREFLECTIVE PAVEMENT MARKER PER EVMWD STD W-7. COLOR CODE = CHROME YELLOW BARREL W/ CAPS & TOPS GREEN (CLASS A)
- INSTALL 1" WATER SERVICE CONNECTION WITH 3/4" METER PER EVMWD STD W-9c.

**SEWER CONSTRUCTION NOTES**

- INSTALL 8" PVC SDR-35 SEWER MAIN PER EVMWD STD S-1
- CONSTRUCT 5' DIAMETER SEWER MANHOLE PER EVMWD STD S-5
- INSTALL 4" PVC SDR-35 SEWER LATERAL PER EVMWD STD S-12, S-13 & S-14.

0:\18190-0 The Village of Lakeshore\18190-0\10.dgn  
 0:\18190-0 The Village of Lakeshore\18190-0\10.dgn  
 TM 33267\CVI\18190-0\10.dgn  
 TM 33267\CVI\18190-0\10.dgn  
 23-SEP-2018 13:05

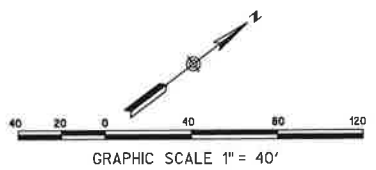
**Underground Service Alert**

TWO WORKING DAYS BEFORE YOU DIG

**BASIS OF BEARING**  
 DESCRIPTION: CENTER LINE OF GRAND AVENUE, N52°03'08"W

**VERIFY SCALES**  
 BAR IS ONE INCH ON ORIGINAL DRAWING  
 0 1  
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

**SUBMITTED BY:**  
 BARRY J. COWAN R.C.E. 46568 EXP. 6/30/19  
 DATE:



SEE SHEET 3 FOR DATA TABLES

PRELIMINARY  
 NOT FOR CONSTRUCTION

THE DESIGN AND CONSTRUCTION OF THE PROJECT AS WELL AS THE ACCURACY OF FIGURES, ARE THE RESPONSIBILITY OF THE DESIGN ENGINEER. PLAN CHECK SERVICES BY E.V.M.W.D. WILL BE LIMITED TO ADHERENCE OF THE DISTRICT'S STANDARDS, MATERIALS, QUANTITIES AND SIZE OF FACILITIES, AS THEY RELATE TO THE SERVICE DEMANDS OR THE APPROVED MASTER PLAN.

REV	BY	DATE	REVISIONS	APPR.	DATE

DESIGNED BY: DK      DRAWN BY: DK      CHECKED BY: DB



PLANS PREPARED BY:

36 DISCOVERY - SUITE 240  
 IRVINE, CA 92618  
 949-588-0707

J-18190

rickengineering.com

Orange      San Diego      Riverside      Sacramento      San Luis Obispo      Phoenix      Tucson      Denver

**ELSINORE VALLEY MUNICIPAL WATER DISTRICT**

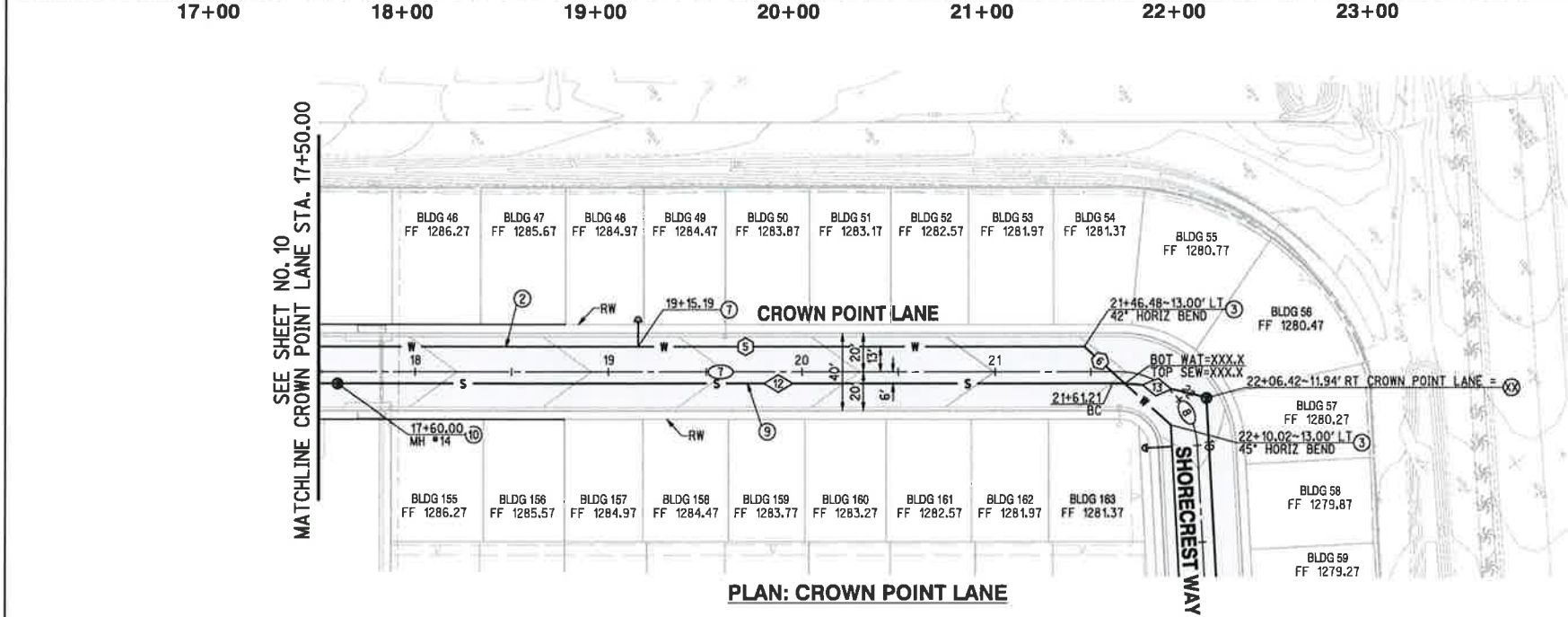
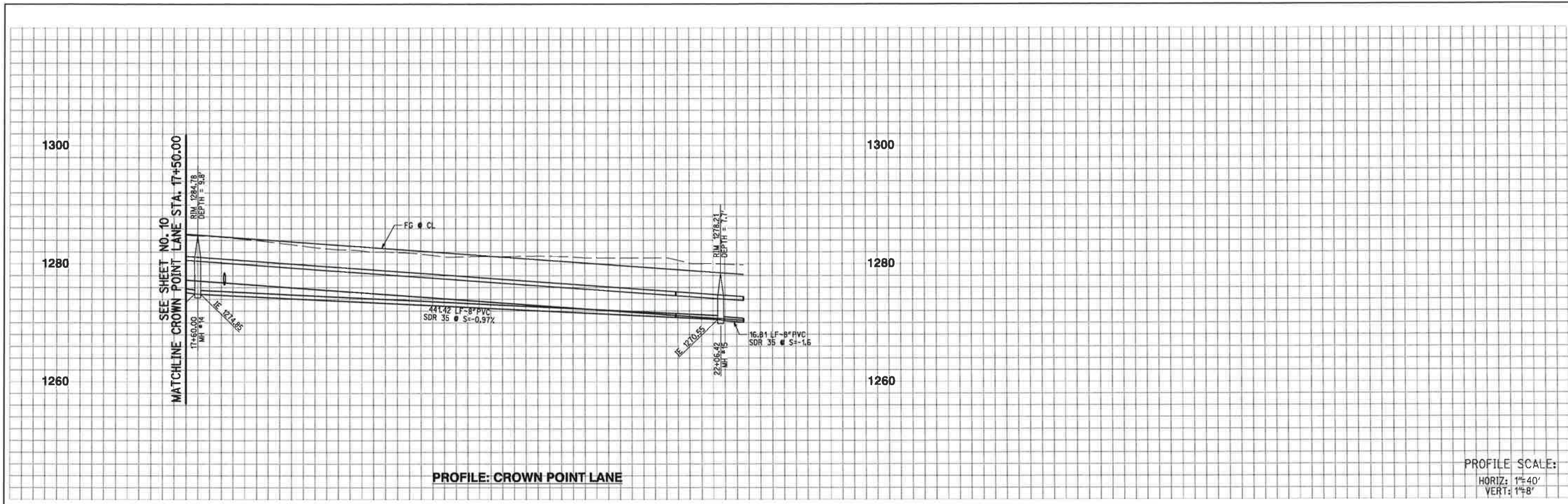
WATER AND SEWER IMPROVEMENT PLANS  
 WESTLAKE - TM 33267  
 CROWN POINTE LANE STA 10+00.00 TO 17+50.00

RES: \_\_\_\_\_      P.Z.: 1750

SHEET NO.  
**10**  
 OF 13 SHTS  
 FILE NO.  
 XX

PLAN SET DATE: 09/02/15

INSPECTION W.O.# XXXX-XXX  
 ENG. W.O.#



**WATER CONSTRUCTION NOTES**

- ① INSTALL HIGH DEFLECTION COUPLING (DI FITTINGS WITH RESTRAINED JOINTS AND THRUST BLOCKS) PER EVMWD STD W-4.
- ② INSTALL 8" PVC C900 WATER MAIN (CL-235) PER EVMWD STD W-3, WITH RESTRAINED JOINTS PER EVMWD STD W-4.
- ③ INSTALL 8" 45° DI RESTRAINED JOINT BEND PER EVMWD STD W-4.
- ④ INSTALL 8"x8"x8" DI TEE PER EVMWD STD W-4 (RESTRAINED).
- ⑤ INSTALL 8" GATE VALVE, FLxFL, VALVE WELL AND RISER DETAIL PER EVMWD STD W-13.
- ⑥ INSTALL 1" AIR RELEASE & VACUUM RELIEF ASSEMBLY PER EVMWD STD W-16.
- ⑦ INSTALL 6"x4"x2.5" FIRE HYDRANT ASSEMBLY WITH BLUE RETROREFLECTIVE PAVEMENT MARKER PER EVMWD STD W-7. COLOR CODE = CHROME YELLOW BARREL W/ CAPS & TOPS GREEN (CLASS A)
- ⑧ INSTALL 1" WATER SERVICE CONNECTION WITH 3/4" METER PER EVMWD STD W-9a.

**SEWER CONSTRUCTION NOTES**

- ⑨ INSTALL 8" PVC SDR-35 SEWER MAIN PER EVMWD STD S-1
- ⑩ CONSTRUCT 5' DIAMETER SEWER MANHOLE PER EVMWD STD S-5
- ⑪ INSTALL 4" PVC SDR-35 SEWER LATERAL PER EVMWD STD S-12, S-13 & S-14.

O:\18190-0 The Village of Lakeshore\18190-0\18190.dwg  
 O:\18190-0 The Village of Lakeshore\18190-0\18190.dwg  
 25-SEP-2018 13:06

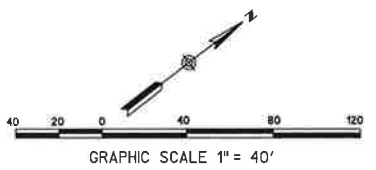
**Underground Service Alert**

TWO WORKING DAYS BEFORE YOU DIG

**BASIS OF BEARING**  
 DESCRIPTION: CENTER LINE OF GRAND AVENUE, N52°53'08"W

**VERIFY SCALES**  
 BAR IS ONE INCH ON ORIGINAL DRAWING  
 0 1  
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

SUBMITTED BY:  
 BARRY J. COWAN R.C.E. 46568 EXP. 6/30/19  
 DATE:



THE DESIGN AND CONSTRUCTION OF THE PROJECT AS WELL AS THE ACCURACY OF FIGURES, ARE THE RESPONSIBILITY OF THE DESIGN ENGINEER. PLAN CHECK SERVICES BY E.V.M.W.D. WILL BE LIMITED TO ADHERENCE OF THE DISTRICT'S STANDARDS, MATERIALS, QUANTITIES AND SIZE OF FACILITIES, AS THEY RELATE TO THE SERVICE DEMANDS OR THE APPROVED MASTER PLAN.

REV	BY	DATE	REVISIONS	APPR.	DATE

DESIGNED BY: DK      DRAWN BY: DK      CHECKED BY: DB



PLANS PREPARED BY:

36 DISCOVERY - SUITE 240  
 IRVINE, CA 92618  
 949-588-0707  
 J-18190  
 rickengineering.com  
 Orange San Diego - Riverside - Sacramento - San Luis Obispo - Phoenix - Tucson - Denver

SEE SHEET 3 FOR DATA TABLES

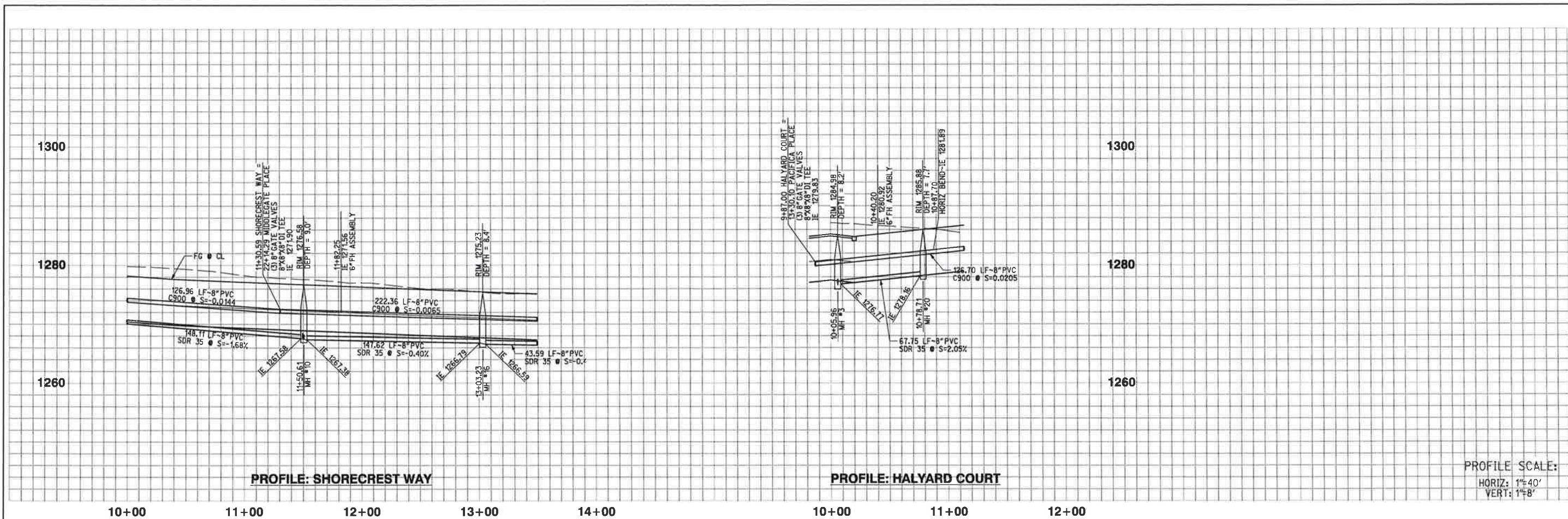
**PRELIMINARY**  
 NOT FOR CONSTRUCTION

**ELSINORE VALLEY MUNICIPAL WATER DISTRICT**  
 WATER AND SEWER IMPROVEMENT PLANS  
 WESTLAKE - TM 33267  
 CROWN POINT LANE STA 17+50.00 TO 22+25.73

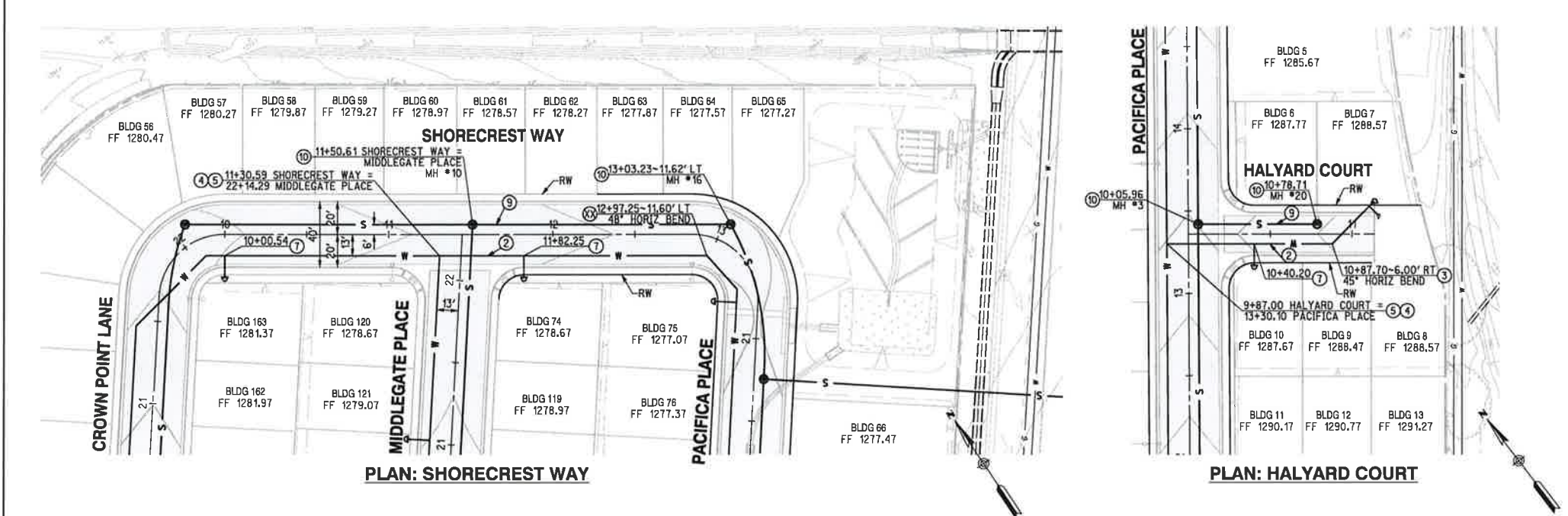
RES: \_\_\_\_\_ P.Z.: 1750

SHEET NO. 11 OF 13 SHTS  
 FILE NO. XX  
 PLAN SET DATE: 09/02/15

ENG. W.O.# XXXX-XXXX INSPECTION W.O.#



PROFILE SCALE:  
 HORIZ: 1"=40'  
 VERT: 1"=8'



- WATER CONSTRUCTION NOTES**
- ① INSTALL HIGH DEFLECTION COUPLING (DI FITTINGS WITH RESTRAINED JOINTS AND THRUST BLOCKS)
  - ② INSTALL 8" PVC C900 WATER MAIN (CL-235) PER EVMWD STD W-3, WITH RESTRAINED JOINTS PER EVMWD STD W-4.
  - ③ INSTALL 8" 45° DI RESTRAINED JOINT BEND PER EVMWD STD W-4.
  - ④ INSTALL 8" 8"x8" DI TEE PER EVMWD STD W-4 (RESTRAINED).
  - ⑤ INSTALL 8" GATE VALVE, FLxFL, VALVE WELL AND RISER DETAIL PER EVMWD STD W-13.
  - ⑥ INSTALL 1" AIR RELEASE & VACUUM RELIEF ASSEMBLY PER EVMWD STD W-16.
  - ⑦ INSTALL 6"x4"x2.5" FIRE HYDRANT ASSEMBLY WITH BLUE RETROREFLECTIVE PAVEMENT MARKER PER EVMWD STD W-7. COLOR CODE = CHROME YELLOW BARREL W/ CAPS & TOPS GREEN (CLASS A)
  - ⑧ INSTALL 1" WATER SERVICE CONNECTION WITH 3/4" METER PER EVMWD STD W-9a.
- SEWER CONSTRUCTION NOTES**
- ⑨ INSTALL 8" PVC SDR-35 SEWER MAIN PER EVMWD STD S-1
  - ⑩ CONSTRUCT 5' DIAMETER SEWER MANHOLE PER EVMWD STD S-5
  - ⑪ INSTALL 4" PVC SDR-35 SEWER LATERAL PER EVMWD STD S-12, S-13 & S-14.

<p>Underground Service Alert TWO WORKING DAYS BEFORE YOU DIG</p>	<b>BASIS OF BEARING</b> DESCRIPTION: CENTER LINE OF GRAND AVENUE, NS2°53'08"W	<b>VERIFY SCALES</b> BAR IS ONE INCH ON ORIGINAL DRAWING IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY	SUBMITTED BY: BARRY J. COWAN R.C.E. 48588 EXP. 6/30/19 DATE:
	GRAPHIC SCALE 1" = 40'		

THE DESIGN AND CONSTRUCTION OF THE PROJECT AS WELL AS THE ACCURACY OF FIGURES, ARE THE RESPONSIBILITY OF THE DESIGN ENGINEER. PLAN CHECK SERVICES BY E.V.M.W.D. WILL BE LIMITED TO ADHERENCE OF THE DISTRICT'S STANDARDS, MATERIALS, QUANTITIES AND SIZE OF FACILITIES, AS THEY RELATE TO THE SERVICE DEMANDS OR THE APPROVED MASTER PLAN.

REV	BY	DATE	REVISIONS	APPR.	DATE

DESIGNED BY: DK    DRAWN BY: DK    CHECKED BY: DB

PLANS PREPARED BY:

36 DISCOVERY - SUITE 240  
 IRVINE, CA 92618  
 949-588-0707

J-18190  
 rickengineering.com  
 San Diego - Riverside - Sacramento - San Luis Obispo - Phoenix - Tucson - Denver

SEE SHEET 3 FOR DATA TABLES

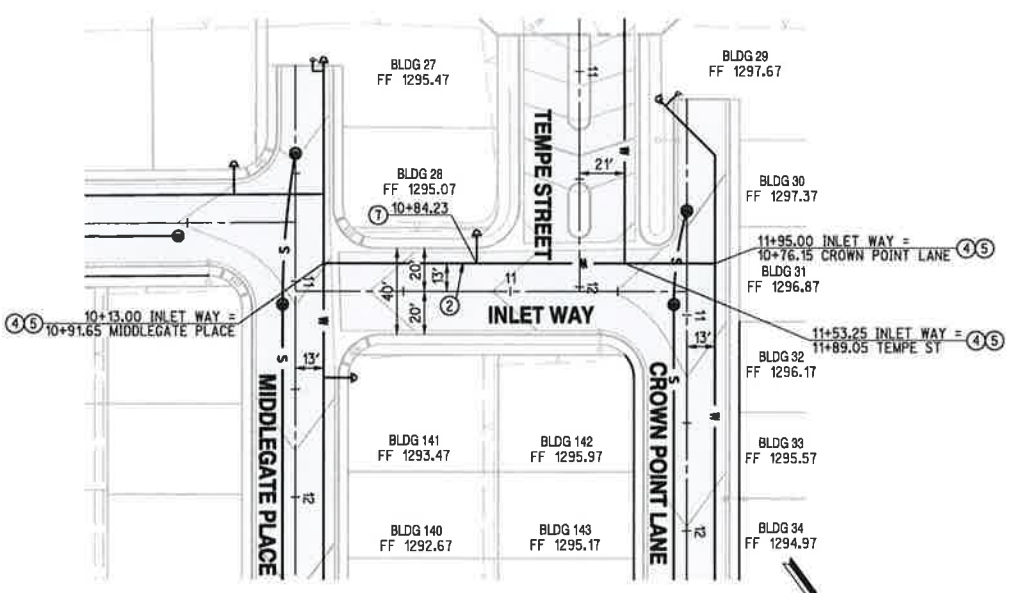
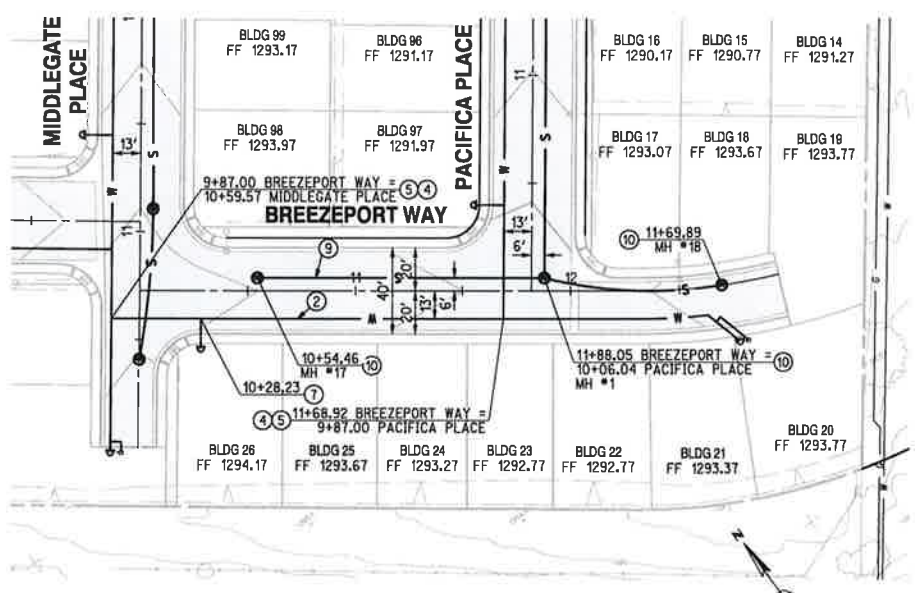
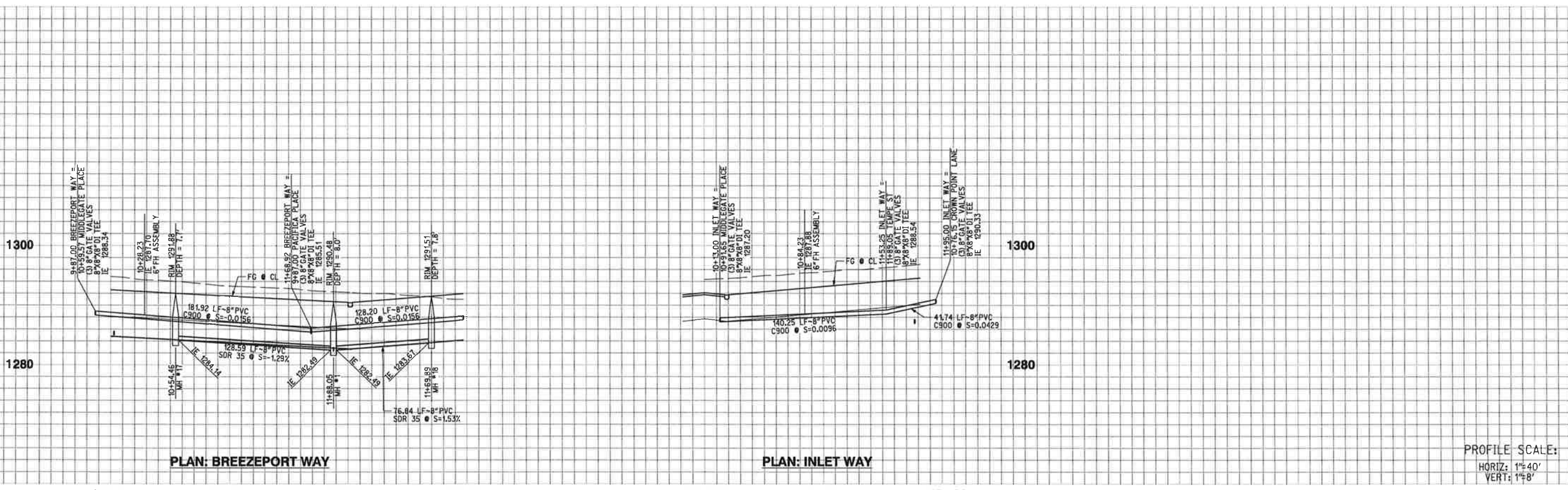
PRELIMINARY  
 NOT FOR CONSTRUCTION

EL SINORE VALLEY MUNICIPAL WATER DISTRICT  
 WATER AND SEWER IMPROVEMENT PLANS  
 WESTLAKE - TM 33267  
 SHORECREST WAY  
 HALYARD COURT

SHEET NO. 12  
 OF 13 SHEETS  
 FILE NO. XX  
 P.Z.: 1750  
 PLAN SET DATE: 09/02/15

O:\18190-0 The Village of Lakeshore\18190\18190\_01112.dgn  
 O:\18190-0 The Village of Lakeshore\18190\18190\_01112.dgn  
 25-SEP-2018 13:06

ENG. W.O.# XXXX-XXX INSPECTION W.O.#



**WATER CONSTRUCTION NOTES**

- ① INSTALL HIGH DEFLECTION COUPLING (DI FITTINGS WITH RESTRAINED JOINTS AND THRUST BLOCKS)
- ② INSTALL 8" PVC C900 WATER MAIN (CL-235) PER EVMWD STD W-3, WITH RESTRAINED JOINTS PER EVMWD STD W-4.
- ③ INSTALL 8" 45° DI RESTRAINED JOINT BEND PER EVMWD STD W-4.
- ④ INSTALL 8"x8"x8" DI TEE PER EVMWD STD W-4 (RESTRAINED).
- ⑤ INSTALL 8" GATE VALVE, FLxFL, VALVE WELL AND RISER DETAIL PER EVMWD STD W-13.
- ⑥ INSTALL 1" AIR RELEASE & VACUUM RELIEF ASSEMBLY PER EVMWD STD W-16.
- ⑦ INSTALL 6"x4"x2.5" FIRE HYDRANT ASSEMBLY WITH BLUE RETROREFLECTIVE PAVEMENT MARKER PER EVMWD STD W-7. COLOR CODE = CHROME YELLOW BARREL W/ CAPS & TOPS GREEN (CLASS A)
- ⑧ INSTALL 1" WATER SERVICE CONNECTION WITH 3/4" METER PER EVMWD STD W-9a.

**SEWER CONSTRUCTION NOTES**

- ⑨ INSTALL 8" PVC SDR-35 SEWER MAIN PER EVMWD STD S-1
- ⑩ CONSTRUCT 5' DIAMETER SEWER MANHOLE PER EVMWD STD S-5
- ⑪ INSTALL 4" PVC SDR-35 SEWER LATERAL PER EVMWD STD S-12, S-13 & S-14.

O:\18190-0 The Village of Lakeshore % TM 33267\CIVIL\Sheets\EVMD\18190\_UH13.dgn  
 O:\18190-0 The Village of Lakeshore % TM 33267\CIVIL\NORN Corps\Std 2005.dscr.plt  
 25-SEP-2011 13:08

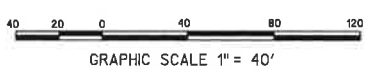
**Underground Service Alert**

TWO WORKING DAYS BEFORE YOU DIG

**BASIS OF BEARING**  
DESCRIPTION: CENTER LINE OF GRAND AVENUE, N52°53'08"W

**VERIFY SCALES**  
BAR IS ONE INCH ON ORIGINAL DRAWING  
0 1  
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

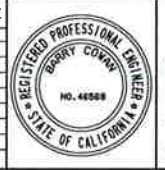
SUBMITTED BY:  
BARRY J. COWAN R.C.E. 48568 EXP. 6/30/19  
DATE:



THE DESIGN AND CONSTRUCTION OF THE PROJECT AS WELL AS THE ACCURACY OF FIGURES, ARE THE RESPONSIBILITY OF THE DESIGN ENGINEER. PLAN CHECK SERVICES BY E.V.M.W.D. WILL BE LIMITED TO ADHERENCE OF THE DISTRICT'S STANDARDS, MATERIALS, QUANTITIES AND SIZE OF FACILITIES, AS THEY RELATE TO THE SERVICE DEMANDS OR THE APPROVED MASTER PLAN.

REV	BY	DATE	REVISIONS	APPR.	DATE

DESIGNED BY: DK      DRAWN BY: DK      CHECKED BY: DB



PLANS PREPARED BY:  
**RICK ENGINEERING COMPANY**  
56 DISCOVERY - SUITE 240  
IRVINE, CA 92618  
949-588-0707  
rickengineering.com  
Orange      San Diego - Riverside - Sacramento - San Luis Obispo - Phoenix - Tucson - Denver

SEE SHEET 3 FOR DATA TABLES

**ELSOR VALLEY MUNICIPAL WATER DISTRICT**  
WATER AND SEWER IMPROVEMENT PLANS  
WESTLAKE - TM 33267  
BREEZEPORT WAY  
INLET WAY

PRELIMINARY  
NOT FOR CONSTRUCTION

SHEET NO. 13  
OF 13 SHEETS  
FILE NO. XX

RES: \_\_\_\_\_ P.Z: 1750  
PLAN SET DATE: 09/02/15

ENG. W.O.# XXXX-XXXX INSPECTION W.O.# \_\_\_\_\_

SEE ENLARGEMENT

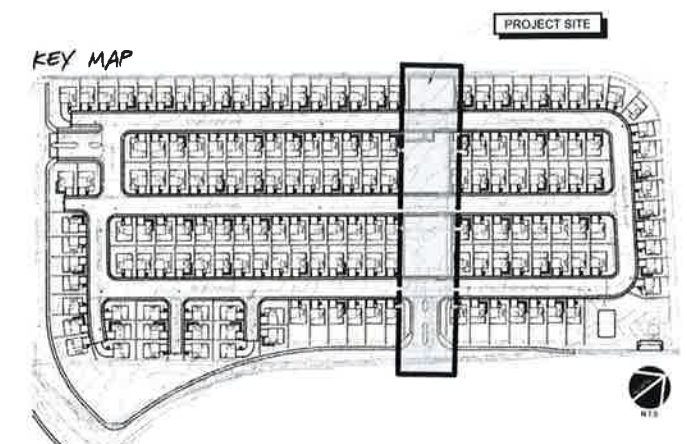
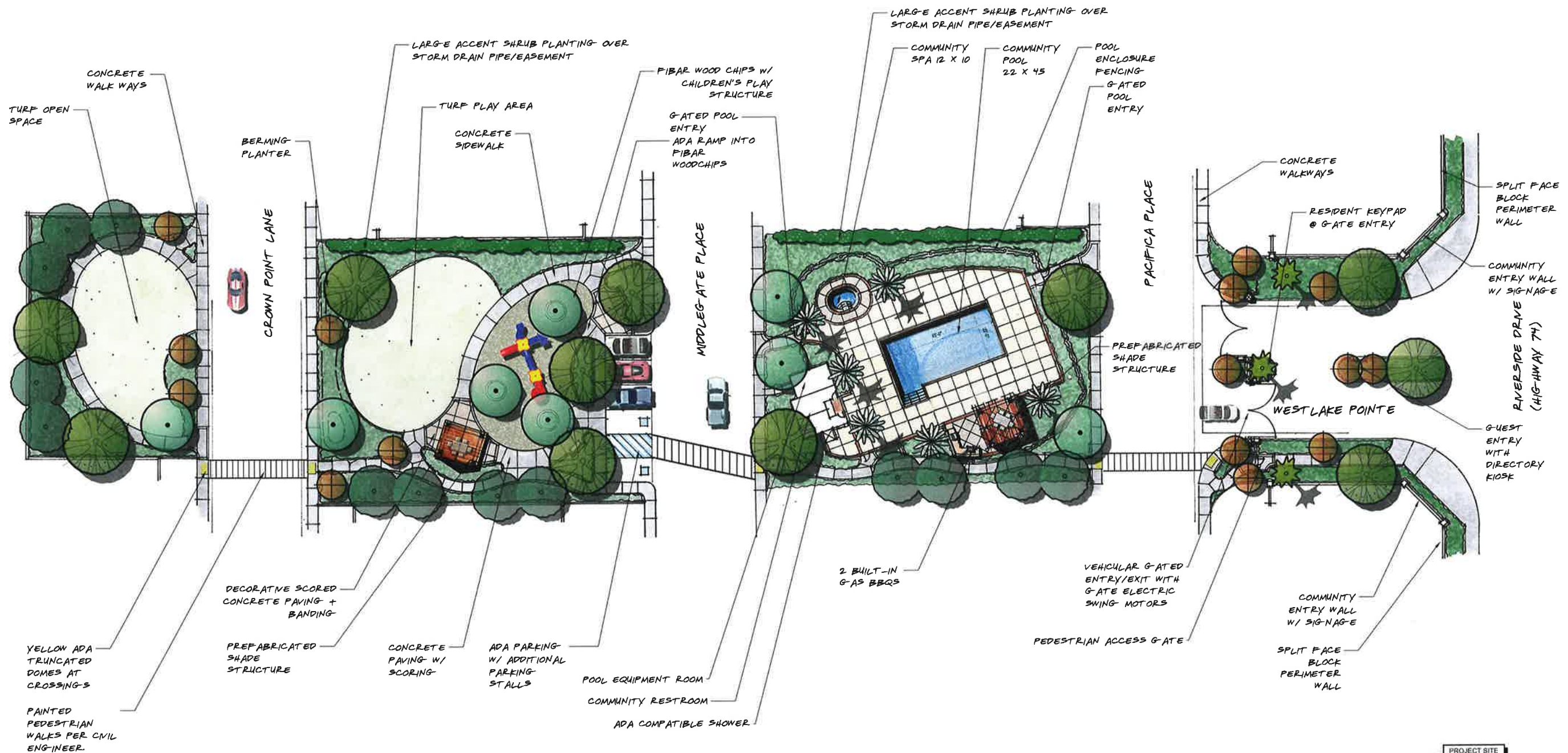


**FEATURE LEGEND:**

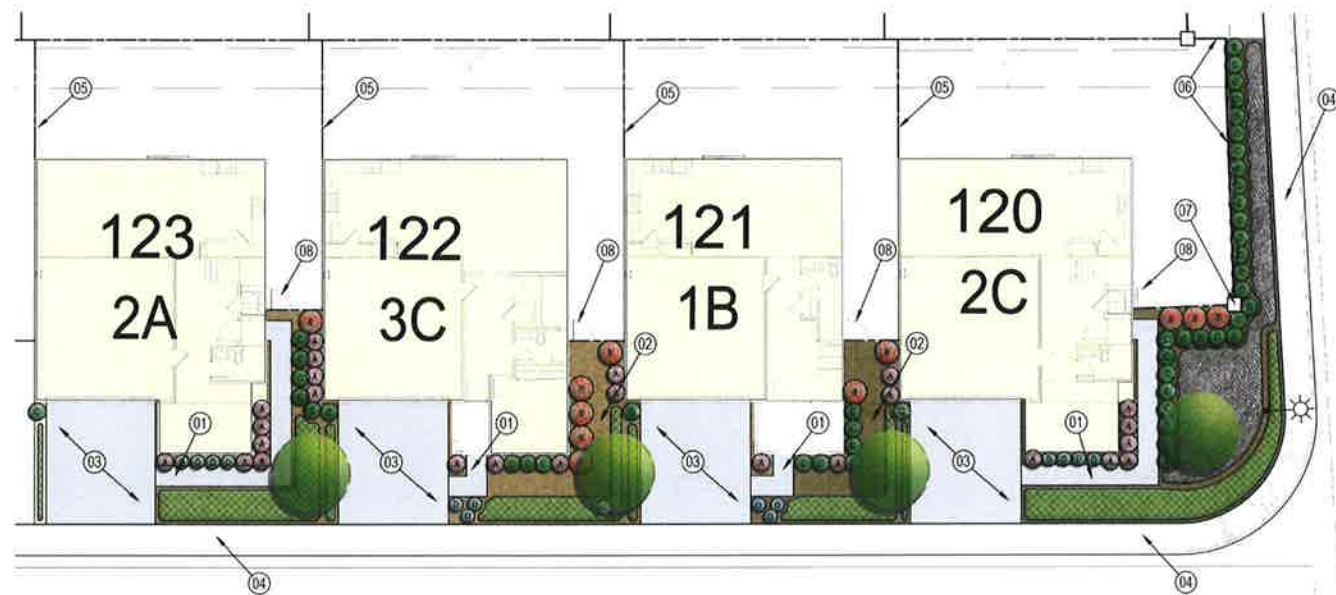
- |   |   |  |
|---|---|--|
| 1 Primary Entry Monument Wall and Signage.  | 7 Rec Area with Restroom Facility, Overhead Shade Structure with Tables, Chairs, Built-in Barbeque Grill with Counter, Swimming Pool and Spa. | 14 6' Tall Wood / Vinyl Rear and Sideyard Fence.           |
| 2 Retention Basin Per Civil Engineer's Plans.                                       | 8 Vehicle Parking Stalls and Loading Area. 5 Total Stalls. (2 ADA, 3 Standard)  | 15 6' Tall Wood / Vinyl Return Fence.                      |
| 3 6'-0" Tall CMU Perimeter Block Wall with One (1) Row Split-Face and Concrete Cap. | 9 Open Lawn Play Area.  | 16 6' Tall Tubular Steel View Fence.                       |
| 4 6'-6" Decorative Ledgers Stone Pilaster.  | 10 Overhead Shade Structure with Table and Chairs.  | 17 Children's Playground (5-12 yrs).                       |
| 5 Vehicular Entry/Exit Gates with Visitor Dial-Up Call Box.                         | 11 Seating Area with Table and Chairs.  | 18 Decomposed Granite Paving.                              |
| 6 Pedestrian Access Gates with Keypad Entry.  | 12 Existing Sidewalk to Remain.   | 19 Double-Wide Tubular Steel Vehicle Access Gate to Basin. |
|   | 13 3' Wide Wood / Vinyl Sideyard Gates.   | 20 Landform Berming with Boulder Accents.                  |

**PLANT PALETTE:**

- |                                      |                                       |  |
|--------------------------------------|---------------------------------------|--|
| <b>TREES &amp; VINES</b>             | <b>VINES</b>                          | <b>FOREGROUND</b>  |
| <b>LARGE SPECIMEN TREE</b>           | <i>Parthenocissus tricuspidata</i>    | <i>Aloe species</i>                                      |
| <i>Platanus racemosa</i>             | <i>Grewia occidentalis</i>            | <i>Encelia californica</i>                               |
| <i>Quercus agrifolia</i>             |                                       | <i>Penstemon heterophyllus</i>                           |
| <b>INTERIOR STREET TREES</b>         | <b>SHRUBS AND GROUNDCOVER</b>         | <i>Zauschneria californica</i>                           |
| <i>Rhus lancea</i>                   | <b>BACKGROUND</b>                     | <b>GROUNDCOVER</b>                                       |
| <i>Lophospermum confertus</i>        | <i>Arbutus u. 'Compacta'</i>          | <i>Carex tumulicola</i>                                  |
| <i>Quercus ilex</i>                  | <i>Arctostaphylos 'Howard McMinn'</i> | <i>Festuca glauca</i>                                    |
| <b>SMALL FLOWERING ACCENT TREE</b>   | <i>Heteromeles arbutifolia</i>        | <i>Myoporum parvifolium</i>                              |
| <i>Lagerstroemia indica</i>          | <i>Laurus nobilis 'Saratoga'</i>      | <i>Rosmarinus o. 'Huntington Carpet'</i>                 |
| <i>Cercis c. 'Forest Pansy'</i>      | <i>Leucophyllum frutescens</i>        |  |
| <i>Cercis occidentalis</i>           | <i>Podocarpus m. 'Maki'</i>           | <b>TURF</b>  |
| <b>EVERGREEN SCREENING TREE MASS</b> | <i>Viburnum l. 'Spring Bouquet'</i>   |  |
| <i>Podocarpus macrophyllus</i>       | <b>MIDGROUND</b>                      | <b>SHRUBS AND GROUNDCOVER AT RETENTION BASIN / SLOPE</b> |
| <b>EVERGREEN CANOPY TREE</b>         | <i>Cistus x 'Purpureus'</i>           | <i>Achillea millefolium</i>                              |
| <i>Melaleuca quinquenervia</i>       | <i>Salvia leucanthea</i>              | <i>Baccharis pilularis</i>                               |
| <b>PALM TREE</b>                     | <i>Diels bicolor</i>                  | <i>Carex pansa</i>                                       |
| <i>Washingtonia filifera</i>         | <i>Grevillea x 'Noellii'</i>          | <i>Heteromeles arbutifolia</i>                           |
| <b>GRAND AVE. STREET TREE</b>        | <i>Hesperaloe parviflora</i>          | <i>Festuca o. 'Glaucia'</i>                              |
| <i>Pistachia chinensis</i>           | <i>Muhlenbergia capitaris</i>         | <i>Muhlenbergia rigens</i>                               |
| <b>RELOCATED EXISTING PALM TREES</b> | <i>Nandina d. 'Harbour Dwarf'</i>     | <i>Rosa californica</i>                                  |
| <i>Washingtonia filifera</i>         | <i>Osmanthus spp.</i>                 |  |
|                                      | <i>Salvia species</i>                 | <i>Yarrow</i>  |
|                                      |                                       | <i>Coyote Bush</i>                                       |
|                                      |                                       | <i>Sedge</i>   |
|                                      |                                       | <i>Toyon</i>   |
|                                      |                                       | <i>Blue Fescue</i>                                       |
|                                      |                                       | <i>Myoporum</i>  |
|                                      |                                       | <i>Rosemary</i>  |
|                                      |                                       | <i>Deer Grass</i>  |
|                                      |                                       | <i>California Wild Rose</i>                              |







**FEATURE LEGEND:**

- 1 Concrete Walk.
- 2 Implied Path in Mulch for Trash Can Transport and Back Yard Access.
- 3 Concrete Driveway per Civil Engineer.
- 4 Concrete Sidewalk per Civil Engineer.
- 5 Wood / Vinyl Rear Yard and Return Fence, Per Separate Wall and Fence Plan Per ADG.
- 6 CMU Block Endwall Per Separate Wall and Fence Plan Per ADG.
- 7 Decorative Ledger Stone Pilasters Per Separate Wall and Fence Plan Per ADG.
- 8 Wood / Vinyl Back Yard Gate Per Separate Wall and Fence Plan Per ADG.

**PLANTING LEGEND:  
TYPICAL FRONT YARDS**

**ELEVATION "A" - SPANISH**

SYMBOL / CALLOUT	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS	WATER USE
<b>TREES</b>						
ST-1	Street Tree	See HVA Street Tree Plans on a separate package, prepared by Architects Design Group for tree selection, size and spacing per sheet.				
<b>SHRUBS</b>						
A	Podocarpus n. 'Maki'	Shady Yew Pine	15 gal	Per Plan		M
B	Callistemon n. 'Star'	Star Bottlebrush	15 gal	Per Plan		M
C	Rosa f. 'Iceberg'	Iceberg Rose	5 gal	30' o.c.		M
D	Desmodium n. 'Dance of the Fairies'	Fairy Bush	5 gal	30' o.c.		M
E	Albizia n. 'Blue Bird'	Blue Bird Tree	1 gal	24' o.c.		L
<b>GROUNDCOVER</b>						
F	Rosemary n. 'Tussock'	Creeping Rosemary	1 gal	30' o.c.		L
G	Sonchus n. 'Mandarin'	Blue Chalksticks	1 gal	12' o.c.		L
<b>VINES</b>						
H	Parthenocissus n. 'Hoopnet'	Boston Ivy	5 gal	10' o.c.		M

**ELEVATION "B" - CRAFTSMAN**

SYMBOL / CALLOUT	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS	WATER USE
<b>TREES</b>						
ST-1	Street Tree	See HVA Street Tree Plans on a separate package, prepared by Architects Design Group for tree selection, size and spacing per sheet.				
<b>SHRUBS</b>						
A	Podocarpus n. 'Maki'	Shady Yew Pine	15 gal	Per Plan		M
B	Callistemon n. 'Star'	Star Bottlebrush	15 gal	Per Plan		M
C	Rosa f. 'Iceberg'	Iceberg Rose	5 gal	30' o.c.		M
D	Desmodium n. 'Dance of the Fairies'	Fairy Bush	5 gal	30' o.c.		M
E	Albizia n. 'Blue Bird'	Blue Bird Tree	1 gal	24' o.c.		L
<b>GROUNDCOVER</b>						
F	Rosemary n. 'Tussock'	Creeping Rosemary	1 gal	30' o.c.		L
G	Sonchus n. 'Mandarin'	Blue Chalksticks	1 gal	12' o.c.		L
<b>VINES</b>						
H	Parthenocissus n. 'Hoopnet'	Boston Ivy	5 gal	10' o.c.		M

**ELEVATION "C" - SANTA BARBARA**

SYMBOL / CALLOUT	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS	WATER USE
<b>TREES</b>						
ST-1	Street Tree	See HVA Street Tree Plans on a separate package, prepared by Architects Design Group for tree selection, size and spacing per sheet.				
<b>SHRUBS</b>						
A	Cupressus n. 'Monrovia'	Tiny Trees Arborvitae	15 gal	Per Plan		L
B	Arctostaphylos n. 'Howard McMillan'	Howard McMillan Toyon	15 gal	Per Plan		L
C	Rosa n. 'Lansan Blue'	Lansan Blue Rose	5 gal	20' o.c.		L
D	Zaibacca n. 'Noble 60'	Rose 60 Calceola Fascia	1 gal	24' o.c.		L
<b>GROUNDCOVER</b>						
E	Rosemary n. 'Tussock'	Creeping Rosemary	1 gal	30' o.c.		L
F	Festuca n. 'Serpentine Blue'	Serpentine Blue Fescue	1 gal	12' o.c.		L
<b>VINES</b>						
G	Parthenocissus n. 'Hoopnet'	Boston Ivy	5 gal	10' o.c.		M

**STREET TREE VARIETIES**

SYMBOL / CALLOUT	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	COMMENTS	WATER USE
T-1	Platanus n. 'Royal Purple'	Almond Sunac	30' BOX	PER PLAN	STANDARD	L
T-2	Liquidambar n. 'Starburst'	Starburst Box	30' BOX	PER PLAN	STANDARD	M
T-3	Quercus n. 'Gambelii'	White Oak	30' BOX	PER PLAN	STANDARD	L

**WATER EFFICIENT LANDSCAPE WORKSHEET**  
Residential Landscape Projects

Reference ET<sub>o</sub> for the area ET<sub>o</sub> = 55

**Estimated Total Water Use (ETWU):**

ETWU is calculated using the following formula:  $(Eto) \times (ETAF) \times (LA)$ , where ETWU/ETAF is PF/IE

Hydrozone # / Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq ft)	ETAF x Landscape Area	Estimated Total Water Use (ETWU) (gallons/yr)
<b>Regular Landscape Areas</b>							
M1 - Low Shrub	0.2	Drip	0.81	0.25	149	36.75	4,250
M2 - Moderate Shrub	0.4	Drip	0.81	0.49	12	5.88	692
M3 - Moderate Tree	0.5	Bubble	0.81	0.62	25	15.43	1,826
					<b>Totals</b>	<b>186</b>	<b>58</b>
<b>Special Landscape Areas</b>							
					<b>Totals</b>	<b>0</b>	<b>0</b>
Estimated Total Water Use in gallons per year: ETWU Total							<b>1063</b>
Maximum Annual Water Allowance in gallons per year: MAWA Total							<b>4970</b>
MAWA calculation: $(Eto) \times (62) [(ETAF) \times LA] + ((1-ETAF) \times SL)$ MAWA - ETWU							<b>1306</b>

**ETAF Calculations:**

Regular Landscape Areas	
Total ETAF x Area	58
Total Area	186
Average ETAF	0.31

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas.

All Landscape Areas	
Total ETAF x Area	58
Total Landscape Area (LA)	186
Sitewide ETAF	0.31

**A** MWELO-TYPICAL-PLAN 2A  
SCALE: N.T.S.

**WATER EFFICIENT LANDSCAPE WORKSHEET**  
Residential Landscape Projects

Reference ET<sub>o</sub> for the area ET<sub>o</sub> = 55

**Estimated Total Water Use (ETWU):**

ETWU is calculated using the following formula:  $(Eto) \times (ETAF) \times (LA)$ , where ETWU/ETAF is PF/IE

Hydrozone # / Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq ft)	ETAF x Landscape Area	Estimated Total Water Use (ETWU) (gallons/yr)
<b>Regular Landscape Areas</b>							
M1 - Low Shrub	0.2	Drip	0.81	0.25	157	39.42	4,611
M2 - Moderate Shrub	0.4	Drip	0.81	0.49	133	65.88	7,746
M3 - Moderate Tree	0.5	Bubble	0.81	0.62	25	15.43	1,826
					<b>Totals</b>	<b>265</b>	<b>109</b>
<b>Special Landscape Areas</b>							
					<b>Totals</b>	<b>0</b>	<b>0</b>
Estimated Total Water Use in gallons per year: ETWU Total							<b>3667</b>
Maximum Annual Water Allowance in gallons per year: MAWA Total							<b>4970</b>
MAWA calculation: $(Eto) \times (62) [(ETAF) \times LA] + ((1-ETAF) \times SL)$ MAWA - ETWU							<b>1303</b>

**ETAF Calculations:**

Regular Landscape Areas	
Total ETAF x Area	109
Total Area	265
Average ETAF	0.41

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas.

All Landscape Areas	
Total ETAF x Area	109
Total Landscape Area (LA)	265
Sitewide ETAF	0.41

**B** MWELO-TYPICAL-PLAN 3C  
SCALE: N.T.S.

**WATER EFFICIENT LANDSCAPE WORKSHEET**  
Residential Landscape Projects

Reference ET<sub>o</sub> for the area ET<sub>o</sub> = 55

**Estimated Total Water Use (ETWU):**

ETWU is calculated using the following formula:  $(Eto) \times (ETAF) \times (LA)$ , where ETWU/ETAF is PF/IE

Hydrozone # / Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq ft)	ETAF x Landscape Area	Estimated Total Water Use (ETWU) (gallons/yr)
<b>Regular Landscape Areas</b>							
M1 - Low Shrub	0.2	Drip	0.81	0.25	88	22.22	2,637
M2 - Moderate Shrub	0.4	Drip	0.81	0.49	193	95.88	11,306
M3 - Moderate Tree	0.5	Bubble	0.81	0.62	25	15.43	1,826
					<b>Totals</b>	<b>220</b>	<b>89</b>
<b>Special Landscape Areas</b>							
					<b>Totals</b>	<b>0</b>	<b>0</b>
Estimated Total Water Use in gallons per year: ETWU Total							<b>3035</b>
Maximum Annual Water Allowance in gallons per year: MAWA Total							<b>4970</b>
MAWA calculation: $(Eto) \times (62) [(ETAF) \times LA] + ((1-ETAF) \times SL)$ MAWA - ETWU							<b>1935</b>

**ETAF Calculations:**

Regular Landscape Areas	
Total ETAF x Area	89
Total Area	220
Average ETAF	0.40

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas.

All Landscape Areas	
Total ETAF x Area	89
Total Landscape Area (LA)	220
Sitewide ETAF	0.40

**C** MWELO-TYPICAL-PLAN 1B  
SCALE: N.T.S.

**WATER EFFICIENT LANDSCAPE WORKSHEET**  
Residential Landscape Projects

Reference ET<sub>o</sub> for the area ET<sub>o</sub> = 55

**Estimated Total Water Use (ETWU):**

ETWU is calculated using the following formula:  $(Eto) \times (ETAF) \times (LA)$ , where ETWU/ETAF is PF/IE

Hydrozone # / Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq ft)	ETAF x Landscape Area	Estimated Total Water Use (ETWU) (gallons/yr)
<b>Regular Landscape Areas</b>							
M1 - Low Shrub	0.2	Drip	0.81	0.25	84	20.93	2,492
M2 - Moderate Shrub	0.4	Drip	0.81	0.49	119	58.88	6,977
M3 - Moderate Tree	0.5	Bubble	0.81	0.62	28	17.43	2,076
					<b>Totals</b>	<b>1,170</b>	<b>375</b>
<b>Special Landscape Areas</b>							
					<b>Totals</b>	<b>0</b>	<b>0</b>
Estimated Total Water Use in gallons per year: ETWU Total							<b>12785</b>
Maximum Annual Water Allowance in gallons per year: MAWA Total							<b>21943</b>
MAWA calculation: $(Eto) \times (62) [(ETAF) \times LA] + ((1-ETAF) \times SL)$ MAWA - ETWU							<b>9158</b>

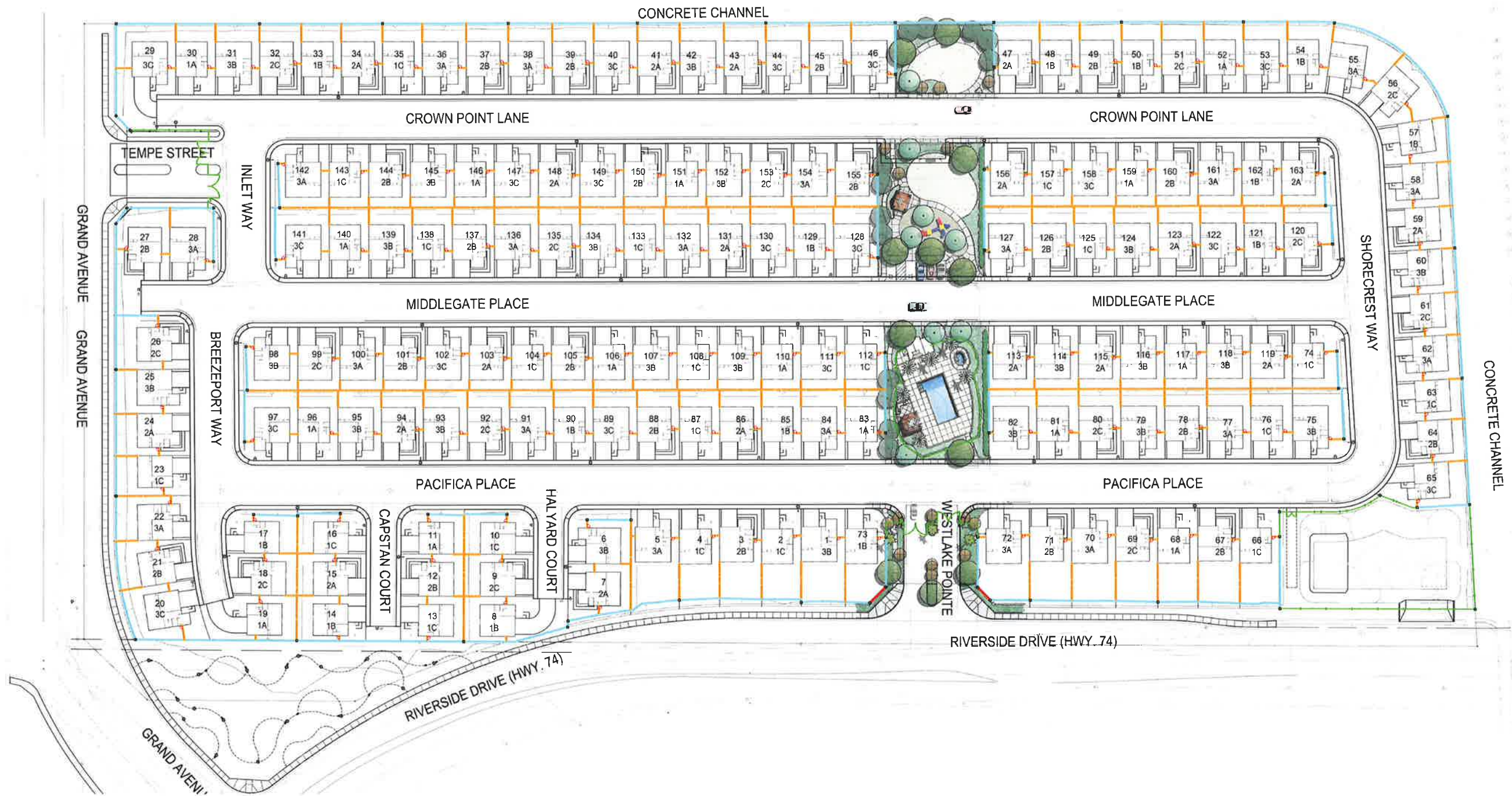
**ETAF Calculations:**

Regular Landscape Areas	
Total ETAF x Area	375
Total Area	1,170
Average ETAF	0.32

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas.

All Landscape Areas	
Total ETAF x Area	375
Total Landscape Area (LA)	1,170
Sitewide ETAF	0.32

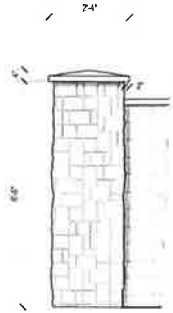
**D** MWELO-TYPICAL-PLAN 2C CORNER CONDITION  
SCALE: N.T.S.



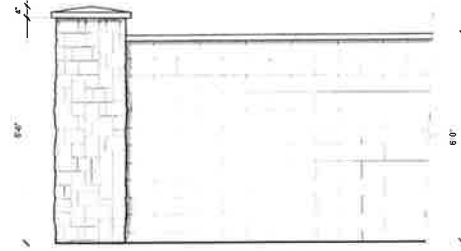
**FEATURE LEGEND:**

- |   |  |
|---|--|
| <ul style="list-style-type: none"> <li>1 6' High Tubular Steel View Fence at Pool, Retention Basin, and Grand Avenue Entrance. See Detail E, on Conceptual Wall and Fence Details Exhibit.</li> <li>2 6' High Wood/Vinyl Side Yard, Back Yard, and Return Fence. See Detail D, on Conceptual Wall and Fence Details Exhibit.</li> <li>3 6' High CMU Perimeter Block Wall with One Row Split-Face Single Side, Cap Wall. See Detail B, on Conceptual Wall and Fence Details Exhibit.</li> <li>4 6' High CMU Entry Monument Wall with Stucco Finish, Cap Wall. See Detail H, on Conceptual Wall and Fence Details Exhibit.</li> </ul> | <ul style="list-style-type: none"> <li>5 3' Wide Vinyl Side Yard Gate. See Detail C, on Conceptual Wall and Fence Details Exhibit.</li> <li>6 3' Wide Tubular Steel Gate at Pool Area. See Detail F, on Conceptual Wall and Fence Details Exhibit.</li> <li>7 6' 6" High Decorative Ledge Stone Pilaster w/ 4" Cap. See Detail A, on Conceptual Wall and Fence Details Exhibit.</li> <li>8 Double Swing Tubular Steel Gates at Entry.</li> <li>9 Double Swing Tubular Steel Gates at Basin Gates.</li> </ul> |
|---|--|

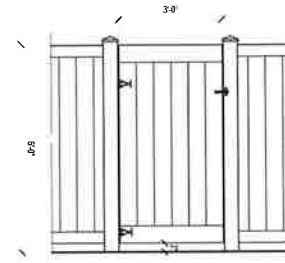




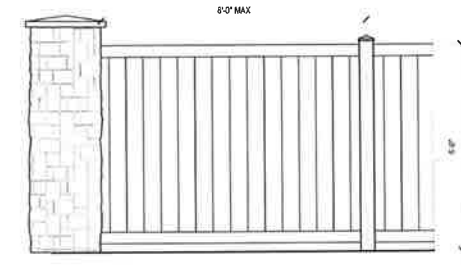
**A** 6' 6" HIGH PILASTER WITH DECORATIVE LEDGER  
STONE VENEER AND 4" CAP.



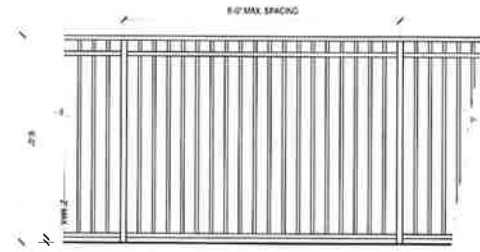
**B** 6' HIGH PERIMETER SLUMP BLOCK WALL WITH  
ONE ROW SPLIT-FACE ACCENT WITH  
PRECISION CAP.



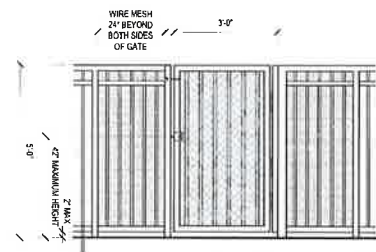
**C** 3' WIDE WOOD / VINYL  
ACCESS GATE



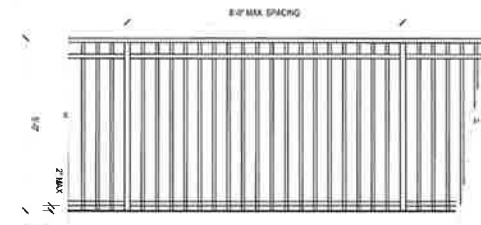
**D** 6' HIGH WOOD / VINYL PRIVACY FENCE



**E** 6' HIGH TUBULAR STEEL FENCE



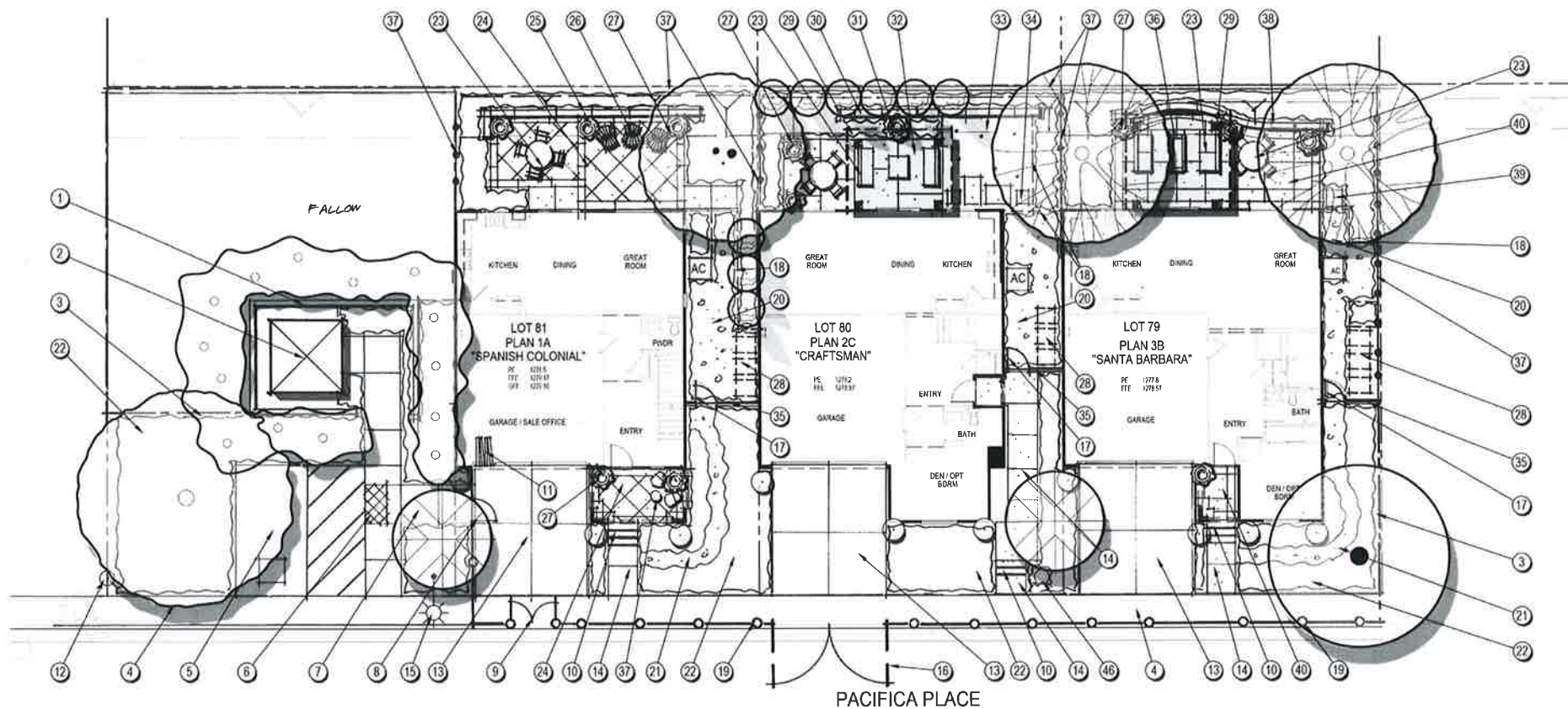
**F** 3' WIDE TUBULAR STEEL GATE WITH  
LOCKING SYSTEM AT POOL



**G** 5' HIGH TUBULAR STEEL FENCE



**H** ENTRY MONUMENT



PLANT PALETTE:

- TREES**
- LARGE MULTI-TRUNK SPECIMEN TREE (36" Box)**
    - Quercus agrifolia* - Coast Live Oak
  - MULTI-TRUNK SPECIMEN TREE (36" Box)**
    - Arbutus x 'Marina'* - Strawberry Tree
  - DECIDUOUS CANOPY TREE (36" Box)**
    - Platanus racemosa* - California Sycamore
  - EVERGREEN STREET TREE (36" Box)**
    - Lophostemon confertus* - Brisbane Box
    - Rhus lancea* - African Sumac
  - SMALL FLOWERING ACCENT TREE (24" Box)**
    - Lagerstroemia indica* - Crape Myrtle
    - Cercis occidentalis* - Western Redbud
  - EVERGREEN SCREENING TREE MASS (15 Gal.)**
    - Podocarpus macrophyllus* - Yew Pine
    - Melaleuca quinquenervia* - Cajuput Tree
  - UPRIGHT COLUMNAR TREE (15 Gal.)**
    - Podocarpus latifolius 'Icee Blue'* - Icee Blue Yellowwood
- SHRUBS AND GROUNDCOVER**
- BACKGROUND**
- Arbutus u. 'Compacta'* - Dwarf Strawberry Tree
  - Arctostaphylos 'Howard McMinn'* - Howard McMinn Manzanita
  - Heteromeles arbutifolia* - Toyon
  - Laurus nobilis* - Sweet Bay
  - Leucophyllum frutescens* - Texas Ranger
  - Podocarpus m. 'Maki'* - Shubby Yew Pine
  - Viburnum t. 'Spring Bouquet'* - Viburnum Tinus
- MIDGROUND**
- Cistus x 'Purpureus'* - Rock Rose
  - Salvia leucantha* - Mexican Sage
  - Diets bicolor* - African Iris
  - Grevillea x 'Noell'* - Noell Grivellea
  - Hesperaloe parviflora* - Red Yucca
  - Muhlenbergia capillaris* - Pink Muhly Grass
  - Nandina d. 'Harbour Dwarf'* - Dwarf Heavenly Bamboo
  - Osmanthus spp.* - Fragrant Olive
  - Salvia species* - Sage
- FOREGROUND**
- Aloe species* - Aloe
  - Encelia californica* - Coast Sunflower
  - Penstemon heterophyllus* - Penstemon
  - Zauschneria californica* - California Fuchsia
- GROUNDCOVER**
- Carex tumulicola* - Sedge
  - Festuca glauca* - Blue Fescue
  - Lantana montevidensis* - Lantana
  - Myoporum parvifolium* - Myoporum
  - Rosmarinus o. 'Huntington Carpet'* - Rosemary

FEATURE LEGEND:

- 1 6' Tall Temporary Porta Pottie "Almond" Color P.V.C. Screen Fence with Lattice on Top.
- 2 Temporary ADA Accessible Model Home Complex Porta Pottie.
- 3 6' Tall Temporary "Almond" Color PVC Screen Fence.
- 4 City Sidewalk Per Civil Engineer's Plans.
- 5 Handicap Accessible Parking with Loading Zone.
- 6 Truncated Dome.
- 7 ADA Accessible Path.
- 8 Temporary Model Home 36" Wide 2 Rail "Almond" Color P.V.C. Pedestrian Gate.
- 9 Temporary Model Home 36" Double Wide 2 Rail "Almond" Color P.V.C. Pedestrian Gate.
- 10 Step Riser Per Civil Engineers Plans.
- 11 Retractable Glass Door by Others.
- 12 Fire Hydrant Per Civil Engineers Plans.
- 13 Typical Medium Broom Natural Color Finish Concrete Driveway Per Civil Engineer's Plans.
- 14 4' Wide Model Home Concrete Path.
- 15 Street Lights Per Civil Engineer's Plans.
- 16 Temporary Model Home 2 Rail "Almond" Color P.V.C. Double Wide Maintenance Access Gate.
- 17 Typical 36" Wide "Almond" Color P.V.C. Sideyard Gate.
- 18 Recycled Plastic Edging.
- 19 Temporary 42" Tall 2 Rail "Almond" Color P.V.C. Model Home Trap Fence within City Sidewalk.
- 20 Mulch Layer.
- 21 Implied Mulch Layer Path to Sideyard within Planter Area.
- 22 Planting Area.
- 23 Outdoor Furniture.
- 24 Etched Concrete with Score Joints in Diagonal Pattern and Smooth Trowel Concrete Band.
- 25 Split Face Concrete Block Garden Wall (3 ft. tall max.).
- 26 Adirondack Chair Seating.
- 27 Decorative Planter Pot with Accent Planting.
- 28 Trash Can Storage Location.
- 29 Free Standing Alumiwood Patio Covers.
- 30 Split-Face Concrete Block Garden Wall with Concrete Cap. (3 Ft Tall Max)
- 31 Large Decorative Planter Pot with Accent Planting.
- 32 Etched Concrete with Random Control Joints.
- 33 Open Lawn.
- 34 Random Size Concrete Step Pads (24" Sq. Minimum).
- 35 6' Tall "Almond" Color P.V.C Return Fence.
- 36 Prefabricated Fire Feature.
- 37 6' Tall Side and Rear Yard "Almond" Color P.V.C. Privacy Fencing.
- 38 C.M.U. Block Garden Wall with Stucco Finish and Concrete Cap. (3' Tall Max)
- 39 24" Sq. Concrete Step Stone.
- 40 Etched Concrete in Square Pattern with Smooth Trowel Concrete Band.

WATER EFFICIENT LANDSCAPE WORKSHEET

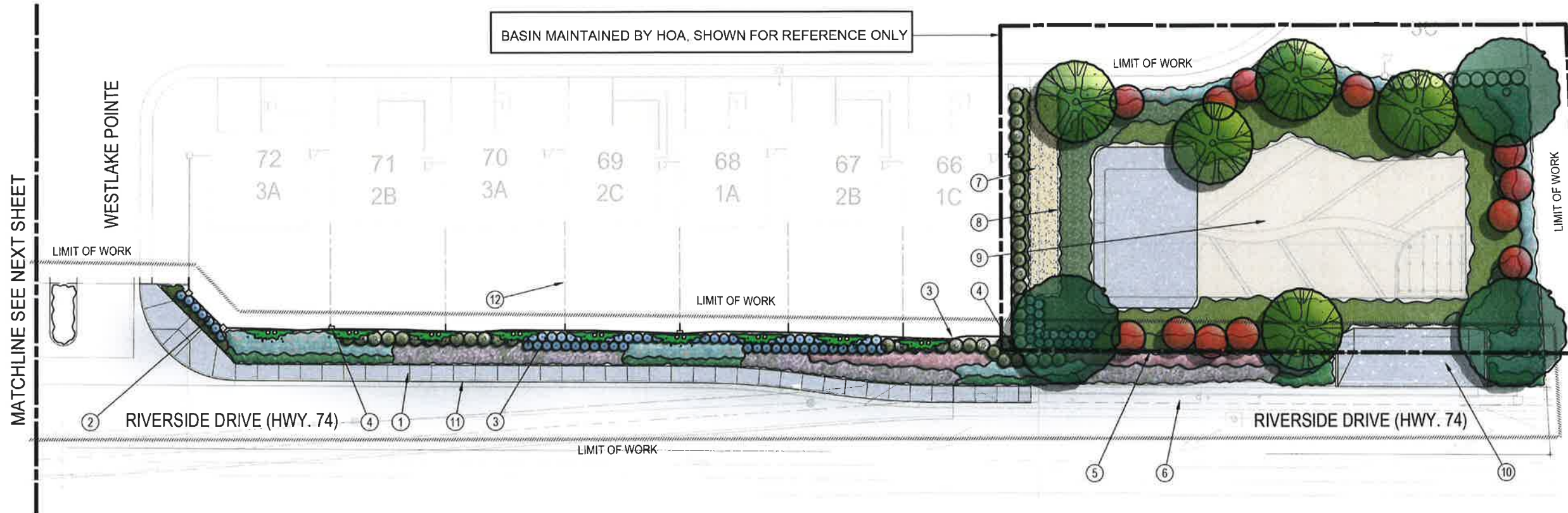
RESIDENTIAL LANDSCAPE - CITY OF LAKE ELSINORE

Reference ETo for the area ETo = 55

Estimated Total Water Use (ETWU):  
ETWU is calculated using the following formula: (ETo) (62) (ETAF) (A) where ETWU/ETAF is PFUE

Hydrozone / Planting Decision	Plant Factor (PF)	Impervious Material	Impervious Efficiency (IE)	ETAF (PF)(IE)	Landscaped Area (A)	E To in Landscape Area	Estimated Total Water Use in Gallons per year: ETWU Total	
<b>Regular Landscape Areas</b>								
121 - Low Water	0.2	Driveway	0.81	0.162	1,167	368.01	13,094	
122 - Moderate Water	0.4	Driveway	0.81	0.324	1,167	777.33	26,306	
123 - High Water	0.6	Driveway	0.81	0.486	117	156.06	5,268	
124 - Moderate Water	0.5	Subsidiary	0.81	0.405	125	324.00	11,051	
125 - Moderate Water	0.5	Driveway	0.81	0.405	38	23.88	808	
<b>Totals</b>							<b>1663</b>	
<b>Special Landscape Areas</b>								
<b>Totals</b>							<b>0</b>	
Estimated Total Water Use in gallons per year: ETWU Total							56720	
Maximum Annual Water Allowance in gallons per year: MAWA Total							72282	
MAWA calculation: (ETo) (62) (ETAF) (A) + ((1-ETAF) x SL)							MAWA - ETWU	15562
where Residual MAWA/ETAF factor is 0.35								
<b>ETAF Calculations:</b>								
<b>Regular Landscape Areas</b>								
Total ETAF x Area		1663		Total Area		3,854		
Average ETAF		0.43		Average ETAF for Regular Landscape Areas must be 0.35 or below for residential areas.				
<b>All Landscape Areas</b>								
Total ETAF x Area		1663		Total Landscape Area (A)		3,854		
Site-wide ETAF		0.43						










BASIN MAINTAINED BY HOA, SHOWN FOR REFERENCE ONLY














**FEATURE LEGEND:**

- 1 City Sidewalk Per Civil Engineer's Plans.
- 2 Entry Monument Wall with Signage.
- 3 C.M.U. Perimeter Block Wall with One (1) Row Split-Face and Concrete Cap.
- 4 6'-6" Decorative Ledgers Stone Pilaster.
- 5 6' High Tubular Steel View Fence.
- 6 Existing City Sidewalk to Remain.
- 7 Decomposed Granite Paving.
- 8 Aluminum Edging.
- 9 Water Quality Retention Basin Per Civil Engineer's Plans.
- 10 Emergency Overflow Per Civil Engineer's Plans.
- 11 Street Curb Per Civil Engineer's Plans.
- 12 6' Tall Wood / Vinyl Rear and Side Yard Fence Per Separate Architerra Design Group H.O.A. Package.

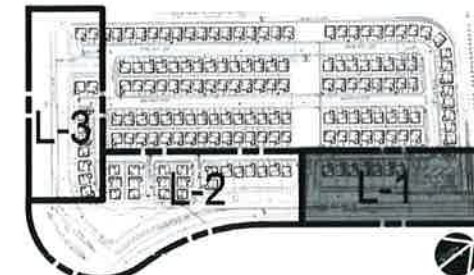
**PLANT PALETTE:**

TREES & VINES			
	BOTANICAL NAME	COMMON NAME	SIZE WATER USE
	LARGE EVERGREEN SPECIMEN TREE		
	<i>Quercus agrifolia</i>	Coast Live Oak	36" Box Low
	TALL DECIDUOUS SHADE TREE		
	<i>Platanus racemosa</i>	California Sycamore	24" Box Low
	SMALL FLOWERING ACCENT TREE		
	<i>Cercis occidentalis</i>	Western Redbud	15 Gal. Low
	GRAND AVE. STREET TREE		
	<i>Pistacia chinensis</i>	Chinese Pistache	15 Gal. Moderate
	VINES		
	<i>Parthenocissus tricuspidata</i>	Boston Ivy	1 Gal. Moderate

**SHRUBS AND GROUNDCOVER**

	BOTANICAL NAME	COMMON NAME	SIZE WATER USE
<b>BACKGROUND</b>			
	<i>Arbutus u. 'Compacta'</i>	Strawberry Tree	5 Gal. Low
	<i>Arctostaphylos 'Howard McMinn'</i>	Manzanita	5 Gal. Low
	<i>Leucophyllum l. 'Lynn's Legacy'</i>	Texas Ranger	5 Gal. Low
<b>MIDGROUND</b>			
	<i>Cistus x 'Purpureus'</i>	Rock Rose	5 Gal. Low
	<i>Hesperaloe parviflora</i>	Red Yucca	5 Gal. Low
	<i>Nandina d. 'Harbour Dwarf'</i>	Heavenly Bamboo	5 Gal. Moderate
	<i>Salvia leucantha</i>	Mexican Sage	5 Gal. Low
<b>FOREGROUND / GROUNDCOVER</b>			
	<i>Achillea millefolium</i>	Yarrow	1 Gal. Low
	<i>Aloe striata</i>	Coral Aloe	1 Gal. Low
	<i>Carex divulsa</i>	Gray Sedge	1 Gal. Low
	<i>Carex pansa</i>	Sedge	1 Gal. Moderate
	<i>Encelia californica</i>	Coast Sunflower	1 Gal. Low
	<i>Rosmarinus o. 'Huntington Carpet'</i>	Rosemary	1 Gal. Low

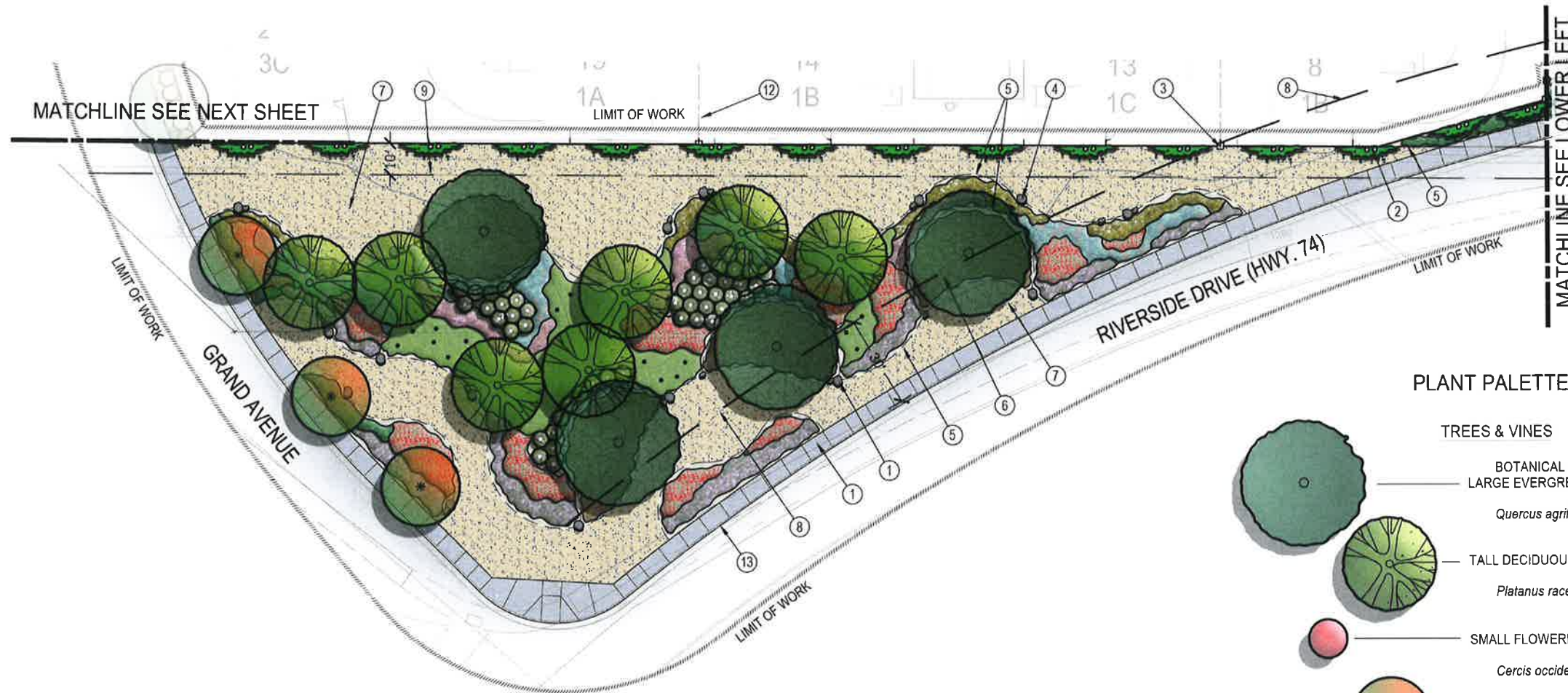
**KEY MAP**



0 10' 20' 40' 80'  
SCALE: 1" = 20'



SCALE: 1" = 20'  
DATE: JANUARY 2019  
ADG JOB #: 1825-5



**FEATURE LEGEND:**

- 1 City Sidewalk Per Civil Engineer's Plans.
- 2 C.M.U. Perimeter Block Wall with One (1) Row Split-Face and Concrete Cap.
- 3 6'-6" Tall Decorative Ledger Stone Pilaster.
- 4 Landscape Boulders.
- 5 Aluminum Edging.
- 6 Mulch Layer Under Oak Trees.
- 7 Decomposed Granite Paving.
- 8 30' Highway Landscape Large Tree Setback.
- 9 Existing Utilities with 10' Utility Easement.
- 10 Street Curb Per Civil Engineer's Plans.
- 11 Entry Monument Wall with Signage.
- 12 6' Tall Side and Rear Yard Wood / Vinyl Fence Per Separate Archterra Design Group H.O.A. Package.
- 13 Street Curb Per Civil Engineer's Plans.

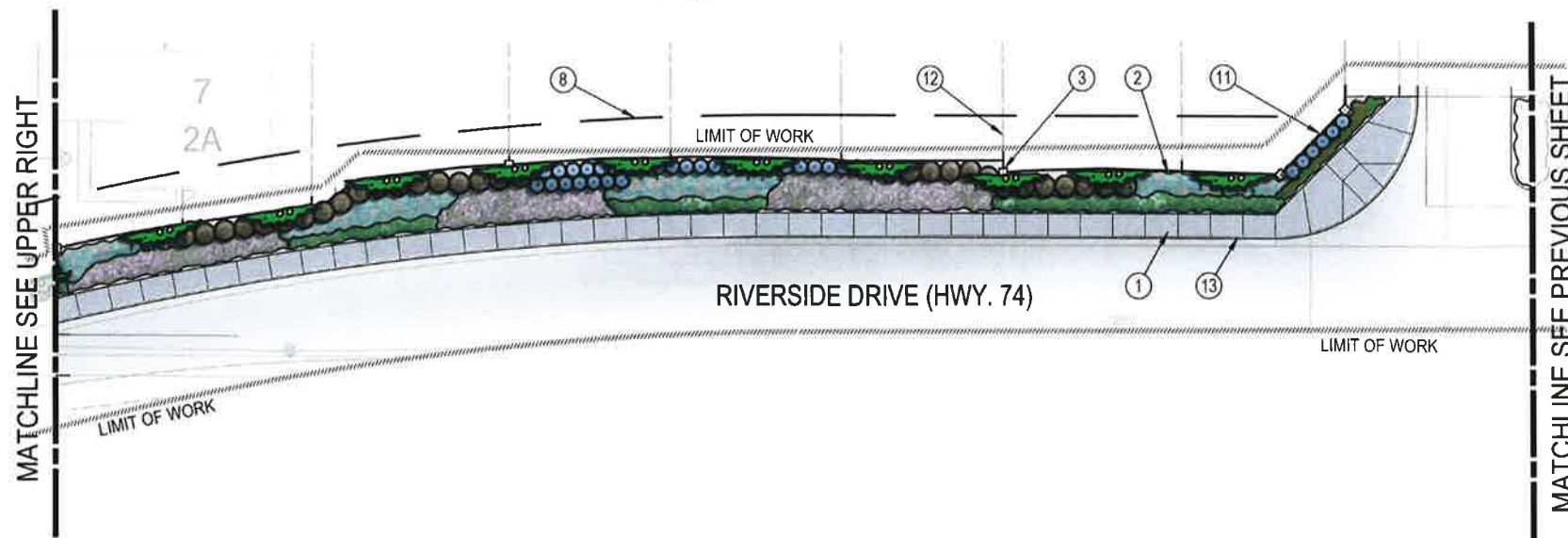
**PLANT PALETTE:**

**TREES & VINES**

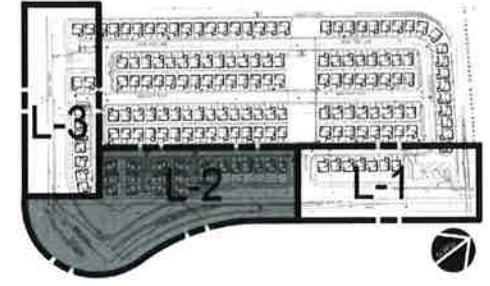
BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
<b>LARGE EVERGREEN SPECIMEN TREE</b>			
<i>Quercus agrifolia</i>	Coast Live Oak	36" Box	Low
<b>TALL DECIDUOUS SHADE TREE</b>			
<i>Platanus racemosa</i>	California Sycamore	24" Box	Low
<b>SMALL FLOWERING ACCENT TREE</b>			
<i>Cercis occidentalis</i>	Western Redbud	15 Gal.	Low
<b>GRAND AVE. STREET TREE</b>			
<i>Pistacia chinensis</i>	Chinese Pistache	15 Gal.	Moderate
<b>VINES</b>			
<i>Parthenocissus tricuspidata</i>	Boston Ivy	1 Gal.	Moderate

**SHRUBS AND GROUNDCOVER**

BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
<b>BACKGROUND</b>			
<i>Arbutus u. 'Compacta'</i>	Strawberry Tree	5 Gal.	Low
<i>Arctostaphylos 'Howard McMinn'</i>	Manzanita	5 Gal.	Low
<i>Leucophyllum l. 'Lynn's Legacy'</i>	Texas Ranger	5 Gal.	Low
<b>MIDGROUND</b>			
<i>Cistus x 'Purpureus'</i>	Rock Rose	5 Gal.	Low
<i>Hesperaloe parviflora</i>	Red Yucca	5 Gal.	Low
<i>Nandina d. 'Harbour Dwarf'</i>	Heavenly Bamboo	5 Gal.	Moderate
<i>Salvia leucantha</i>	Mexican Sage	5 Gal.	Low
<b>FOREGROUND / GROUNDCOVER</b>			
<i>Achillea millefolium</i>	Yarrow	1 Gal.	Low
<i>Aloe striata</i>	Coral Aloe	1 Gal.	Low
<i>Carex divulsa</i>	Gray Sedge	1 Gal.	Low
<i>Carex pansa</i>	Sedge	1 Gal.	Moderate
<i>Encelia californica</i>	Coast Sunflower	1 Gal.	Low
<i>Rosmarinus o. 'Huntington Carpet'</i>	Rosemary	1 Gal.	Low



**KEY MAP**



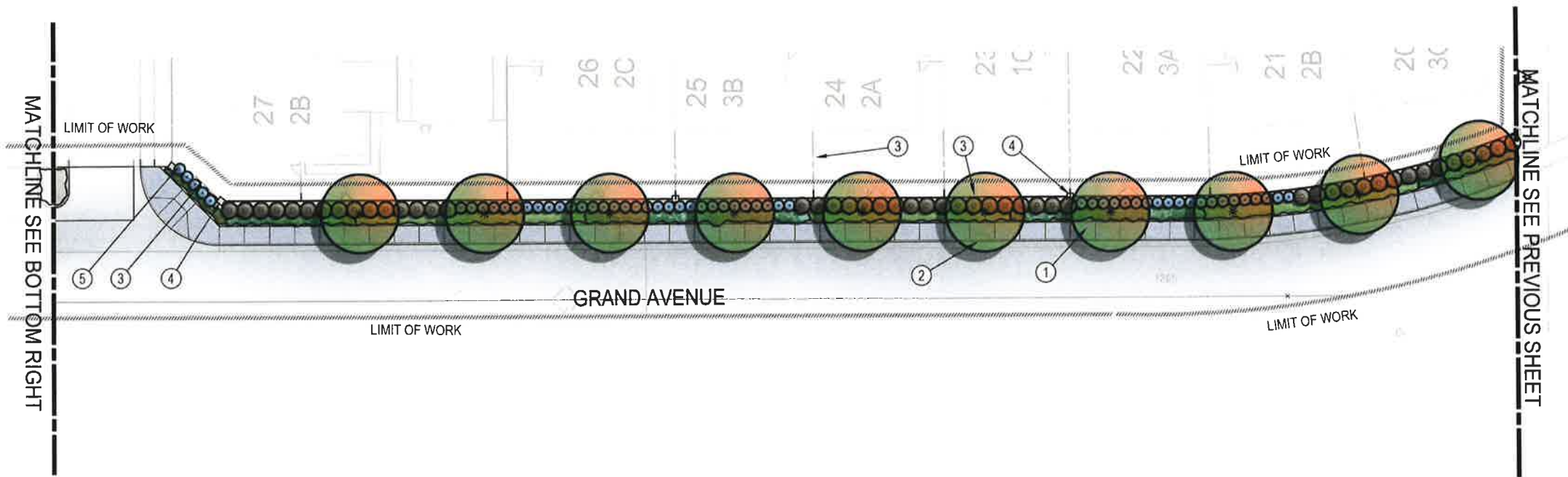
**WESTLAKE - Landscape Maintenance District - City of Lake Elsinore**  
 LAKE ELSINORE, CALIFORNIA



SCALE: 1" = 20'  
 DATE: JANUARY 2019  
 ADG JOB #: 1825-5

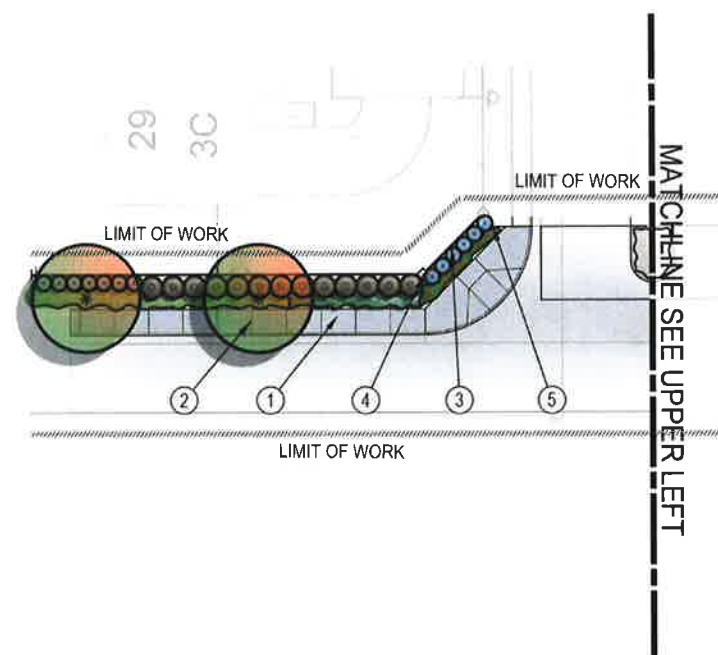


**L-2**



**FEATURE LEGEND:**

- 1 City Sidewalk Per Civil Engineer's Plans.
- 2 Street Curb Per Civil Engineer's Plans.
- 3 CMU Perimeter Block Wall with One (1) Row Split-Face and Concrete Cap.
- 4 6'-6" Tall Decorative Ledger Stone Pilaster.
- 5 Aluminum Edging.
- 6 6' Tall Side and Rear Yard Wood / Vinyl Fence Per Separate Architerra Design Group H.O.A. Package.



**PLANT PALETTE:**

**TREES & VINES**

BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
<b>LARGE EVERGREEN SPECIMEN TREE</b>			
<i>Quercus agrifolia</i>	Coast Live Oak	36" Box	Low
<b>TALL DECIDUOUS SHADE TREE</b>			
<i>Platanus racemosa</i>	California Sycamore	24" Box	Low
<b>SMALL FLOWERING ACCENT TREE</b>			
<i>Cercis occidentalis</i>	Western Redbud	15 Gal.	Low
<b>GRAND AVE. STREET TREE</b>			
<i>Pistacia chinensis</i>	Chinese Pistache	15 Gal.	Moderate
<b>VINES</b>			
<i>Parthenocissus tricuspidata</i>	Boston Ivy	1 Gal.	Moderate

**SHRUBS AND GROUNDCOVER**

BOTANICAL NAME	COMMON NAME	SIZE	WATER USE
<b>BACKGROUND</b>			
<i>Arbutus u. 'Compacta'</i>	Strawberry Tree	5 Gal.	Low
<i>Arctostaphylos 'Howard McMinn'</i>	Manzanita	5 Gal.	Low
<i>Leucophyllum l. 'Lynn's Legacy'</i>	Texas Ranger	5 Gal.	Low
<b>MIDGROUND</b>			
<i>Cistus x 'Purpureus'</i>	Rock Rose	5 Gal.	Low
<i>Salvia leucantha</i>	Mexican Sage	5 Gal.	Low
<i>Hesperaloe parviflora</i>	Red Yucca	5 Gal.	Low
<i>Nandina d. 'Harbour Dwarf'</i>	Heavenly Bamboo	5 Gal.	Moderate
<b>FOREGROUND / GROUNDCOVER</b>			
<i>Achillea millefolium</i>	Yarrow	1 Gal.	Low
<i>Aloe striata</i>	Coral Aloe	1 Gal.	Low
<i>Carex divulsa</i>	Gray Sedge	1 Gal.	Low
<i>Carex pansa</i>	Sedge	1 Gal.	Moderate
<i>Encelia californica</i>	Coast Sunflower	1 Gal.	Low
<i>Rosmarinus o. 'Huntington Carpet'</i>	Rosemary	1 Gal.	Low

**KEY MAP**



SCALE: 1" = 20'  
DATE: JANUARY 2019  
ADG JOB #: 1825-5



**WESTLAKE - Landscape Maintenance District - City of Lake Elsinore**  
LAKE ELSINORE, CALIFORNIA



ARCHITERRA  
DESIGN GROUP  
LANDSCAPE ARCHITECTURE AND PLANNING  
10221-A TRACOMARK ST., RANCHO CUCAMONGA,  
CALIFORNIA 91760-1000

**L-3**